

Appendix II-W

Intensive-Level Architectural Survey Report

Technical Report Intensive-Level Architectural Survey Report

Atlantic Shores Offshore Wind

Lease Area OCS-A 0499

Atlantic, Ocean, and Monmouth Counties, New Jersey

Prepared for:



Atlantic Shores Offshore Wind LLC

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EXECUTIVE SUMMARY

On behalf of Atlantic Shores Offshore Wind, LLC (Atlantic Shores), a 50/50 joint venture between EDF-RE Offshore Development, LLC, a wholly owned subsidiary of EDF Renewables, Inc. (EDF Renewables) and Shell New Energies US, LLC (Shell), Environmental Design & Research, Landscape Architecture, Engineering, & Environmental Services, D.P.C. (EDR) prepared this intensive-level architectural survey in accordance with the New Jersey Historic Preservation Office's (NJHPO) *Guidelines for Architectural Survey*. The Atlantic Shores Offshore Wind – Wind Turbine Area consists of two offshore wind energy generation projects within the southern portion of Bureau of Ocean Energy Management (BOEM) Lease Area OCS-A 0499 for renewable energy generation from offshore wind. The Projects are comprised of up to 200 wind turbine generators (WTGs), up to 10 offshore substation (OSS) positions, up to eight cables installed within two offshore export cable corridors (ECCs), two onshore substation and/or converter stations connected from the landfall sites to onshore interconnection cables, and one O&M Facility located in Atlantic City, NJ. The purpose of this survey report is to document aboveground historic properties located within the Projects' Preliminary Area of Potential Effects (PAPE) for all offshore and onshore project components. Separate Historic Resources Visual Effects Assessment (HRVEA) reports prepared by EDR summarize the potential visual effects of the offshore components of the Projects to aboveground historic properties listed in, or eligible for listing in the National Register of Historic Places (NRHP) for the Wind Turbine Area (EDR, 2023a), Onshore Interconnection Facilities (EDR, 2023b), and Operations & Maintenance (O&M) Facility (EDR, 2023c).

EDR's Secretary of the Interior (SOI) Qualified Professionals completed a desktop review and field survey of the PAPEs to identify properties that meet the criteria for listing in the National Register of Historic Places (NRHP), which resulted in the following:

Wind Turbine Area PAPE: A total of 123 aboveground properties were documented within the WTA PAPE, including:

- 2 National Historic Landmarks (NHLs)
- 16 NRHP-Listed Properties
- 62 Properties Previously Determined NRHP-Eligible
- 2 Local Historic Properties
- 41 Properties Recommended NRHP-Eligible

Onshore Interconnection Facilities PAPE: A total of 18 properties were documented within the Onshore Facilities PAPEs, including three NRHP-eligible properties, and 15 properties recommended to not meet NRHP eligibility criteria.

O&M Facility PAPE: A total of 102 properties were documented within the O&M Facility PAPE, including seven NRHP-eligible properties, and 95 properties recommended to not meet NRHP eligibility criteria.

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1.0 INTRODUCTION

1.1 Project Background

On behalf of Atlantic Shores Offshore Wind, LLC (Atlantic Shores), a 50/50 joint venture between EDF-RE Offshore Development, LLC, a wholly owned subsidiary of EDF Renewables, Inc. (EDF Renewables) and Shell New Energies US, LLC (Shell), Environmental Design & Research, Landscape Architecture, Engineering, & Environmental Services, D.P.C. (EDR) prepared this intensive-level architectural survey in support of the Atlantic Shores Construction and Operations Plan (COP) for two offshore wind energy generation projects (the Projects) within the southern portion of BOEM Lease Area OCS-A 0499 for renewable energy generation from offshore wind, and all associated onshore infrastructure (see Section 1.3).

The purpose of the survey is to identify and document aboveground historic properties within the Preliminary Area of Potential Effects (PAPE) for each aboveground component of the Projects (as described below in Section 2.2) and to evaluate the Projects' potential visual effects on the qualities that make aboveground historic properties eligible for listing in the State¹ and/or National Register of Historic Places (S/NRHP). Per 36 CFR 800.16, aboveground historic properties are defined as districts, buildings, structures, objects, or sites that are listed or eligible for listing in the National Register of Historic Places (NRHP) or which have been designated as National Historic Landmarks (NHL).

1.2 Regulatory Context for Review of Effects on Historic Properties

The Projects are considered a federal undertaking and therefore, subject to Section 106 of the National Historic Preservation Act (NHPA) (54 USC 306108). This survey was completed at the request of the NJHPO as a component of BOEM's Section 106 consultation process. In 2020, the BOEM Office of Renewable Energy Programs issued updated *Guidelines for Providing Archaeological and Historic Property Information, Pursuant to 30 CFR 585*² (BOEM, 2020), which states the following with regard to identification of historic properties:

BOEM requires detailed information regarding the nature and location of historic properties that may be affected by an applicant's proposed activities to conduct review of the plan under Section 106 of NHPA (54 U.S.C. § 306108). As defined in the regulations implementing Section 106 [36 CFR § 800.16 (1) (1)],

Historic property means any prehistoric or historic district, site, building, structure, or object included in, or eligible for inclusion in, the National Register of Historic Places maintained by the Secretary of the Interior. This term includes artifacts, records, and remains that are related to and located within such properties. This term also includes properties of traditional religious and cultural importance to an Indian tribe or Native Hawaiian organization and that meet the National Register criteria (BOEM, 2020: 2).

¹ For the purposes of this report, SRHP refers specifically to the New Jersey Register of Historic Places.

² Available online at <https://www.boem.gov/sites/default/files/renewable-energy-program/Guidelines-for-Providing-Archaeological-and-Historic-Property-Information-Pursuant-to-30CFR585.pdf> (Accessed June 17, 2020).

The *Guidelines for Providing Archaeological and Historic Property Information* includes methods for identification of historic properties, as well as coordination with BOEM and relevant State Historic Preservation Offices (SHPOs) and Tribal Historic Preservation Offices (THPOs).

The intensive-level architectural survey is intended to assist the New Jersey Department of Environmental Protection (NJDEP), New Jersey State Historic Preservation Office (NJHPO), the Bureau of Ocean and Energy Management (BOEM), and other relevant New Jersey State and/or Federal agencies and consulting partners in their review of the Projects under Section 7:4 of the NJAC, the State of New Jersey Executive Order #215, and/or Section 106 and 110(f) of the National Historic Preservation Act (NHPA), and the National Environmental Policy Act (NEPA), as applicable.

The survey has been conducted in accordance with the New Jersey Historic Preservation Office's (NJHPO) *Guidelines for Architectural Survey* (NJHPO, 2020) by professionals who satisfy the qualifications criteria per the Secretary of the Interior's (SOI) Professional Qualifications Standards for archaeology and architectural history (36 CFR Part 61), as appropriate. The survey report was prepared in accordance with applicable portions of NJAC § 7:4-8.6, *Standards for Architectural Survey Reports* (NJHPO, 2008).

Separate Historic Resources Visual Effects Assessment (HRVEA) reports prepared by EDR summarize the potential visual effects of the offshore and onshore components of the Projects to properties listed in, or eligible for listing in, the National Register of Historic Places in accordance with 36 CFR 800.5 (EDR, 2023a, 2022b, and 2023c). The discussion of effects on aboveground historic properties in these reports is limited to potential visual effects of the above-surface components of the offshore and onshore components of the Project on the visual setting of aboveground historic properties. However, a complete description of all offshore and onshore components of the Projects is provided below.

1.3 Overview of the Projects

Atlantic Shores' Lease Area is located on the OCS within the New Jersey Wind Energy Area (NJWEA), which was identified by BOEM as suitable for offshore renewable energy development through a multi-year, public environmental review process. The Projects will be located in an approximately 102,124-acre (413.3-square kilometer [km²]) Wind Turbine Area (WTA) located in the southern portion of the Lease Area (see Figure 1.3-1). Project 1 is located in the western 54,175 acres (219.2 km²) of the WTA, and Project 2 is located in the eastern 31,847 acres (128.9 km²) of the WTA with a 16,102-acre (65.2-km²) Overlap Area that could be used by either Project 1 or Project 2. Figure 1.3-1 also depicts the boundaries of the Project 1 and Project 2 areas within the WTA.

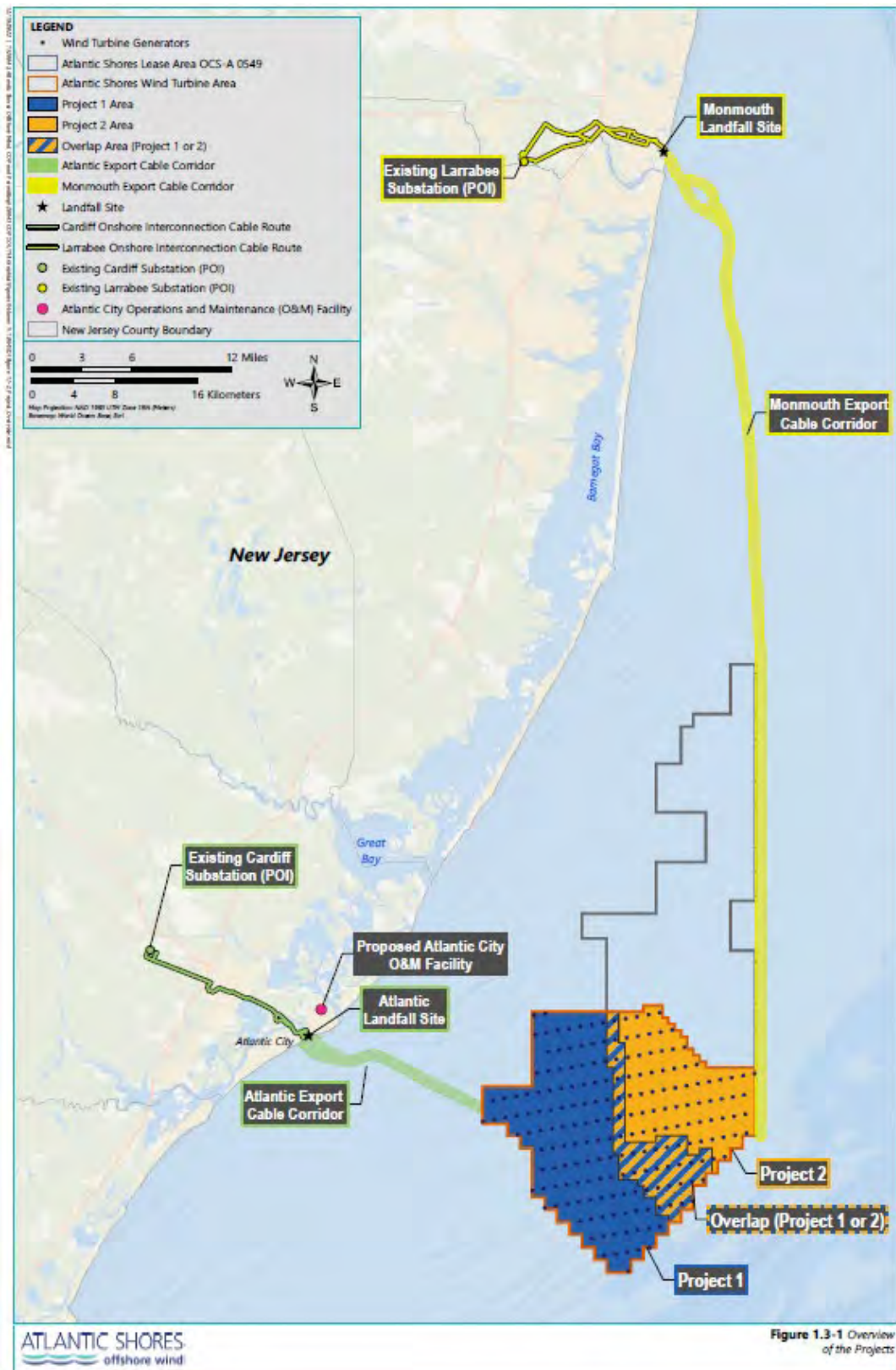


Figure 1.3-1. Overview of the Projects

1.3.1 Project Design Envelope

Atlantic Shores has applied a Project Design Envelope (PDE) approach to describe the facilities and activities associated with the Projects. A PDE is defined as “a reasonable range of project designs” associated with various components of a project (e.g., foundation and WTG options) (BOEM, 2018). In accordance with the PDE evaluation approach, the assessment of project effects must include the maximum design case for all project development scenarios. Consistent with BOEM’s *Draft Guidance Regarding the Use of a Project Design Envelope in a Construction and Operations Plan* (2018), this HREA considers a maximum design case layout. The layout represents the largest geographic footprint that could be occupied by visible structures and, therefore, the largest percentage of the visible horizon from shoreline locations that may be affected by the Projects. The maximum design case components are described below in Table 1.3-1.

Table 1.3-1. Key Elements of the PDE.

Element	Project Design Element	Total	Project 1	Project 2
WTGs	Max. Number of WTGs	200 (inclusive of the 31 WTGs in the Overlap Area) ^a	105-136	64-95
	WTG Layout	Grid layout with ENE/WSW rows and approximately N/S columns, consistent with the predominant flow of traffic		
	Max. rotor diameter	918.6 ft (280.0 m)		
	Max. tip height ^b	1,048.8 ft (319.7 m)		
OSSs	Max. Number of OSSs	10 small OSSs, or	5	5
		5 medium OSSs, or	2	3
		4 large OSSs	2	2
	OSS Layout	Positioned along the same ENE/WSW rows as WTGs		
	Min. Distance from Shore	Small OSS: 12 mi (19.3 km) Medium and large OSS: 13.5 mi (21.7 km)		
WTG and OSS Foundations	<u>Foundation types</u>			
	Piled	Monopiles or piled jackets		
	Suction bucket	Mono-buckets, suction bucket jackets, or suction bucket tetrahedron bases ^c		
	Gravity	Gravity-base structures (GBS) or gravity-pad tetrahedron bases ^c		
	Max. pile diameter at seabed (for piled foundation types)	Monopile: 49.2 ft (15.0 m) Piled jacket: 16.4 ft (5.0 m)		
Inter-Array and Inter-Link Cables	Cable types and voltage	Inter-array: 66–150 kV high voltage alternating current (HVAC)		
		Inter-link: 66–275 kV HVAC		
	Max. Total Cable Length	Inter-array: 547 mi (880 km)	273.5 mi (440 km)	273.5 mi (440 km)
		Inter-link: 37 mi (60 km)	18.6 mi (30 km)	18.6 mi (30 km)
	Target burial depth range	5 to 6.6 ft (1.5 to 2 m)		

1.3.2 Description of Offshore Components

At its closest point, the WTA is approximately 8.7 miles (mi) (14 kilometers [km]) from the New Jersey shoreline. The WTA will include an array of wind turbine generators (WTGs) and multiple offshore substations (OSSs). A meteorological (met) tower and/or meteorological and oceanographic (metocean) buoys may also be installed in the WTA. The WTA layout is designed to maximize offshore renewable wind energy production while minimizing effects on existing marine uses. The structures will be aligned in a uniform grid with multiple lines of orientation allowing straight transit through the WTA.

For the development of the viewshed analysis and PAPE (see Section 2.2.1), all 200 foundation locations located within the WTA were analyzed using the largest WTGs included within the PDE in order to capture the maximum area of potential visibility. By evaluating the largest WTG currently under consideration, the theoretical WTG visibility increases for distant viewpoints, thereby providing a conservative assessment of visibility of the Projects.

Each WTG will consist of four major components: the foundation, the tower, the nacelle, and the rotor (Figure 1.3-2). The height of the tower, or “hub height” (height from the water’s surface to the center of the rotor) will be approximately 574.2 feet (175 m) above mean sea level (AMSL). The nacelle sits atop the tower, and the rotor hub is mounted to the nacelle. Assuming a maximum rotor diameter of 918.6 feet (280 m), the total WTG height (i.e., height AMSL at the highest blade tip position) will be approximately 1046.6 feet (319 m).

Descriptions of each of the proposed WTG components are provided below:

Foundation: For the purpose of this HREA, it was assumed that each of the WTGs will be anchored to the sea floor using a monopile foundation secured with a single steel pile driven into the sea floor. However, the WTGs may utilize suction bucket or concrete gravity base structure (GBS) foundations. The monopile foundation is a tubular steel structure with a diameter of 39.4 feet (12 m) AMSL, upon which the tower transition will be mounted. A suction bucket foundation option consists of a hollow tube embedded in the ocean floor which holds the structure in place through vacuum pressure. The GBS consists of steel-reinforced concrete sunk to the ocean floor and held in place by gravity. The foundation will extend above the water surface, and the exposed portion of the foundation will be yellow in color. A boat landing will be affixed to the foundation with a stairway connecting the landing to a railed deck at the base of the tower.

Tower: The towers used for the Projects are tapered hollow steel structures manufactured in three sections. The assembled towers have a diameter of approximately 32.8 feet (10 m) at the base and 27.9 feet (8.5 m) at the top. Two amber U.S. Coast Guard (USCG) warning lights will be mounted on the deck at the base of each tower. In accordance with the BOEM and Federal Aviation Administration (FAA) obstruction marking standards, the WTG will be painted a light grey (RAL 7035) to pure white (RAL 9010). Additionally, the tower will be equipped with a minimum of three low intensity red flashing lights (L-810) at the approximate mid-section of the tower, which will operate during nighttime hours only.

Nacelle: The main mechanical components of the WTG are housed in the nacelle. These components include the drive train, generator, and transformer. For the purpose of this study, the nacelle is assumed

to have maximum dimensions of approximately 82 feet (25 m) long, 52.5 feet (16 m) wide, and 39.4 feet (12 m) in height. Two aviation warning lights are proposed to be located on top of the nacelle, in accordance with BOEM and FAA guidelines. These will be medium intensity, flashing red lights (L-864) that are operated only at night, and will be synchronized with the L-810 lights described above. The WTG nacelle will be the same color as the tower and will not include any obvious lettering, logos, or other exterior markings (FAA, 2018). Where applicable, the lighting parameters presented in the VIA follow the current BOEM guidance for the lighting and marking of WTGs in order to illustrate the potential nighttime visual impacts associated with the Projects. However, lighting requirements may change based on final BOEM/FAA recommendations.

Rotor: A rotor assembly is mounted on the nacelle to operate upwind of the tower. The rotor consists of three composite blades, each approximately 452.8 feet (138 m) in length. The three-bladed rotor assembly will be light grey to white in color (consistent with the tower) and will have a maximum diameter of 918.6 feet (280 m). The rotor blades are rotated along their axis, or “pitched,” to enable them to operate efficiently at varying wind speeds. The rotor can spin at varying speeds, but typically rotates at a rate around 10 revolutions per minute.

The OSSs will be an enclosed structure measuring up to 295.3 feet long by 164 feet (90 m × 50 m) wide, with a maximum elevation of up to 131.2 feet (40 m) AMSL. For the purpose of this HREA, it is assumed that OSSs will be mounted on piled jacket foundations. However, the OSSs may utilize suction bucket or concrete GBS foundations. Diagram illustrating the appearance and dimensions of the WTG and OSS evaluated in this study are presented in Figure 1.3-2.

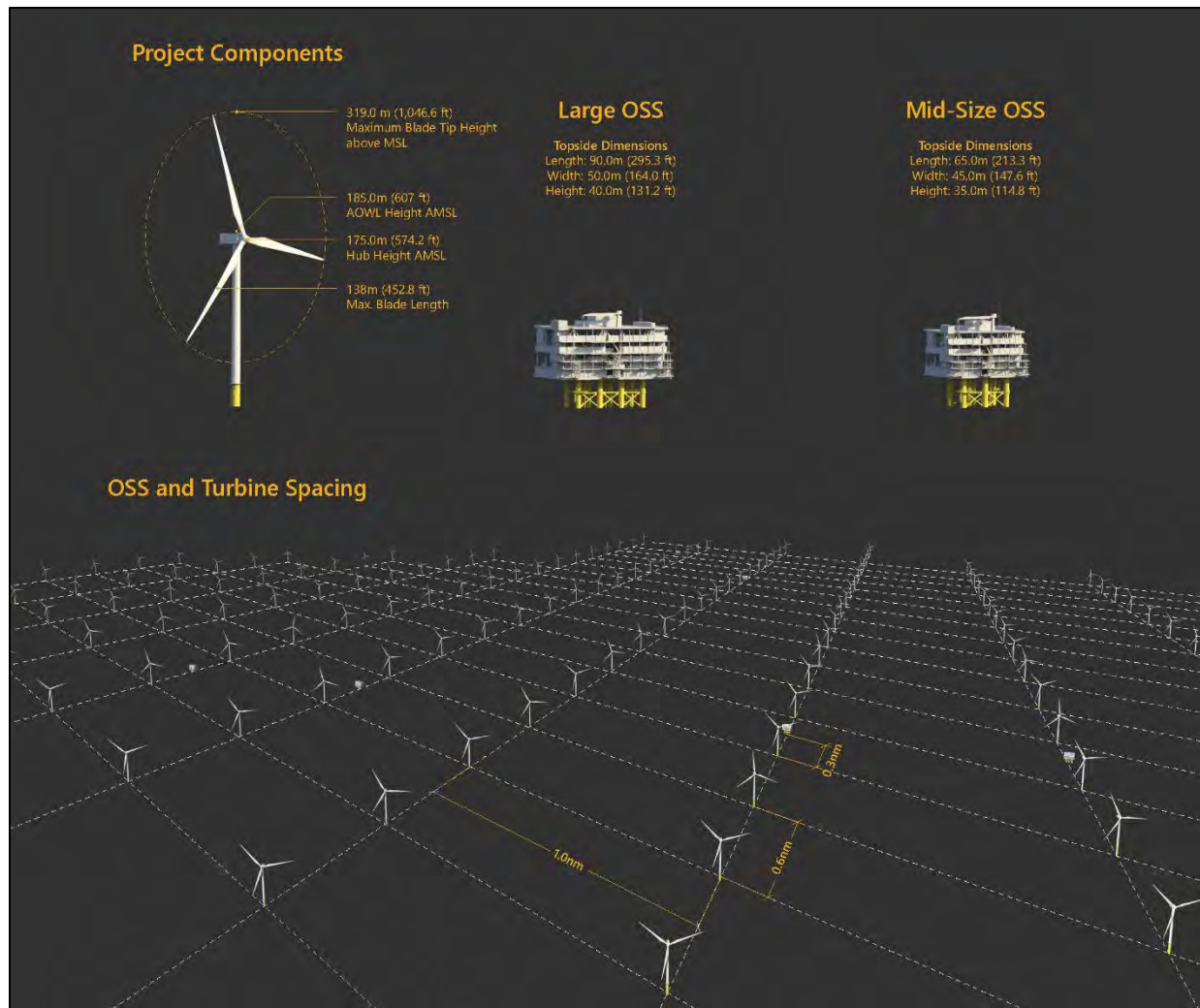


Figure 1.3-2. Computer Model of Offshore Platform and WTG Maximum Dimensions

Within the WTA, the WTGs and OSSs for Project 1 and Project 2 will be connected by two separate, electrically distinct systems of inter-array cables and/or inter-link cables. Energy from the OSSs will be delivered to shore by export cables that will travel within designed Export Cable Corridors (ECCs) from the WTA through federal and New Jersey state waters to one or two landfall sites on the New Jersey coastline. The Atlantic ECC extends from the western tip of the WTA to the Atlantic Landfall Site in Atlantic City, New Jersey. The Monmouth ECC extends from the eastern corner of the WTA, along the eastern edge of the Lease Area, to the Monmouth Landfall Site in Sea Girt, New Jersey. Both Projects 1 and 2 have the potential to use either ECC, and offshore export cables for each may also be co-located within an ECC.

At both the Monmouth and Atlantic Landfall Sites, horizontal directional drilling (HDD) will be employed to minimize impacts to the intertidal and nearshore habitats and ensure stable burial of the cables. From each landfall site, the onshore interconnection cables will travel underground primarily along existing roadways, utility rights-of-way (ROWs), and/or along bike paths to two new onshore substation and/or converter station sites. From the onshore substations and/or converter stations, the onshore

interconnection cables will continue to existing substations where the Projects will be connected into the electrical grid at the Cardiff Substation point of interconnection (POI) in Egg Harbor Township, New Jersey and/or the Larrabee Substation POI in Howell, New Jersey. While both Project 1 and Project 2 will be electrically distinct from one another, both Projects require the ability to interconnect at the two POIs to accommodate the maximum amount of electricity that could be generated by the Projects.

1.3.3 Description of Onshore Substation and Converter Facilities

Each Project will be electrically distinct and will require the use of an onshore substation (if HVAC export cables are used) or a converter station (if HVDC export cables are used). The onshore substation may use either an air-insulated switchgear design or a gas-insulated switchgear design pending the substations' final detailed design. The substation design and specific equipment will depend on whether the onshore interconnection cables are HVAC or HVDC.

Onshore interconnection cables will be installed from the landfall sites underground primarily along existing roadways, utility ROWs, and/or along bike paths to the proposed onshore substation and/or converter station sites. Easements and ROW for private parcels will be acquired where necessary. From the proposed onshore substations and/or converter stations, the onshore interconnection cables will continue to the proposed POIs at the existing Larrabee Substation and existing Cardiff Substation for interconnection to the electrical grid. (See Section 4.0 Project Design and Construction Activities of the COP for additional detailed information.)

If the HVAC option is constructed, each onshore substation will include up to four power transformers, static synchronous compensators (STATCOMs), shunt reactors, service station transformers, harmonic filter banks, and a substation control building. The tallest component of the substation will be the lightning mast which will be up to 80 feet (24.4 m) tall. The substation will receive electricity produced by the offshore components of the Atlantic Shores Offshore Wind Projects via a buried onshore transmission cable to convert the incoming voltage to the voltage at the existing grid point of interconnect (POI).

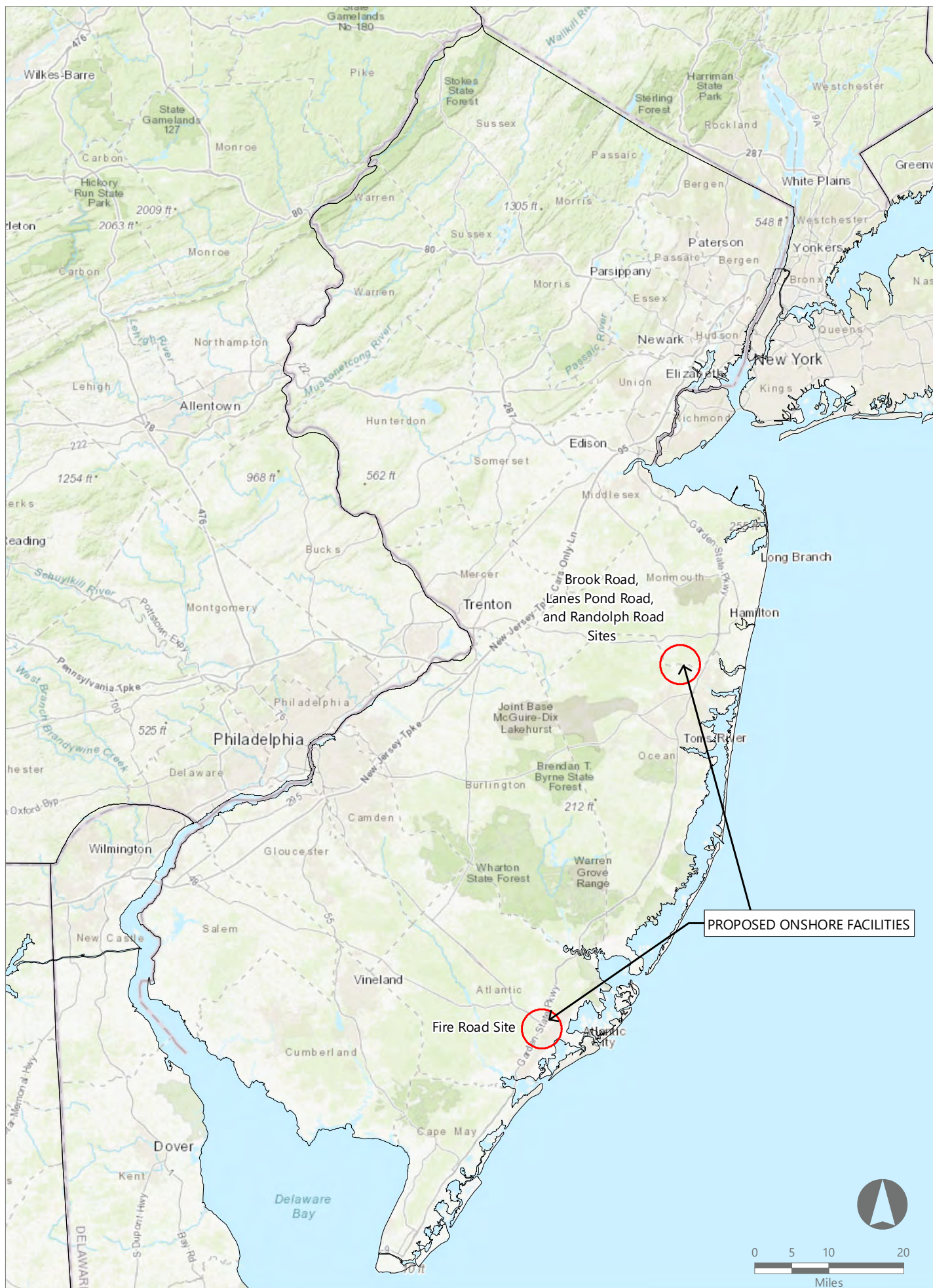
If HVDC is selected, the equipment and facilities installed at the site could include a valve hall, service building, transformers, an AC yard and a DC area, a reactor yard, valve cooling towers, AC filters, and a storage building. At each onshore HVDC converter station, the current will be converted from DC to AC and the voltage will be stepped up or stepped down to match the electrical grid voltage.

Atlantic Shores has identified potential locations for these Facilities (Figure 1.1-1), including the following:

- Three potential locations for the proposed Larrabee Onshore Substation and/or Converter Station:³

³ Atlantic Shores previously submitted a memorandum to BOEM in August 2022 with information on eight potential locations (Parcel Areas) for the proposed Larrabee Onshore Substation and/or Converter Station. Design decisions since the transmittal of that memorandum have resulted in the removal of six of the previously identified locations (Parcel Areas 1-6), and the addition of one location (Randolph Road/formerly Randolph Road option). The designations of the two retained locations (Parcel Areas 7/Binyan and 8/100 Acre) have been updated to the Lanes Pond Road Site and Brook Road Site options.

- The Lanes Pond Road Site (formerly Parcel Area 7 and the Binyan Site) is an approximately 16.3-acre (6.6-ha) parcel consisting of agricultural fields and wooded areas south of the intersection of Miller Road and Lanes Pond Road in Howell Township.
- The Brook Road Site (formerly Parcel Area 8 and the 100 Acre Site) is an approximately 99.4-acre (40.2-ha) combination of two parcels consisting primarily of forested uplands and some wetlands between Randolph Road and the Metedeconk River in Howell Township.
- The Randolph Road Site (formerly Randolph Road Site) is an approximately 24.6-acre (9.97-ha) combination of three parcels consisting of a steel fabrication facility with associated laydown yard, offices, and parking, as well as forested wetlands surrounding Dicks Brook. The site is located north of Randolph Road to the northeast of the existing Larrabee POI in Howell Township.
- The Fire Road Site located at approximately 3038 Fire Road, is situated on approximately 19.71 acres (7.98 ha) of currently wooded and overgrown lots in Egg Harbor Township.



1.3.3.1 Onshore Facility Siting

While both Project 1 and Project 2 will be electrically distinct from one another, the Projects require the ability to interconnect at two POIs to accommodate the maximum amount of electricity that could be generated by the Projects. Therefore, the Projects require two POIs and, consequently, two onshore interconnection cable routes and two landfall sites. To identify the locations of the Projects' onshore facilities, Atlantic Shores conducted an onshore routing assessment through an inter-related process that identified options for landfall sites and onshore interconnection cable routes to existing POIs. Identification of landfall sites and onshore interconnection cable routes in New Jersey is constrained by the density of development along the shorelines and built infrastructure inland. This siting must also account for the area required for horizontal directional drilling (HDD) staging areas as well as the physical dimensions required to install an underground transition vault that connects the export cables and the onshore interconnection cables.

1.3.3.2 Points of Interconnection

Five potential POIs within New Jersey (see Table 1.3-1) were identified based on their proximity to the coastline and their environmental and technical attributes (e.g., substation voltage, potential for expansion, upgrades required to accommodate the Projects' interconnection). These five POIs were used to evaluate potential onshore interconnection cable routes from the landfall sites to the POIs.

Table 1.3-2. Potential Points of Interconnection

Potential POIs	County
Larrabee	Monmouth
Cardiff	Atlantic
Lewis	Atlantic
Oyster Creek	Ocean
BL England	Cape May

1.3.3.3 Landfall Sites

Atlantic Shores conducted a siting evaluation of potential landfall sites that was largely based on parcel size, surrounding land use, and proximity to established linear development corridors (e.g., roadway and utility right-of-way [ROW]) that could serve as an onshore interconnection cable route. The specific siting criteria used to identify potential landfall sites included the following:

- **Technical considerations:**
 - The landfall sites require adequate open space onshore and in proximity to the coastline to accommodate the underground transition vaults and required HDD staging areas.
 - Landfall sites with offshore water depths that are deep enough to accommodate a cable laying vessel at the offshore HDD entrance/exit point are preferred.

- **Site characteristics:** The Projects require areas that are either undeveloped or consist of surface development (i.e., parking lots), without conflicting subsurface infrastructure.
- **Existing uses and sensitive areas:** Preferred landfall sites are not located proximate to residential communities and other sensitive receptors such as wildlife management areas, state parks, and other protected open spaces, which make up most of the open land along the New Jersey coast.

Based on these criteria, aerial photographs of the coastline were manually analyzed to determine candidate landfall sites. A total of 10 potential landfall sites were initially identified, as presented in Table 1.2-2 and shown on Figure 1.3-4.

Table 1.3-3. Landfall Sites

Landfall Site	Potential POI	Approximate Size	Latitude	Longitude
Wesley Lake	Larrabee	<1 acre (<0.004 [square kilometer] km ²)	40.218344	-74.004783
Monmouth	Larrabee, Oyster Creek	164 acres (0.66 km ²)	40.121597	-74.033785
Island Beach State Park	Larrabee, Oyster Creek	2,200 acres (8.9 km ²)	39.904109	-74.081359
Abbott Avenue	Larrabee, Oyster Creek	2 acres (0.008 km ²)	39.543841	-74.255182
Jeffrey Avenue	Larrabee, Oyster Creek	<1 acre (<0.004 km ²)	39.539932	-74.259552
Roosevelt Avenue	Larrabee, Oyster Creek	3 acres (0.01 km ²)	39.534552	-74.262262
North Atlantic City	Cardiff, Lewis	<1 acre (<0.004 km ²)	39.364038	-74.413007
Bader Airfield	Cardiff, Lewis	143 acres (0.58 km ²)	39.359757	-74.455573
Atlantic	Cardiff, Lewis	2 acres (0.008 km ²)	39.351952	-74.450009
Corson's Inlet	BL England	42 acres (0.17 km ²)	39.216859	-74.642799

1.3.3.4 Onshore Interconnection Routes

From each landfall site, Atlantic Shores conducted an iterative onshore interconnection cable routing assessment to each of the five POIs. The routing assessment was supported by aerial photography, publicly available Geographic Information Systems (GIS) environmental data, and baseline windshield surveys. Based on this routing analysis, 16 preliminary onshore interconnection cable routes were identified as shown in Figure 1.3-4.

A set of environmental and feasibility criteria were identified and weighted to establish and evaluate each onshore interconnection cable route. Route ranking was based on the following criteria:

- **Technical considerations:**
 - Shorter route lengths are preferred to reduce overall potential impacts and installation costs.
 - A lower number of hard route angles requiring a dead-end or corner transmission structure is preferred since hard route angles are more challenging and costly to construct.

- **Site characteristics:** Routes utilizing established ROWs for larger highways, state routes, existing transmission lines, or railroads are preferred because of the widespread development along the coast that prevents the establishment of a new ROW.
- **Existing uses and sensitive areas:**
 - Routes that avoid or minimize the distance of the onshore interconnection cable route in or within proximity to residential neighborhoods are preferred to reduce temporary, construction-related noise impacts.
 - Routes that minimize impacts to mapped threatened and endangered species habitat, tidelands, and wetlands are preferred.

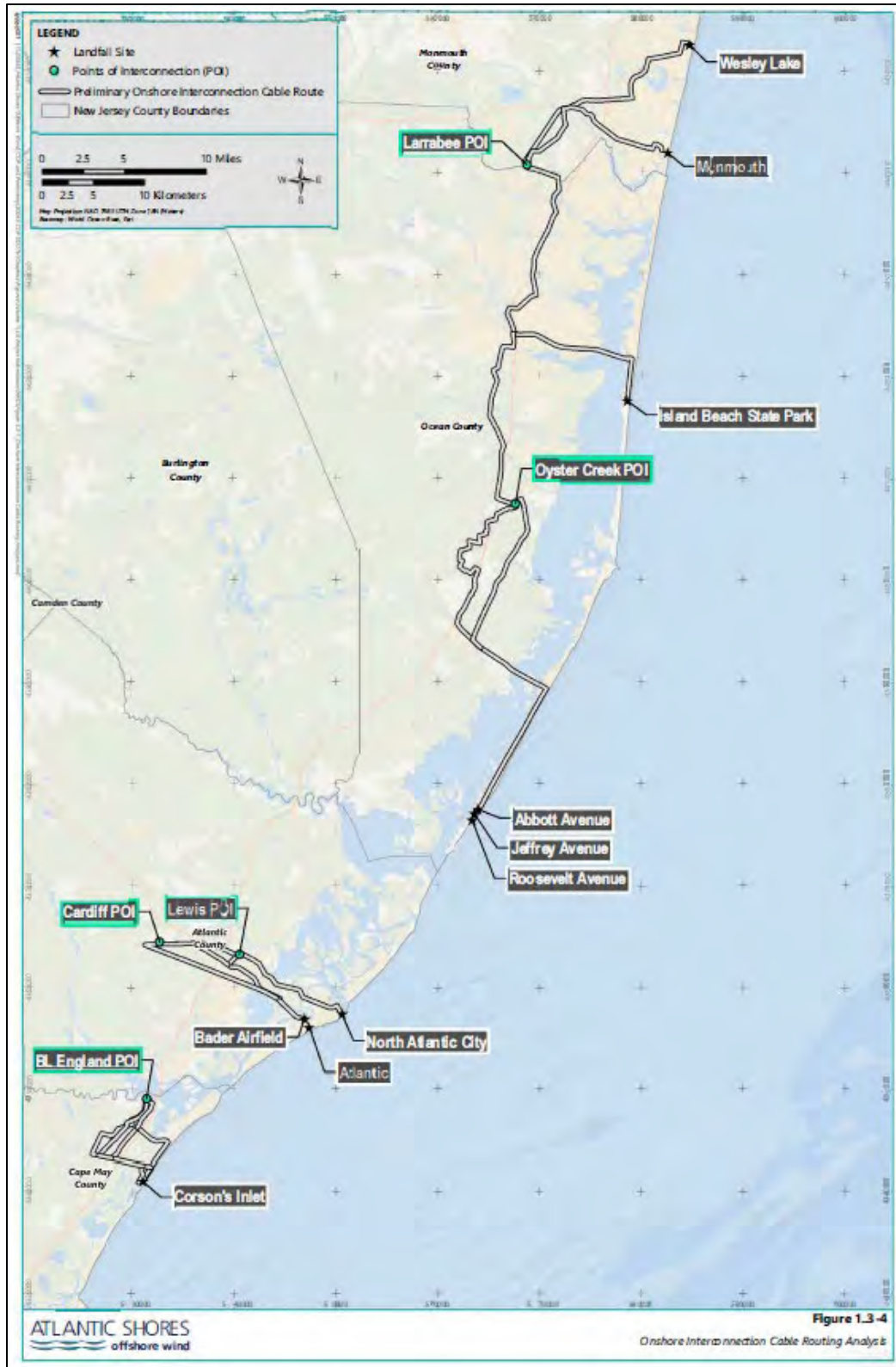


Figure 1.3-4. Onshore Interconnection Cable Routing Analysis

1.3.4 Description of the O&M Facility

Once operational, the Projects will be supported by a new Operations and Maintenance Facility (O&M Facility) that Atlantic Shores is proposing to establish in Atlantic City, New Jersey. The O&M Facility will be used by Atlantic Shores as the primary location for O&M operations including material storage, day-to-day management of inspection and maintenance activities, vehicle parking, marine coordination, vessel docking, and dispatching of technicians. The O&M Facility will be designed to provide a safe and efficient operational flow of activities and equipment, and will consist of the following:

- office space, including a server/IT room to house the Project's IT infrastructure, and a control room for surveillance and coordination of offshore activities and Project operations;
- warehouse space, including full-height access for deliveries and equipment storage, a temperature and humidity-controlled electrical storage room, and a lifting facility;
- harbor area and quayside, including but not limited to vessel mooring, unloading capabilities, a crane, berthing area, and emergency spill response equipment; and
- outdoor area and parking structure, including storage space for spare parts and materials.

To establish the O&M Facility, Atlantic Shores intends to purchase and develop the 1.22-acre (0.49 ha) shoreside parcel at 801 North Maryland Avenue in Atlantic City, New Jersey (see Figure 1.3-5). The current owner of the site is listed as Amoco Oil Company in New Jersey Department of Environmental Protection (NJDEP) documents; it is presumed that the parcel was formerly used for oil storage, vessel docking, or other port activities. Construction of the O&M Facility is expected to involve the construction of a new building and associated parking lot structure, repairs to any existing bulkheads/docks, installation of new dock facilities, and limited marine dredging. The associated parking structure and an outdoor area is proposed to occupy an approximately 2.0-acre (0.81-ha) portion of the existing state marina parking lot parcel northwest of the 801 North Maryland Avenue parcel (see Figure 1.3-5). Together, the 1.22-acre (0.49 ha) parcel for the planned O&M Facility and the 2.00-acre (0.81-ha) parking structure and outdoor area comprise the approximately 3.22-acre (1.30-ha) O&M Facility Site.



Figure 1.3-5 Regional O&M Facility Location

2.0 RESEARCH DESIGN

2.1 Objective

The purpose of this survey is to document aboveground historic properties located within the Projects' Area of Potential Effects (APE). In order to determine the presence of aboveground historic properties (both those previously inventoried in state databases and other public sources, as well as potential aboveground historic properties that have not been previously recorded), EDR undertook the following steps:

- Preparation of an historic context for the New Jersey shore, focusing on the areas where the offshore and onshore PAPEs are located, to determine the aboveground historic property types that may be present within the PAPEs;
- Development of an appropriate field survey methodology incorporating robust desktop analysis and review of previously identified as well as potential aboveground historic properties within the PAPE; and
- Field surveys to document the existing conditions, integrity, maritime setting, and views toward the Projects, of the properties identified as part of the desktop review and analysis.

In addition, a meeting was held with NJHPO on July 25, 2022, to discuss the above methodology for the identification of potential aboveground historic properties and to identify aboveground historic structures or typologies of particular state-wide interest that may not have been identified as part of the desktop analysis.

2.2 Methodology

2.2.1 Determining the Preliminary Area of Potential Effects

As stated above, this intensive-level architectural survey was completed in accordance with NJHPO's guidelines as a component of BOEM's Section 106 consultation for the Projects to identify aboveground historic properties that may be affected by the Projects. Under Section 106 of the NHPA, the federal agency in consultation with the SHPO determines the project's APE, defined as follows:

Area of potential effects means the geographic area or areas within which an undertaking may directly or indirectly cause alterations in the character or use of historic properties, if any such properties exist. The area of potential effects is influenced by the scale and nature of an undertaking and may be different for different kinds of effects caused by the undertaking (36 CFR 800.16(d)).

BOEM will determine the Projects' APE based on consultation with the NJHPO once BOEM has formally initiated NHPA Section 106 consultation for the Projects.

In 2020, the BOEM Office of Renewable Energy Programs issued updated *Guidelines for Providing Archaeological and Historic Property Information, Pursuant to 30 CFR 585*⁴ (BOEM, 2020), which states the following with regard to identification of historic properties:

BOEM requires detailed information regarding the nature and location of historic properties that may be affected by an applicant's proposed activities to conduct review of the plan under Section 106 of NHPA (54 U.S.C. § 306108). As defined in the regulations implementing Section 106 [36 CFR § 800.16 (1) (1)],

Historic property means any prehistoric or historic district, site, building, structure, or object included in, or eligible for inclusion in, the National Register of Historic Places maintained by the Secretary of the Interior. This term includes artifacts, records, and remains that are related to and located within such properties. This term also includes properties of traditional religious and cultural importance to an Indian tribe or Native Hawaiian organization and that meet the National Register criteria (BOEM, 2020).

The APE for a project is determined by the responsible federal agency in consultation with relevant SHPOs. BOEM will determine the Projects' APE based on consultation with the NJHPO once BOEM has formally initiated NHPA Section 106 consultation for the Projects.⁵ As part of the intensive-level architectural survey, three different PAPEs were developed for the WTA, Onshore Facilities, and O&M Facility:

- **WTA PAPE:** In order to develop a PAPE for the WTA, EDR completed a viewshed analysis as part of the *Visual Impact Assessment for the Atlantic Shores Offshore Wind Project* (EDR, 2022) in area within 45.1 miles (72.6 km) of the Wind Turbine Area generated from lidar data,⁶ which includes the elevations of land features, buildings, trees, and other objects large enough to be resolved by lidar technology (EDR, 2022). A bare-earth digital elevation model (DEM), representing topography only, was also created in order to make corrections to the DSM and to the initial viewshed result. The DSM and DEM were both created with a horizontal resolution of 3 meters (m) to allow direct comparison of ground elevation with the elevation of surface features (such as buildings and vegetation). This analysis was used to determine the PAPE for the offshore components of the Projects. Based on ongoing consultations with BOEM, and as detailed in Section 2.3 of the offshore HRVEA (EDR, 2023a), Atlantic Shores elected to extend the 40-mile (64.4 km) WTA PAPE viewshed buffer to 45.1 miles (72.6 km) in order to assess the Projects'

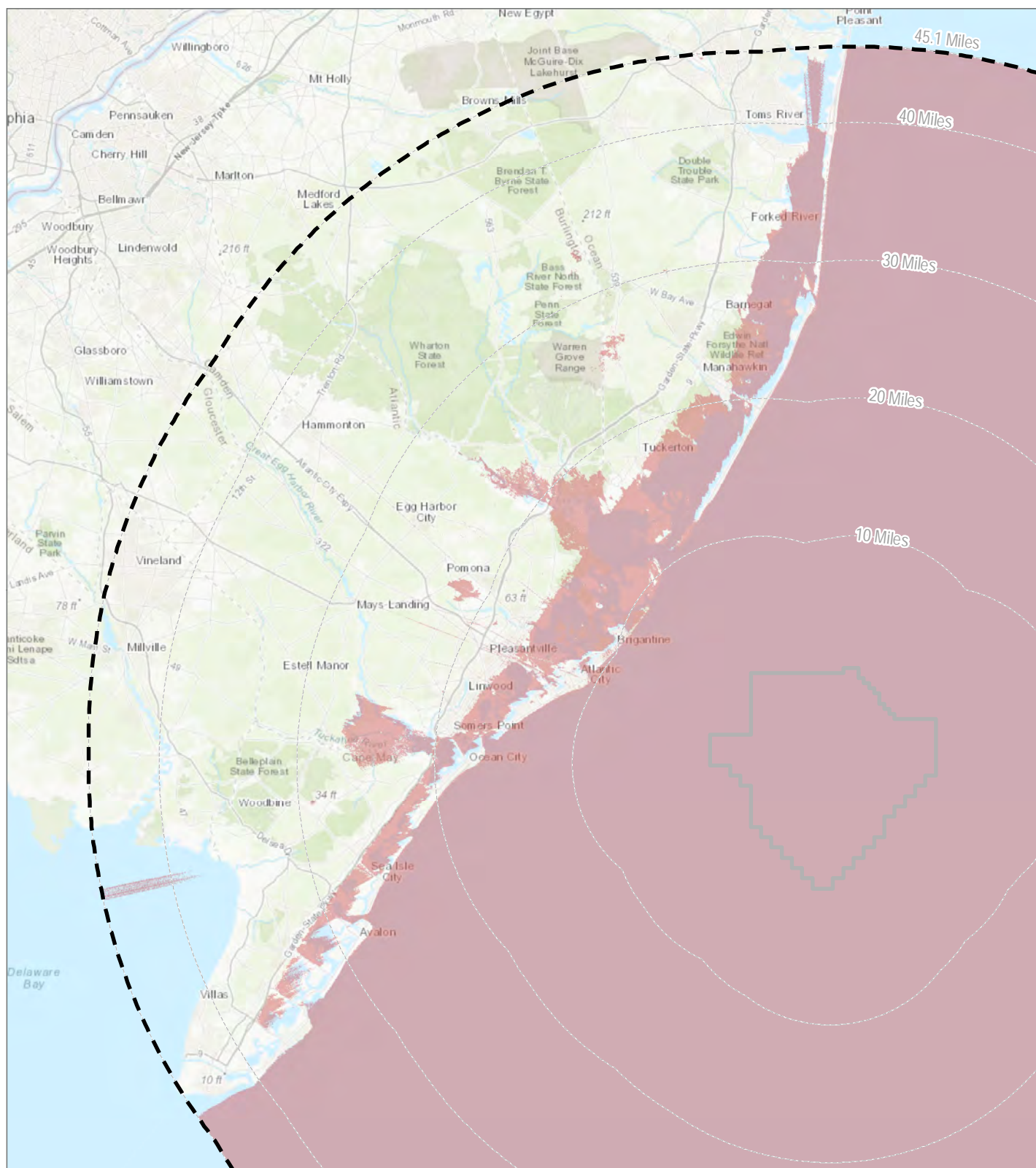
⁴ Available online at <https://www.boem.gov/sites/default/files/renewable-energy-program/Guidelines-for-Providing-Archaeological-and-Historic-Property-Information-Pursuant-to-30CFR585.pdf> (Accessed June 17, 2020).

⁵ Per 36 CFR § 800.3(c), federal agencies must consult with THPOs when determining the APE if historic properties within tribal lands (reservation or federal trust properties) may be affected by an undertaking.

⁶ Lidar data availability varies throughout the 45.1-mile (72.6 km) viewshed radius, requiring the use of more than one data source. The following four lidar datasets were incorporated into the DSM: NOAA 2014, USGS 2015, Cumberland County 2008, and American Recovery and Reinvestment Act (ARRA) 2010.




potential visual effects on aboveground historic properties located in Cape May, New Jersey. A map of the WTA PAPE is included as Figure 2.2-1.

Figure 2.2-1: Preliminary Area of Potential Effects - WTA



Atlantic Shores Offshore Wind Project

Outer Continental Shelf

-  Project Design Envelope
-  Preliminary Area of Potential Effects (PAPE)
-  45.1-Mile Viewshed Radius



- **Onshore Facilities PAPEs:** To determine the geographic areas of potential visibility (and therefore potential visual effects) of the onshore substation/converter station options, EDR conducted a lidar-based viewshed analysis. This analysis considers the height of proposed aboveground components of the Facility as anticipated by preliminary site plan designs along with a digital surface model (DSM) representing existing ground-level elevations, vegetation, and structures present in the VSA. The DSM was derived from 2014 and 2018 United States Geological Survey (USGS) lidar data with a horizontal resolution of one meter. A GIS analysis of this data was conducted to determine whether a direct line of sight would be available from ground level vantage points to the tallest proposed substation components. If a direct line of sight is available, the position (1-meter grid cell) is coded as visible. The viewshed calculations used sample points with an assigned height of 80 feet (24.4 m) to represent the lightning masts (the tallest proposed structures). Sample points were spaced 200 feet (61 m) apart in a grid pattern across each of the Sites. The sample point locations were determined using a preliminary site plan illustrating the proposed Larrabee Substation/Converter Station and Fire Road Substation/Converter Station layouts. The resulting geographic areas of potential visibility are referred to as the Onshore Facilities PAPEs. The Onshore Facilities PAPEs include all areas within 1 mile (1.6 km) of the proposed Facilities with potential visibility (based on a viewshed analysis) of the substation and/or converter station sites. Based on the relatively low-profile of the proposed onshore components, EDR defined a 1-mile (1.6 km) radius around the property boundary associated with the proposed onshore components within which to assess potential visual effects based on a viewshed analysis (the PAPE). A 1-mile (1.6 km) area for each of these Facilities is considered the maximum limit within which aboveground historic properties could be subject to adverse visual effects given size of the proposed Facilities and the screening provided by existing topography, building/structures and/or adjacent developed areas, and vegetation. While visibility beyond 1 mile (1.6 km) is possible, the nature and degree of potential visual impacts will be minimal beyond 1 mile (1.6 km) due to the density of existing modern development and infrastructure located within the PAPE. Maps of the Onshore Facilities PAPEs are included as Figure 2.2-2, 2.2-3, 2.2-4, and 2.2-5.

Figure 2.2-2. Lanes Brook Road Site PAPE

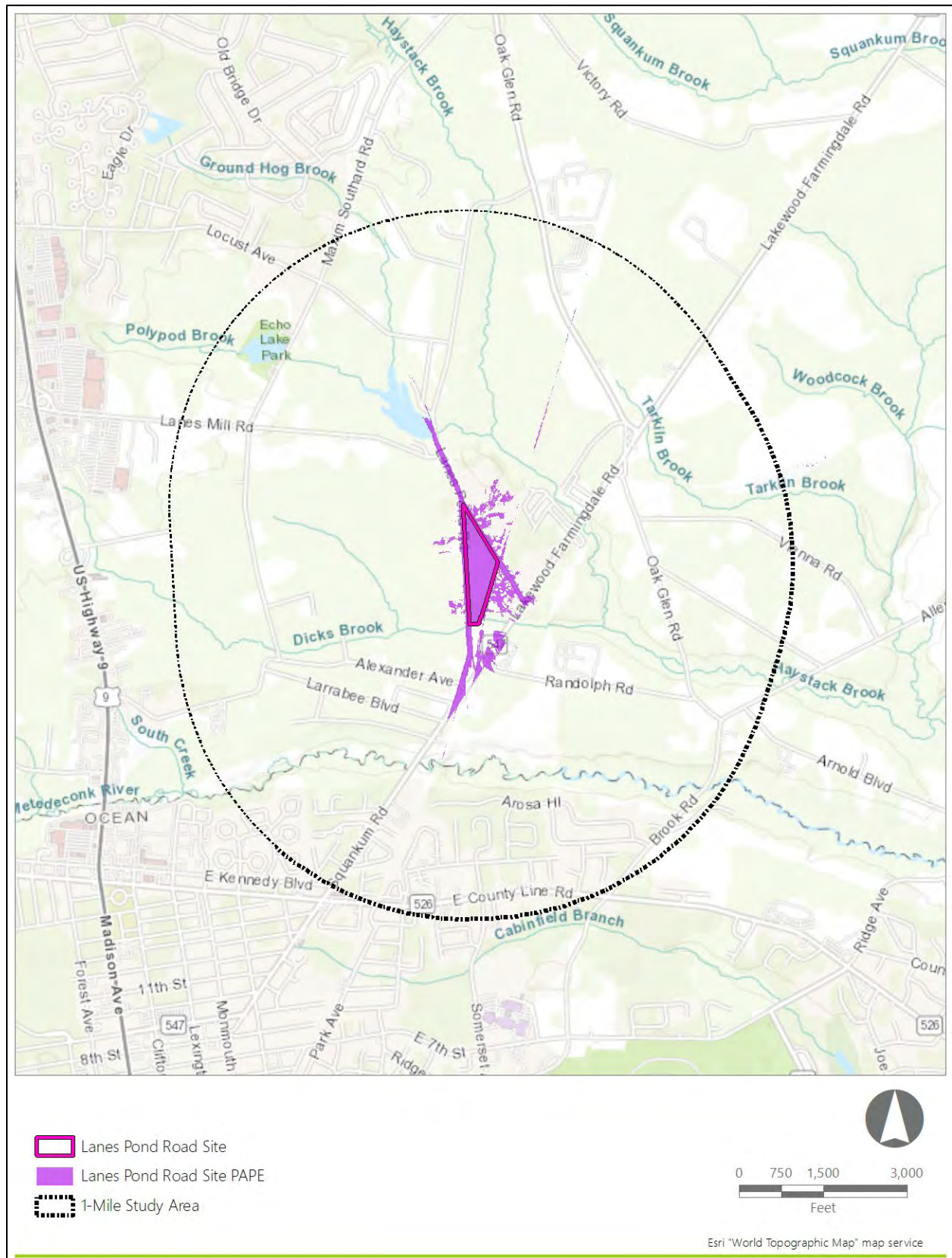


Figure 2.2-3. Brook Road Site PAPE

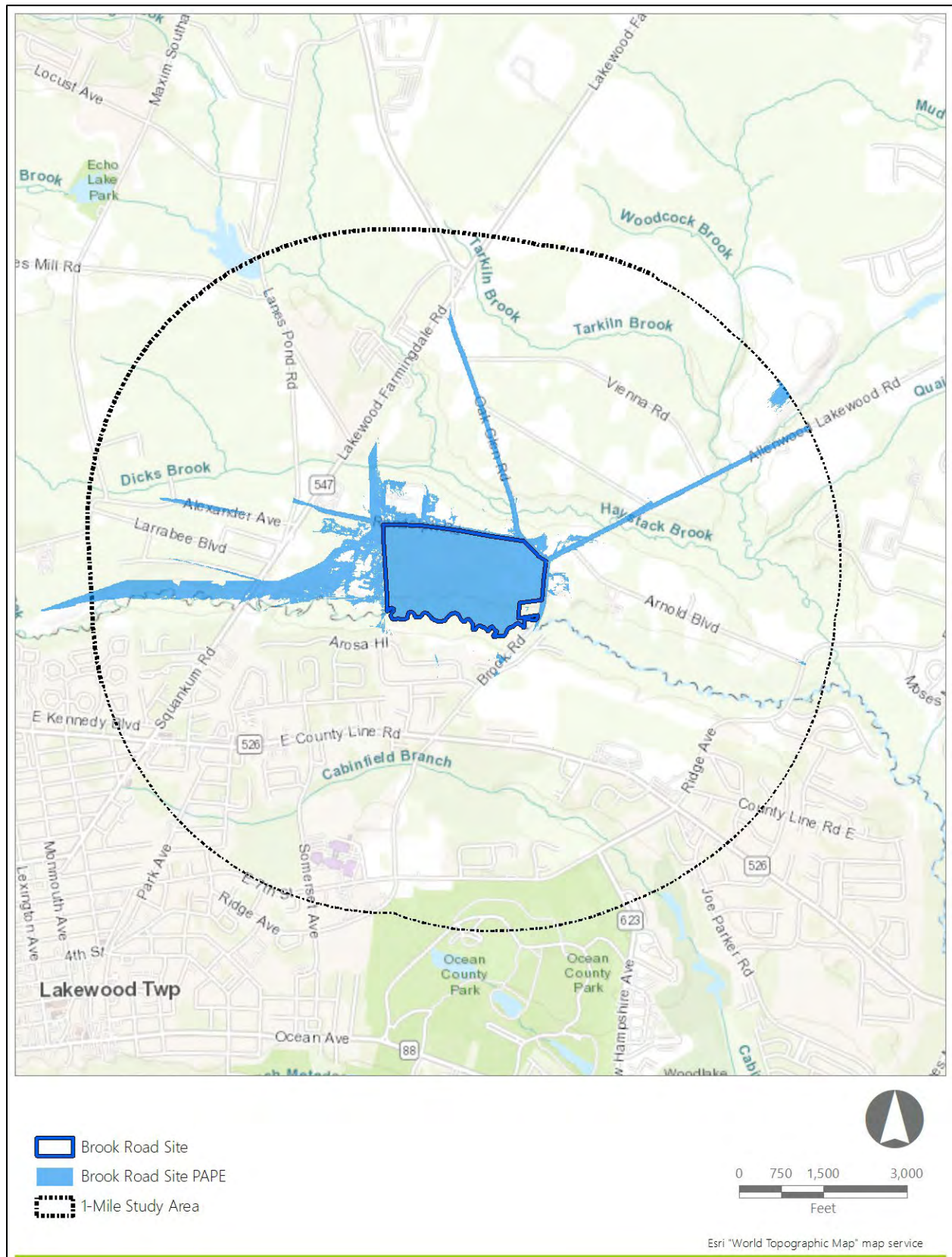


Figure 2.2-4. Randolph Road Site PAPE

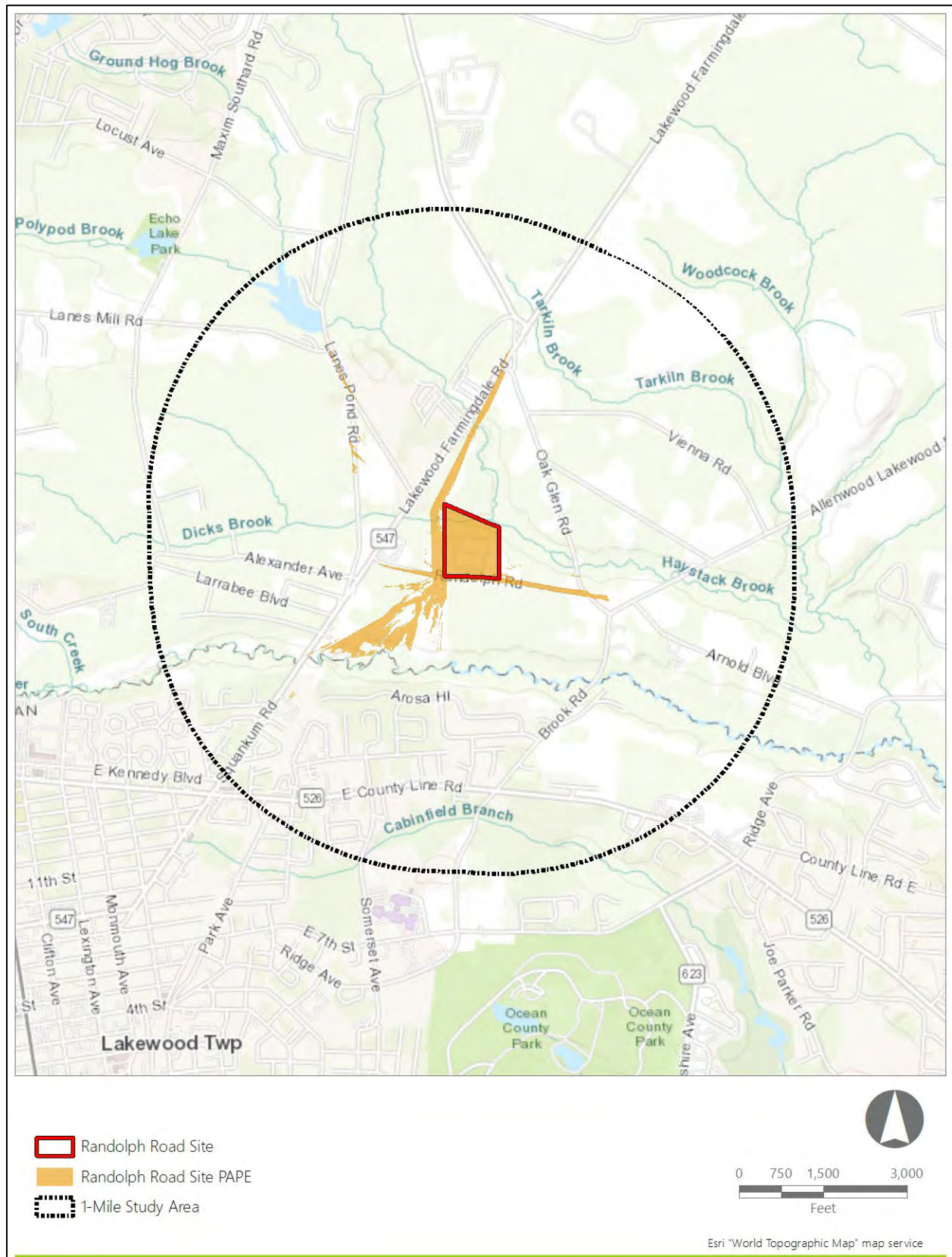
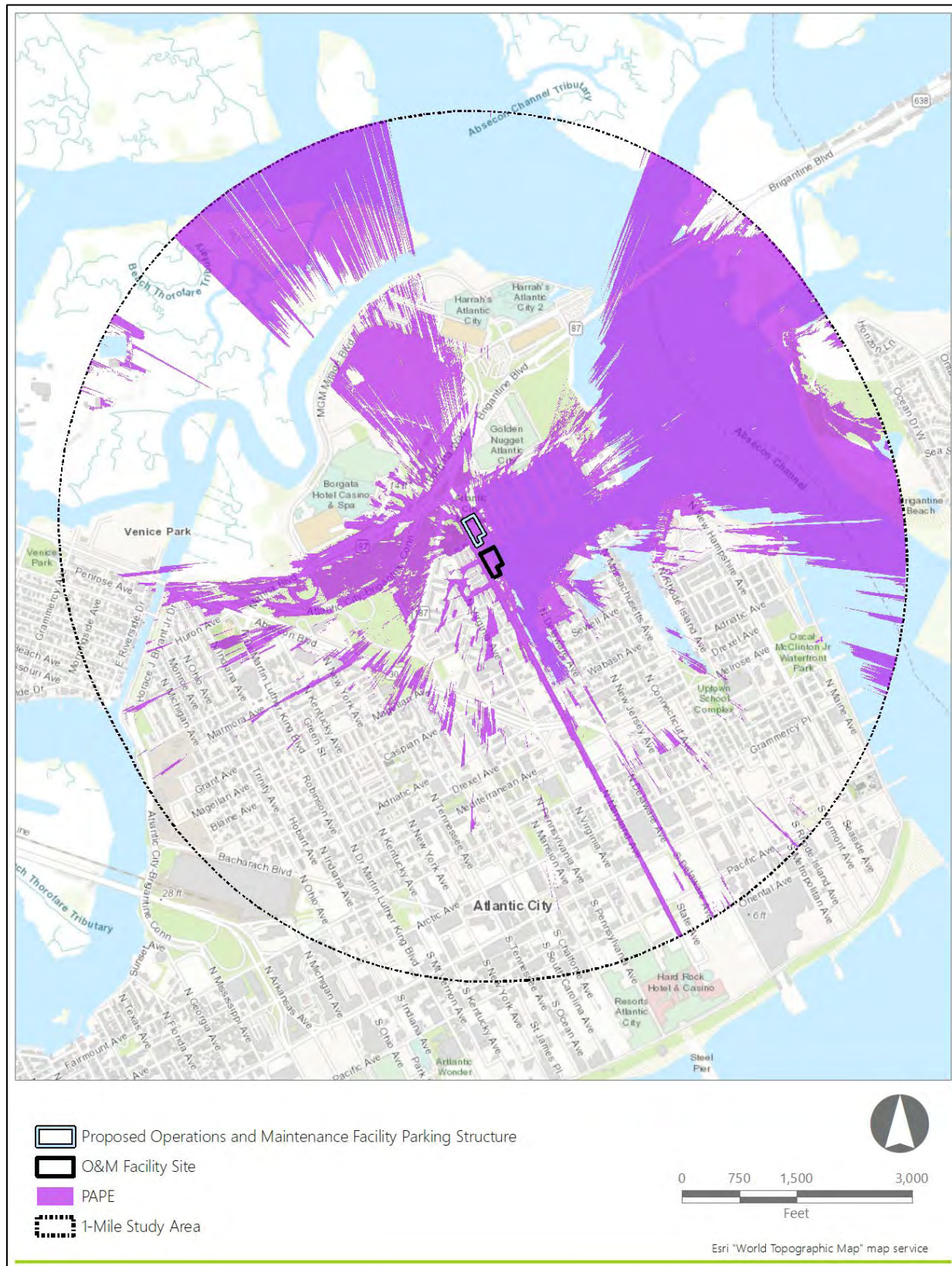


Figure 2.2-5. Fire Road Site PAPE



- **O&M Facility PAPE:** To determine the geographic areas of potential visibility (and therefore potential visual effects) of the O&M Facility, EDR conducted a lidar-based viewshed analysis. This analysis considers the height of the O&M Facility as anticipated by preliminary site plan designs along with a digital surface model (DSM) representing existing ground-level elevations, vegetation, and structures present in the VSA. The DSM was derived from 2014 and 2018 United States Geological Survey (USGS) lidar data with a horizontal resolution of one meter. A GIS analysis of this data was conducted to determine whether a direct line of sight would be available from ground level vantage points to the tallest proposed substation components. If a direct line of sight is available, the position (1-meter grid cell) is coded as visible. The viewshed calculations used sample points with an assigned height of 80 feet (24.4 m) to represent the lightning masts (the tallest proposed structures). Sample points were spaced 200 feet (61 m) apart in a grid pattern across each of the Sites. The resulting geographic areas of potential visibility are referred to as the PAPE. The O&M Facility PAPE includes all areas within 1 mile (1.6 km) of the proposed O&M Facility with potential visibility (based on a viewshed analysis) of the Facility. Based on the relatively low-profile of the O&M Facility, EDR defined a 1-mile (1.6 km) radius around the property boundary associated with the proposed onshore components within which to assess potential visual effects based on a viewshed analysis (the PAPE). A 1-mile (1.6 km) area is considered the maximum limit within which aboveground historic properties could be subject to adverse visual effects given size of the proposed O&M Facility and the screening provided by existing topography, building/structures and/or adjacent developed areas, and vegetation. While visibility beyond 1 mile (1.6 km) is possible, the nature and degree of potential visual impacts will be minimal beyond 1 mile (1.6 km) due to the density of existing modern development and infrastructure located within the O&M Facility PAPE. A map of the O&M Facility PAPE is included as Figure 2.2-5.

Figure 2.2-6. O&M Facility PAPE



2.2.2 Identification of Aboveground Historic Properties

In order to identify aboveground historic properties that could be affected by the Projects, EDR's Secretary of the Interior (SOI) Qualified Professionals first conducted a desktop review of the records of state and federal agencies, GIS databases, previous cultural resources surveys, local inventories, and historical collections to develop an inventory of previously identified aboveground historic properties within the PAPEs for the Projects.

Resources reviewed as part of this process included:

- The New Jersey Department of Environmental Protection (NJDEP) Look Up Cultural Resources Yourself (LUCY) website (NJDEP, 2022)
- The Atlantic County Division of Parks and Recreation Historical Sites webpage (Atlantic County, 2021)
- The Monmouth County Parks System (MCPS) Monmouth County Historic Sites Inventory (MCHSI) website (MCPS, 2021)
- Multiple Property Documentation Forms for relevant aboveground historic properties located within the PAPE
- Aboveground historic properties identified as part of studies conducted by BOEM in 2012 in order to prepare a GIS database of known aboveground cultural resources/historic properties that could be affected by the introduction of offshore energy facilities along the east coast of the United States⁷
- Municipal-level (i.e., county, town, city, or village) historian's offices and associated online databases
- Privately run local and regional historical societies.

In addition, EDR identified previously unreported aboveground properties that could be eligible for listing in the NRHP (i.e., properties that appear to be at least 40 years of age or more that have not been previously documented or included in existing historic databases) located within the PAPE. This process included the following:

- Identification of all structures within the PAPEs using the Microsoft United States Building Footprint database;
- Obtaining open parcel data and assessors' information to determine the age of the structures (if available) in order to identify all structures within the PAPEs that are 40 years of age or greater;

⁷ Klein, J.I., M.D. Harris, W.M. Tankersley, R. Meyer, G.C. Smith, and W.J. Chadwick. 2012. Evaluation of visual impact on cultural resources/historic properties: North Atlantic, Mid-Atlantic, South Atlantic, and Florida Straits. Volume I: Technical report of findings. U.S. Dept. of the Interior, Bureau of Ocean Energy Management, Gulf of Mexico OCS Region, New Orleans, LA. OCS Study BOEM 2012-006. 24 pp., and Klein, J.I., M.D. Harris, W.M. Tankersley, R. Meyer, G.C. Smith, and W.J. Chadwick. 2012. Evaluation of visual impact on cultural resources/historic properties: North Atlantic, Mid-Atlantic, South Atlantic, and Florida Straits. Volume II: Appendices. U.S. Dept. of the Interior, Bureau of Ocean Energy Management, Gulf of Mexico OCS Region, New Orleans, LA. OCS Study BOEM 2012-007. 10 appendices.

- Completion of a desktop analysis, including a review of recent aerial photographs, street views, and pictometry images (where available) to determine whether each structure is has been demolished or altered such that it would no longer meet the NRHP eligibility criteria (i.e., has lost integrity or is clearly not historically significant); and
- Delineation of potential historic districts for neighborhoods or clusters of properties consisting of similar style and construction dates, or otherwise linked by historic significance to review as part of field surveys.

2.2.3 NRHP Eligibility Criteria

Historically significant properties are defined herein to include buildings, districts, objects, structures and/or sites that have been listed in the NRHP, as well as those properties that are formally determined are eligible for listing in the NRHP. Criteria set forth by the National Park Service for evaluating historic properties (36 CFR 60.4) state that a historic building, district, object, structure, or site is significant (i.e., eligible for listing in the NRHP) if the property conveys (CFR, 2022; NPS, 1990):

The quality of significance in American history, architecture, archeology, engineering, and culture is present in districts, sites, buildings, structures, and objects that possess integrity of location, design, setting, materials, workmanship, feeling, and association and:

- (A) that are associated with events that have made a significant contribution to the broad patterns of our history; or*
- (B) that are associated with the lives of persons significant in our past; or*
- (C) that embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or*
- (D) that have yielded, or may be likely to yield, information important in prehistory or history.*

2.2.4 Desktop Review and Field Survey

Based on the methodology described in Section 2.2.2, EDR identified potential aboveground historic properties in each of the PAPEs. EDR's SOI-qualified architectural historians initiated a desktop review of these parcels and removed properties from further consideration that were determined to be no longer extant. EDR further refined the list based on field observations as well as previous experience assessing visibility and potential impacts of offshore wind projects on aboveground historic properties. EDR's then evaluated the NRHP eligibility and integrity (location, setting, design, materials, workmanship, feeling, and association) of the remaining properties.

After the completion of the desktop review, field surveys were then conducted by SOI-qualified professionals. Survey fieldwork included systematically driving public roads within each PAPE to document the integrity and setting of previously identified aboveground historic properties (e.g., NRHP-listed and

eligible properties) and to evaluate the potential views of the Projects, as well as NRHP eligibility of the properties within the PAPE.

It is worth noting that field review conducted as part of the surveys confirmed that actual views toward the ocean and the Projects were significantly more limited than the viewshed analysis indicated. In particular, site visits to several inland potential aboveground historic properties in the WTA PAPE demonstrated that although the viewshed indicated potential views of the Projects along roadways and in clearings, actual visibility toward the water was significantly limited and, in many cases, completely screened by buildings, topography, and vegetation.

Additional information can be found in Section 2.2.5 and in COP Appendix II-N1 Onshore Interconnection Facilities HREA, COP Appendix II-N2 O&M Facility HREA, and COP Appendix II- Offshore Historic Resources HRVEA.

2.2.5 Preliminary Areas of Potential Effect

Based on the methodology described above, the results of the desktop and field review for each PAPE is described below.

2.2.5.1 WTA PAPE

Based on the initial identification of potential aboveground historic properties as described in Section 2.2.2, a total of 2,112 properties were identified within the WTA PAPE (see Attachment A: All Properties in the WTA PAPE). As described in Section 2.2.4, EDR's SOI-qualified architectural historians initiated a desktop review of these parcels and removed properties from further consideration that were determined to be no longer extant. This included a review of recent aerial photography, review of the LUCY database, and other resources mentioned above. Approximately 95 percent of the properties visited during the field surveys were removed from further consideration and analysis due to not meeting NRHP eligibility criteria and/or views of the ocean (and Projects) from these areas were screened by existing development and/or vegetation such that there was no potential for visibility or visual effects. In addition, several properties that were newly identified during the field surveys were determined based on desktop review to not be located in the WTA PAPE, and therefore were not considered for further analysis.

Screening provided by vegetation, structures, or other objects, especially from inland and developed areas, affect the potential visibility of the facility from a given property within the WTA PAPE. Considering the likelihood of limited inland visibility (particularly at great distances from the shoreline), the list of properties was further refined to include all previously determined NRHP-eligible or NRHP-listed properties within the PAPE, and all parcels with structures 40 years or older within 1500 feet of the ocean shoreline. Based on the above methodology, EDR then performed a desktop review of the remaining properties in the WTA PAPE (see Attachment B: All Properties Surveyed – WTA PAPE). As a result of this process, 527 properties were identified within the PAPE for further desktop review and analysis.

A summary of field survey results within the WTA PAPE is included in Section 4.1.

2.2.5.2 Onshore Facilities PAPEs

Based on the initial identification of potential aboveground historic properties as described in Section 2.2.2, a total of 66 properties were identified within the Onshore Facilities PAPEs. As described in Section 2.2.4, EDR's SOI-qualified architectural historians initiated a desktop review of these parcels and removed properties from further consideration that were determined to be no longer extant (see Attachment D: All Properties in the Onshore PAPEs). This included a review of recent aerial photography, review of the LUCY database, and other resources mentioned above. Two resources were determined to be no longer extant. Screening provided by vegetation, structures, or other objects, especially from inland and developed areas, affect the potential visibility of the Facilities from a given property within the Onshore Facilities PAPEs. EDR further refined the list of potential aboveground historic properties based on field observations as well as previous experience assessing visibility and potential impacts of proposed facilities, the list of properties was further refined to include all previously determined NRHP-eligible or NRHP-listed properties within the Onshore Facilities PAPEs, and all properties with 5 percent or more visibility of the proposed Facilities. As a result of this process, 18 properties were identified within the 1-mile (1.6 km) viewshed buffer and Onshore Facilities PAPEs for further desktop review and analysis (see Attachment E: All Properties Surveyed – Onshore Facilities PAPEs).

A summary of field survey results within the Onshore Facilities PAPEs is included in Section 4.2.

2.2.5.3 O&M Facility PAPE

Based on the initial identification of potential aboveground historic properties as described in Section 2.2.2, a total of 275 properties were identified within the O&M Facility PAPE. As described in Section 2.2.4, EDR's SOI-qualified architectural historians initiated a desktop review of these properties and removed properties from further consideration that were determined to be no longer extant (see Attachment E: All Properties in the O&M Facility PAPE). This included a review of recent aerial photography, review of the LUCY database, and other resources mentioned above. Two resources were determined to be no longer extant. Screening provided by vegetation, structures, or other objects, especially from inland and developed areas, affect the potential visibility of the facility from a given property within the O&M Facility PAPE. EDR further refined the list of potential aboveground historic properties based on field observations as well as previous experience assessing visibility and potential impacts of proposed facilities, the list of properties was further refined to include all previously determined NRHP-eligible or NRHP-listed properties within the O&M Facility PAPE, and all properties with 5 percent or more visibility of the proposed O&M Facility. As a result of this process, 98 properties were identified within the 1-mile (1.6 km) viewshed buffer and O&M Facility PAPE for further desktop review and analysis (see Attachment H: All Properties Surveyed – O&M Facility PAPE).

A summary of field survey results within the O&M Facility PAPE is included in Section 4.3.

3.0 SETTING AND HISTORIC OVERVIEW OF THE PAPES

3.1 Historic Context – WTA PAPE

The New Jersey coast is approximately 130 miles (209 km) long and extends from Sandy Hook Bay in Monmouth County in the northern extent to Cape May, Cape May County in the south. The shore is defined by a series of barrier islands that shield the coast, mainland harbors, coastal lakes, and rivers in the interior. The PAPE is located within portions of Atlantic and Cape May counties which make up New Jersey's Southern Shore. The New Jersey shore has been affected by several millennia of sea level rise and a history of significant weather events that remake beaches, alter the barrier islands, and destroy man-made structures, making the waterfront areas into a landscape characterized by long-term, incremental change and more dramatic, episodic alterations.

3.1.1 Early Settlement

The New Jersey coast was originally the home of the Lenni-Lenape:

Commonly, referred to as the Delaware Indians by European emigrants, the Lenape lived in autonomous villages along New Jersey's various tributaries and back bays. These waterways acted as natural highways, traversable by small watercraft such as dug-out canoes. Led by local Sachems and Councils of Elders, these communities typically relied on hunting, fishing, gathering, and small-scale agriculture for survival (SEARCH, 2022).

Euro-American settlement along the coast began in earnest in the late seventeenth century. Somers Point, located in Atlantic County, southwest of Atlantic City on Great Egg Harbor Bay, is the oldest settlement in Atlantic County and was founded in 1693 when the Somers family established their plantation. Originally known as Somerset Plantation, Somers Point became a borough in 1866. Its location on Great Egg Harbor Bay led to it becoming a popular port of call, and its close location to the resort areas of Ocean City and Atlantic City prompted rapid residential and commercial development in the region (Somers Point, 2022). Considered the oldest building in Atlantic County, the NRHP-listed Somers Mansion (70000378) was in use by 1726 (Wilson, C.I., Jr., 1970a). The Somers Mansion, the 2.5-story brick home of Richard Somers (for whom Somers Point is named), is positioned on a hilltop overlooking the eponymous point with broad views of Egg Harbor. Its brick walls are laid in Flemish Bond, and it has a gambrel roof and is ringed by the stumps of timbers that supported a balcony that was added sometime after.

3.1.2 Maritime History

The economy of the New Jersey shore was defined by a mixture of agriculture and maritime trades with many farmers deriving a living from the sea. A group of towns in Atlantic County in the PAPE developed along the Shore Road which runs from the Great Egg Harbor River in Somers Point to the Mullica River in Galloway Township (Thompson, 1987). Shore Road dates to 1716 and was the first public road in Atlantic County (Willis et al., 1915). As noted by the Linwood Historic District (89000800) NRHP nomination:

These towns all have a history that includes the maritime trades. Although shipbuilding along the south Jersey shore never became a nationally important industry as it did in the major ports of

Boston and Philadelphia, many local men followed the sea. Fish and shellfish from Scull Bay and the Atlantic Ocean beyond also provided a livelihood for many residents of the Shore Road towns until well into the twentieth century (Thompson, 1987).

Shipbuilding in the region was at its height from approximately 1830 to 1880 (Willis et al., 1915). The village of Marshallville in Cape May County was an early shipbuilding and glassmaking community on the south bank of the Tuckahoe River. Its architecture is primarily Federal style with several brick buildings. As noted by the Marshallville Historic District (89002013) NRHP nomination:

Although wharf remains ... are the only visible evidence of [the maritime economy], the Stille House ... was the home of a shipbuilder, and the Captain Belford Smith House ... was the home of a ship captain. The types and numbers of ships built in the area are not fully understood, but a partial list of identified vessels includes the Ann M. (1828, possibly built in Tuckahoe), the R. L. Loper (1859), the W. R. Van Gilder (1862), and the Jennie (1887) (Albrecht, 1989).

The community of Tuckerton in Ocean County, identified by NJHPO as an NRHP-eligible historic district for its association with maritime history, is located inland between Pohatcong Lake, Tuckerton Creek, and Little Egg Harbor. While many modern writers refer to Tuckerton as the third designated Port of Entry by Congress in the 1780s, that is not strictly true. Congress designated multiple points of entry along the Atlantic coast, and in 1789, Tuckerton was designated a Port of Delivery for the Burlington district. Tuckerton was upgraded to an official Port of Entry in 1796 after the residents of Little Egg Harbor lobbied Congress for a separate district (Stemmer, 2022).

In the mid-nineteenth century, the federal government invested in a series of lighthouses along the New Jersey coast “so that in sailing the light of one is not lost till the next is in sight” (Princeton, 2022). The NRHP-listed Absecon Lighthouse (71000492) was constructed in 1856 under the direction of Lt. George Meade, who later commanded Union forces at the Battle of Gettysburg (Wilson, C.I., Jr., 1970b). Constructed of iron and brick, it rises 171 feet. The lighthouse was decommissioned in 1933 and was moved to its current location from its original site closer to the inlet. The NRHP-listed Cape May Lighthouse (73001090) was constructed by the Army Corps of Engineers between 1857 and 1859. The building is 157.5 feet tall, and the original cast iron spiral stairway is still intact and provides access to the lens chamber. Originally fired by oil in 1859, the light was automated in 1946 (Diller, 1973).

In 1874, Congress allocated funds for 41 life-saving stations along the New Jersey coast (Princeton, 2022). A total of 45 stations were established on the New Jersey coast and operated by the U.S. Life-Saving Service before the creation of the Coast Guard in 1915. Only 15 of these stations are still extant (York, 2011). The NRHP-eligible Little Egg Harbor U.S. Life-Saving Station #23 within the PAPE in Ocean County is a legacy of this era. The resource overlooks Great Bay and is located to the northwest of the Little Egg Inlet between Long Beach and North Brigantine. The station was initially constructed in 1937 and its location in proximity to the ocean was imperative for rescuers to reach nearby shipwrecks on the Atlantic Ocean. The facility currently houses the Rutgers University Mullica River Field Station (Heritage Association, 2021).

3.1.3 Transportation and Residential Development

Transportation to the coast was primarily by ship, but as the railroad expanded, vacation opportunities for people of modest means became accessible (Zerbe et al., 2004). The Camden & Atlantic Railroad line opened between Camden to Absecon Island in 1854, which contributed to the rapid development of Atlantic City. However, Salem and Cape May counties were slower to develop by comparison, as railroads did not arrive until after the end of the Civil War (NJHPO, 2013). The barrier islands began to see intense development during this period with the establishment of residential resort communities typically constructed by speculative developers. Some of the earliest communities established just inland along trade routes like the Shore Road were outstripped by vacation spots like Atlantic City (which saw some half a million visitors a year by the 1870s) (Thompson, 1989; Zerbe et al., 2004; Princeton, 2022). According to the NJHPO:

The first State highway system was enacted into law in 1917 and largely constructed during the ten years thereafter. ... As these highways were constructed, recreational opportunities widened. More areas of the Jersey shore came under development" (NJHPO, 2013). As the automobile took over as the driver of development, "the result was a new form of resort, one which anticipated Miami Beach as well as much of the remainder of the twentieth century New Jersey seashore development in its low density and wide streets (Thomas, 1986).

These developments are adjacent to, and offer clear views of, the ocean. Residential neighborhoods and commercial clusters were constructed to provide access to the nearby beach and ocean views. Consequently, for many aboveground historic properties of this type, a relationship with the Atlantic Ocean is essential to their historic integrity. These developments represent popular period styles (Stick, Queen Anne, Gothic Revival, and Colonial Revival) and building types (bungalow, foursquare). Many of these are loosely defined as cottages; wood shingle cladding is a substantive defining feature of many of these coastal houses. Located on the shore and within the PAPE, the NRHP-listed and eligible historic districts of Beach Haven (Ocean County), Bay Front (Somers Point, Atlantic County), Saint Leonard's Tract (Ventnor City, Atlantic County), and John Stafford (Ventnor City, Atlantic County) reflect the shift in the development along the coast driven by improved transportation networks and middle-class recreation.

The NRHP-listed John Stafford Historic District (88000723) is a district encompassing three residential blocks in the city of Ventnor. Bounded by Atlantic, Austin, and Vassar Avenues and the Boardwalk, the district comprises some 30 buildings. The residences within the district were built between 1914 and 1924 by the developer John Stafford and were designed by Philadelphia architects such as Frank Seeburger and J. Fletcher Street (Thomas, 1986).

The NRHP-eligible Saint Leonard's Tract Historic District is a grouping of approximately 250 residences constructed between 1906 and 1930. The district is located between the Atlantic Ocean and the Intercoastal Waterway with many residences having views of one or both bodies of water. The setting of the district on a coastal barrier and the presence of water views along the perimeter of the neighborhood are integral to its character and feeling. The Saint Leonard's Tract Historic District is significant as a

designed community with strict building requirements for its architecture. The St. Leonard's Land Company purchased the land in 1896 and designed the district in a grid pattern (The History Store, 1986).

3.1.4 Recreation

The New Jersey coast has a long history as a vacation spot and a place of recreation for dwellers of urban centers such as Philadelphia. As early as the 1760s, proprietors on Cape May could advertise to city dwellers that they could enjoy the sea shore, "where a number resort for health and bathing in the Water" (Zerbe et al., 2004). Due to its location on Delaware Bay and its proximity to Philadelphia, the city of Cape May was the first location within the PAPE to see substantial resort development. Designated a National Historic Landmark (NHL), today the Cape May Historic District (70000383) largely reflects a later period of resort development within the city. The district "has one of the largest collections of late nineteenth century frame buildings left in the United States...(and) contains over 600 summer houses, old hotels, and commercial structures that give it a homogeneous architectural character, a kind of textbook of vernacular American building" (Pitts, 1976).

Hotels figured prominently in resort development. Some, like the United States Hotel (no longer extant) which took up an entire city block in Atlantic City, were owned by railroad companies (Princeton, 2022). Most of the prominent nineteenth century waterfront hotels are no longer extant. However, later generations of resort hotel development remain and still retain commanding ocean views. The NRHP-eligible Ritz Carlton Hotel is an 18-story building clad in brick that opened in June 1921. Constructed with elements of the Beaux Arts style, the building was designed by New York City architect Sir Charles Wetmore and was a prominent hotel in Atlantic City in the 1920s. The hotel was one of several hotels converted into army barracks during World War II, and in 1969 was converted into apartments (ACFPL, 2022).

De facto segregation was in place in Atlantic City from the 1920s to the 1960s where the city's African American community, concentrated on the Northside, was forced to use only the Missouri Avenue Beach (HABS No. NJ-1161). Commonly known as "Chicken Bone Beach", it was located on city-owned land in front of Convention Hall and the Million Dollar Pier. A Black entertainment district developed in the Northside where prominent Black entertainers like Sammy Davis, Jr. performed at night clubs and then enjoyed bathing at the Missouri Avenue Beach with other African American vacationers (Bear, 2019; PBS, 2019; CBB 2022). In neighboring Brigantine City, the Brigantine Hotel, constructed in 1927 in the Art Deco style, was for a time a prominent desegregated hotel where both white and black guests could enjoy the associated beachfront. Purchased by the racially-integrated Peace Mission Movement led by the Black pastor Father Divine, the Brigantine for a brief time in the 1940s provided inexpensive lodging and meals, and beach access for its followers and interested guests of both races. Seen by many as a racially-integrated cult, the Mission encountered resistance in Brigantine City. Under pressure, the Mission sold the hotel to the Atlantic City-based Black beauty product magnate, Sara Washington Spencer, who kept the hotel and beach open to both Black and White guests (Roi, 1948; Schultz and Kelly, 2002; Lurie and Mappen, 2004).

3.1.5 Boardwalks

Historic properties like the NRHP-eligible Atlantic City Boardwalk Historic District reflect these resort communities' recreational connection to the water. Intended to prevent sand from being tracked into area businesses, the first iteration of a boardwalk was more appropriately called a "foot walk" and led from the beach to the business district of Atlantic City. In 1870, railroad conductor Alexander Boardman and hotelier Jacob Klein proposed an alternate design that would be the basis for the modern boardwalk. The design included wood planks arranged in a herringbone pattern with a concrete and steel substructure. As Atlantic City expanded and developed into the late nineteenth century, the boardwalk was reconstructed with more hotels, piers that housed carousels and dance floors, and electrical signs. Amusement piers were introduced to Atlantic City in the 1890s. These piers extended from the boardwalk into the ocean, and each offered unique entertainment options (Berberabe, 2021).

The boardwalks of New Jersey reached the pinnacle of their popularity in the 1920s with most communities undertaking continued upgrades and improvements. The Music Pier at Ocean City's boardwalk was opened in the summer of 1929. It is located on the southeast side of the boardwalk at Moorlyn Terrace. The pier extends approximately 218 feet over the beach and provides expansive views of the ocean from inside and outside of the building. It was constructed after the 1927 fire destroyed a large portion of the boardwalk, including businesses and nearby homes. The Spanish Colonial-style pier included a large concert hall and was used for conventions, bazaars, dances, and free summer concerts (Lilliefors and Lilliefors, 2006; Berberabe, 2021).

The Great Depression led to a downturn in visitation to the New Jersey Shore. The Great Atlantic Hurricane of 1944 also caused significant damage, particularly to beachside recreational properties like the boardwalks (Berberabe, 2021; Discover Seaside Heights, 2011). Resort communities enjoyed a postwar resurgence in popularity which was also helped by the completion of superhighways, most significantly the NRHP-eligible Garden State Parkway (1946-1957), which further linked the barrier island communities with distant urban centers. New accommodations for highway travelers changed some of the architectural character of the vacation spots. As the Motels of the Wildwoods Multiple Property Documentation Form (64500880) notes:

The architects and builders in The Wildwoods worked to bring the high-style architecture of Florida down to an "everyman's" level. ... Many of the most fantastical motels are constructed of simple concrete block walls and then use wood framing to create the modern appendages such as butterfly roofs, angled walls and porte-cocheres that match the stylistic designs conjured by the exotic names of the motels (Zerbe et al., 2004).

The Aloha is a late example of "Doo Wop" or "Populuxe" motels built in Wildwood during the 1950s and 1960s. It is located on the northwest side of John F. Kennedy Drive adjacent to the boardwalk and the Wildwood beach, though the constraints of its narrow lot required that it be oriented perpendicular to the waterfront. It has several of the defining characteristics of the type, including three stories, continuous porches with wide, overhanging eaves supported by exposed steel beams and metal railings, and a second-story sundeck positioned at a right angle to the building.

While the automobile initially brought more tourists to the area, the usage of a car rather than a train led to visitors opting to stay at the shore for days at a time rather than an entire week or longer. Additionally, as air travel became more accessible for more Americans, many opted to vacation in destinations farther south in the Carolinas and Florida (ACFLP, 2022; Berberabe, 2021; NJHPO, 2006).

As noted above, weather-related events have resulted in significant physical impacts to boardwalks and their surrounding buildings. Most recently, Hurricane Sandy in 2014 caused extensive damage to several of New Jersey's boardwalks. A third of the boardwalk at Ocean Grove was destroyed and Sea Bright's entire boardwalk was destroyed and rebuilt by volunteers. After the storm, Atlantic City undertook a \$34 million reinvestment campaign that included upgraded lighting, improvements to parks, and façade improvements for businesses (Urgo, 2015; Dube, 2016). Therefore, although the historic materials of boardwalks may have been replaced several times throughout their lifespan, New Jersey's boardwalks retain historic significance as a public gathering spot to take advantage of the maritime setting and location near and/or views of the water.

The historical significance of boardwalks is often rooted in their continuity of use as a focus for public recreation and may not be dependent on the integrity of materials and design for the boardwalk structures themselves, adjacent structures, or their visual settings. Despite the variability in historic integrity of boardwalks within the PAPE (as well as alterations to many of the buildings located along them), potential visual impacts to boardwalks resulting from the Projects have been identified as being of particular interest to the NJHPO. In a meeting with the NJHPO on July 25, 2022, boardwalks were discussed as being of elevated interest and increased potential for adverse visual effects due to being a historic public gathering place along the water.

3.1.6 Primary Seaside Communities Within the WTA PAPE

Although there are numerous smaller villages and population centers along the New Jersey shore with active economies tied to the water (through recreation, tourism, and other means), the primary seaside communities within the PAPE are Atlantic City, Ocean City, the Wildwoods, and Cape May. Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. Euro-American development on Absecon Island was slow in the early-to-mid eighteenth century as it was only accessible by boat. The Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century (Allaback and Milliken, 1995; ACFPL, 2022).

Ocean City is in Cape May County and is located in the northernmost part of Absecon Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. The area became known as Peck's Beach; it was used as a cattle-grazing area and people from the mainland would travel to the island for recreation. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort and sold commercial and residential lots for

development. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk (Ocean City, 2022; Allaback and Milliken, 1995).

Wildwood City is in Cape May County on the barrier island known as Five Mile Beach. In 1895, the Wildwood Beach Improvement Company was founded by the Baker Brothers which gave rise to Wildwood (Wildwood Crest Historical Society 2022). Officially incorporated in 1912, Wildwood City is known for its wide, white sand beaches, the widest on the Jersey Cape, and its boardwalk that stretches along the beach for more than a mile and a half (Cape May County, 2022a).

North Wildwood City is in Cape May County north of Wildwood City. The area was used as a fishing, pasturage, and whale processing locale during the seventeenth and eighteenth centuries and did not have any permanent settlement until the village of Anglesea was established by Swedish fishermen around 1870. In 1879, the Five Mile Beach Improvement Company purchased the village. A rail line was established between Cape May Courthouse and Anglesea in 1884, which made the island more accessible from the mainland. The community was renamed North Wildwood in 1906 (Zerbe et al., 2004; History of North Wildwood, 2022).

Cape May, located at the southernmost tip of New Jersey at Cape May Point, is known as the country's oldest seashore resort. Because of its location on Delaware Bay, Cape May was an early point of interest for the Dutch. They purchased from the Lenni-Lenape a tract of land four miles along the bay and 12 miles inland starting at Cape May Point to establish a colony on the Delaware River. In 1632, David Pieterse DeVries established a fishing and whaling village at Cape May. In the early nineteenth century, steamboat traffic on the Delaware River brought vacationers to Cape May laying the foundation for a long and flourishing history as a resort community. Today, the city of Cape May is known for its well-preserved collection of late Victorian architecture (Pitts, 1976).

3.2 Historic Context – Onshore Facilities PAPEs

Archives and repositories consulted during EDR's research for the Larrabee substation locations included the online digital collections of the Library of Congress, the State of New Jersey official website, David Rumsey Historical Map Collection, the Monmouth County Historic Inventory website, and the United States Geological Survey, and EDR's in-house collection of reference materials. Additionally, EDR reviewed the *History of Monmouth County, New Jersey* (Ellis, 1885), *History of New Jersey* (Meredith and Hood, 1921), the *Story of New Jersey's Civil Boundaries 1606-1968* (Snyder, 1969), for the historic context of the substation sites and PAPE.

The proposed Larrabee Substation/Converter station will be located in the Howell Township, Monmouth County, New Jersey (see Figure 3.2-1). Monmouth County's 665 square miles (1,722 sq km) are situated along the Jersey Shore south of New York Bay, and are divided into 53 municipal subdivisions, including townships, cities, towns, boroughs, and villages.

New Jersey has been the site of human occupation for at least 12,000 years. At the time of European first contact, Atlantic County, like most of New Jersey, was occupied by the Lenni Lenape people. The local

branch was the Unalachtigo Lenape, or the “people who live near the ocean” (Snyder, 1969). The first European voyagers included the Dutch, Finns, and Swedes, who founded competing trade settlements along the coast from present-day Cape May to Trenton. The Finnish and Swedish colonies, however, did not receive enough support from their respective home countries, and suffered from a lack of financial and human resources. In 1655, Peter Stuyvesant sent a fleet of Dutch ships to raid the Finnish and Swedish settlements, resulting in the Dutch taking over control of the area for New Netherland (Meredith and Hood, 1921; Snyder, 1969).

The New Jersey colonies came under English control when the Dutch were defeated in 1664. For the next century, emigres from Holland, Huguenots from France, and Scots, among others, made New Jersey their home. During this early colonial period, the colony was split into two halves, East and West Jersey. In 1686, the area comprising Egg Harbor Township was located in Gloucester County in West Jersey. Gloucester County split from Burlington County. In 1693, Great Egg Harbor Township, or simply Egg Harbor, was formed. During the American Revolution, southern New Jersey was the site of many battles. For four months in 1783, the City of Princeton served as the United States’ capital (Meredith and Hood, 1921; Snyder, 1969).

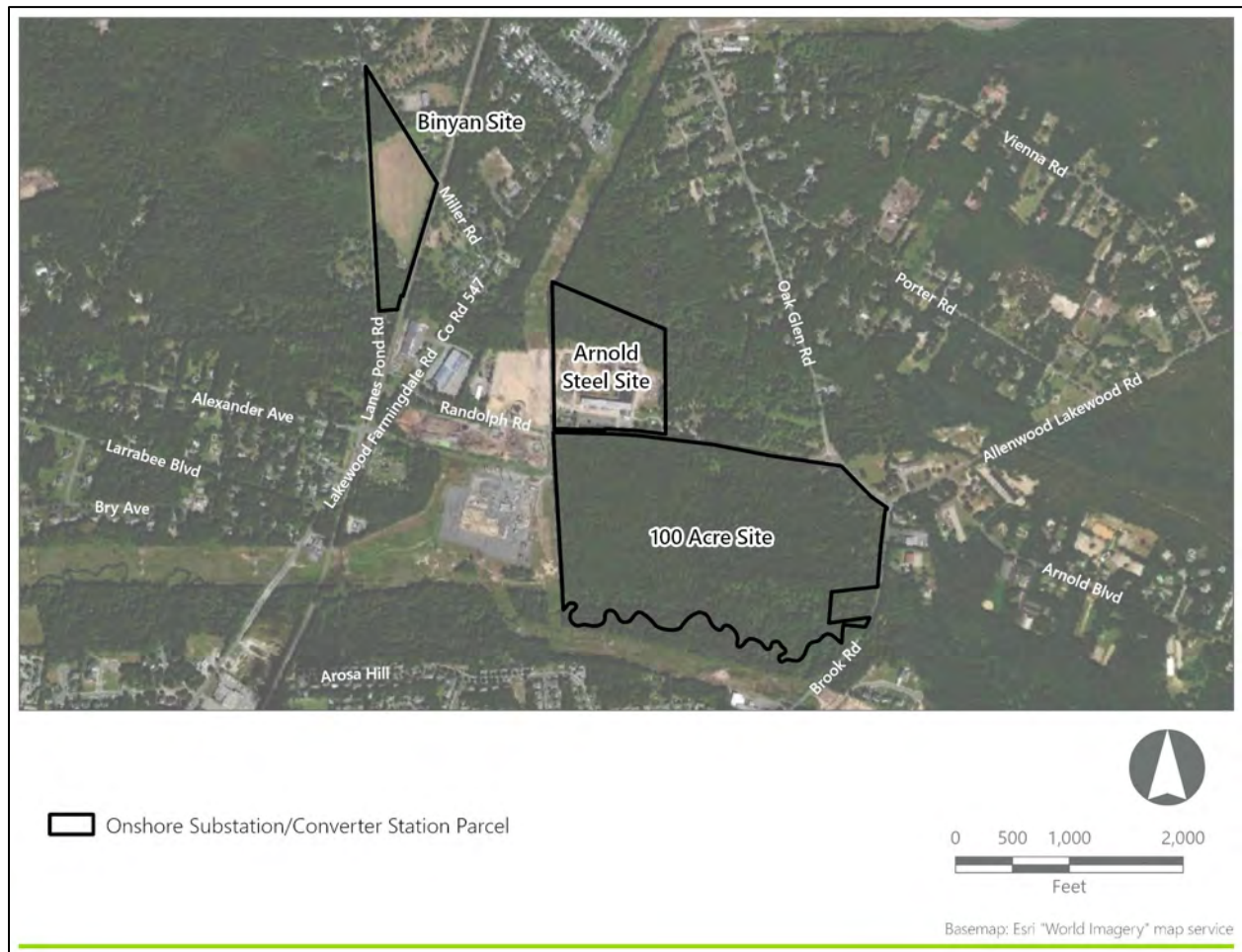
English colonial officials formed Monmouth County in 1683 in the East Jersey province. English Quakers formed a significant share of early Euro-American settlers in the county, while bands of Lenni Lenape continued to dwell in the region and maintained trading relationships with Europeans (Ellis, 1885; Salter, 1890). Colonizing Euro-Americans largely concentrated economic development of the region on clearing pitch pine timber for lumber and producing tar and turpentine for the maritime industry and subsequently developed cleared areas for agricultural and livestock grazing land in favorable soil conditions (Parsons, ed., 1928). The Euro-American population of Monmouth County remained relatively low compared to more intensively developed areas in the Hudson and Delaware River valleys but steadily grew into the nineteenth century with a focus on agriculture and light industry, such as grist and saw milling on suitable streams and rivers.

Howell Township was formed in 1801 from a subdivision of Shrewsbury Township. By 1832 the county had a modest commercial economy consisting of 17 mills, two distilleries, and a furnace (Ellis, 1885). The township was itself subdivided three times in the mid-nineteenth century. The production of pig iron was a major industry in Monmouth County, with over 500 workers employed at the Allaire Works on the Manansquan River between 1821 and 1846 (Morrison, 1950). In 1850, Ocean County was partitioned from Monmouth County (OCCHC, 2020). In 1853, a rail line was constructed which connected Camden with points in Monmouth County, and by 1860 rail lines had successfully linked most areas of the state (Morrison, 1950).

At the turn of the twentieth century, immigration from Europe increased dramatically, doubling the population of New Jersey, with many new arrivals settling in Monmouth County. While Wall and Howell Townships remained largely agricultural into the twentieth century, rail connections with larger urban areas and later improved roadways for automobiles in the twentieth century led to the growth of seaside communities in Monmouth County that were increasingly not connected with local farming or industry (Parsons, ed. 1928). Chemical and electronics manufacturing expanded significantly during the Second World War and afterwards (Monmouth County Planning, 2016). Monmouth and Ocean Counties followed

the national trends of suburbanization, and after the construction of the Garden State Parkway, population and development expanded quickly. Today Monmouth County is one of the wealthiest counties in the United States, benefiting from its legacy of manufacturing, while Ocean County has remained the fastest growing county in New Jersey for much of the past 60 years (New Jersey, 2020; OCCHC, 2020).

Figure 3.2-1. Proposed Larrabee Substation/Converter Station Locations.



3.2.1 The Lanes Pond Road Site

3.2.1.1 Existing Conditions

The Lanes Pond Road Site, currently consisting of managed agricultural land and mixed forest, is an approximately 16.3-acre parcel north-northwest of the existing Larrabee substation (see Figure 3.2-2). It is bordered by Lanes Pond Road to the west, Miller Road to the north, the New Jersey Southern rail corridor to the east, and a residence to the south.

Figure 3.2-2. Lanes Pond Road Site overview. The view from Lanes Pond Road showing the agricultural hay field. View to the east.



3.2.1.2 Visual Setting

The Lanes Pond Road Site is located in a predominantly forested area with light density residential, industrial and agricultural properties. A few residences are located to the west of the site along Lanes Pond Road, with dense forestation further west. To the north of the site are scattered residences and dense forest, as well as Lake Louise. Located to the east across Miller Road are residences, agricultural land, the New Jersey Southern Railroad Historic District, and two mobile home developments, as well as dense forestation. Finally, to the south of the site are a few industrial properties, residences, and forest land.

3.2.1.3 History of the Site

The Lanes Pond Road Site has been vacant land since at least 1930, when historic aerials show the property as agricultural fields. Based on a review of historic aerials and maps, the northern portion of the property near the intersection of Lanes Pond and Miller Roads has been wooded since at least 1930, the middle portion of the property remains open fields, and the southern portion has been wooded since approximately 1972 (Historic Aerials, 2022).

The vacant land of the Lanes Pond Road Site is not associated with any event or person, nor does it have the potential to yield information important in history or prehistory; therefore, the property does not meet the criteria for listing in the NRHP.

3.2.2 The Randolph Road Site

3.2.2.1 Existing Conditions

The Randolph Road Site is an approximately 24.7-acre parcel northeast of the existing Larrabee substation. The Randolph Road option is made up of three parcels (Parcel ID's 1321_5_3 and 1321_5_2) and is currently a steel fabrication facility with associated laydown yard, offices, and parking, as well as forested wetlands surrounding Dicks Brook (see Figure 3.2-3).

Figure 3.2-3. The Randolph Road option overview. View of the steel fabricator facility from Randolph Road. View to the north.



3.2.2.2 Visual Setting

The Randolph Road site is located in a predominantly wooded area, with dense forestation to the immediate north, east, and south (see Figure 3.2-4). A transmission line is located directly west of the site. Low density residential development is located to the northeast and a topsoil distributor, and a substation are located to the southwest. Low density residential development and scattered commercial development are located to the west.

Figure 3.2-4. View of the adjacent transmission line and the Material Transport Group, the topsoil distributor, on Randolph Road. View to the south.



3.2.2.3 History of the Site

The property was forest land from as early as 1930. Between 1947 and 1953 the land was cleared and divided into the present-day parcels. By 1956 two large structures, possibly barns, and a few smaller structures were constructed on the property. By 1979 the Randolph Road facility has been constructed, replacing one of the large structures. Multiple additions are added to the property between 1979 and 1995 (Historic Aerials, 2022).

The extant structures on the Randolph Road Site are not architecturally significant, nor are they associated with any event or person. The structures do not have the potential to yield information important in history or prehistory; therefore, the property does not meet the criteria for listing in the NRHP.

3.2.3 *The Brook Road Site*

3.2.3.1 Existing Conditions

The Brook Road Site, currently a vacant wooded lot, is an approximately 99.4-acre parcel (see Figure 3.2-5). The Brook Road option is made up of two parcels (Parcel ID's 1321_5_3 and 1321_5_2) and includes mostly upland forested area with some areas of wetlands associated with the Metedeconk River.

Figure 3.2-5. Brook Road option overview. The view of the wooded parcel from Randolph Road. View to the south.



3.2.3.2 Visual Setting

It is bordered by the existing Larrabee substation to the west, Randolph Road to the north, Oak Glen Road and Brook Road to the east, and the south by the North Branch Metedeconk River which makes up the Monmouth/Ocean County line. Randolph Road is located to the northwest across Randolph Road. A few buildings are located across Brook Road to the east of the property.

3.2.3.3 History of the Site

The property was used as agricultural fields as early as 1930. The associated farmhouse and outbuildings appear to be located across from each other on the east and west sides of Brook Road at the east edge of the 100 Acre option. A large oval area, likely once a horse track, is visible on past and present aerial imagery, with subdivided fields evident within the oval road and surrounding it. To the west of the horse track appears to be densely wooded as early as 1930, although there are some paths visible between the trees and orchards appear to have been planted to the east and southeast of the track. Trees are visible inside the track in the 1980s and forest has reclaimed the land by the early 2000s (Historic Aerials, 2022).

The vacant land of the Brook Road Site is not associated with any event or person, nor does it have the potential to yield information important in history or prehistory; therefore, the property does not meet the criteria for listing in the NRHP.

3.2.4 Fire Road Site

The proposed Cardiff onshore substation/converter location is proposed to be located at one site (as described above) in Egg Harbor Township, Atlantic County, New Jersey (see Figure 2.2-1). A historic context for the development to date within the area of this proposed location is provided in Section 3.2.4.1. The existing location, visual setting, and history of this site is described in Sections 3.2.4.2, 3.2.4.3, and 3.2.4.4.

3.2.4.1 Historic Context

Archives and repositories consulted during EDR's research for the Fire Road Substation/Converter Station included the online digital collections of the Library of Congress, online collections of the Egg Harbor Branch Atlantic County Public Library, online resources of the Atlantic County Office of Cultural and Heritage Affairs, David Rumsey Historical Map Collection, and the United States Geological Survey (USGS; see Section 6.0), and EDR's in-house collection of reference materials. Additionally, EDR reviewed the *History of Atlantic City and County, New Jersey* (Hall, 1900), *History of New Jersey* (Meredith and Hood, 1921), the *Story of New Jersey's Civil Boundaries 1606-1968* (Snyder, 1969), and *Atlantic County Master Plan* (Atlantic County, 2000) for the historic context of the onshore component sites and PAPE.

The Fire Road Substation/Converter Station is located in the Egg Harbor Township, Atlantic County, New Jersey. Atlantic County's 671 square miles (1,738 sq km) are situated along the Atlantic Coastal Plain, roughly 100 miles (161 km) south of New York City and divided into 23 municipal subdivisions, including townships, cities, towns, boroughs, and villages.

Atlantic County was formed in 1837 from the townships of Egg Harbor, Galloway, Hamilton, and Weymouth (Snyder, 1969). The first deed sold in Atlantic County was in the Township of Egg Harbor in the same year and included 40 acres (16.2 ha) of land to Samuel Saunders. An economy around the production of iron arose in the early nineteenth century in the vicinity of Egg Harbor City, but the ore supply was exhausted by the turn of the century (Hall, 1900). In addition, Cape May and Atlantic City emerged as major resort attractions on the Atlantic Ocean during the nineteenth century. By the turn of the twentieth century, most of the residents in Atlantic County lived in Atlantic City (Morrison, 1950; Atlantic County, 2000). During the early-twentieth century, Egg Harbor became center for the manufacturing of cut glass and clothing, but remained primarily agricultural (Meredith and Hood, 1921).

During the first half of the twentieth century, Atlantic County, specifically Atlantic City, continued to grow and was firmly established as the main population center by the 1920s. However, during the second half of the twentieth century, the population shifted from Atlantic City to the suburban county areas, following the nation-wide trends. In the mid-twentieth century, large tracts of farmland in Egg Harbor and in the vicinity of the Vacant Commercial Center Site were purchased and developed into residential communities, with commercial buildings being constructed along the main roadways. In 1976, New Jersey passed an act which legalized gambling in Atlantic City. Consequently, fears of an economic boom and the associated increase in development that might follow in the suburban areas prompted various

environmental conservation laws to protect the natural resources from improper development and suburban sprawl. At the beginning of the twenty-first century, Atlantic County was undergoing gentrification in some populated areas where the transition from multi-family apartment housing to new single-family dwellings occurred. In the suburban areas, senior housing developments were being constructed in response to the area's aging population (Atlantic County, 2000).

3.2.4.2 Existing Conditions

The Fire Road Substation/Converter Station is proposed to be located on a vacant wooded lot on Fire Road (County Road 651) in Egg Harbor Township, Atlantic County, New Jersey. This site is approximately 20-acres and bordered to the north by Fire Road (County Road 651), commercial development to the west, Hingston Avenue to the south, and by a mix of apartment complexes, single-family residences, and a hotel to the east (see Figure 3.2-6). The southern portion of the lot has a cleared drive with curbing and storm drains, suggesting the parcel was prepared for residential and/or commercial development at one time. Based on a review of aerial photos the access drive was constructed between 1984 and 1995 (Historic Aerials, 2022).

Figure 3.2-6 Proposed Fire Road Substation/Converter Station Location.



Figure 3.2-7 Overview of the cleared entranceway to the Fire Road Site off of Hingston Avenue. Note the curb, photo left. View to the northwest.



Figure 3.2-8 Overview of the wooded areas of the Fire Road Site from Hingston Avenue. View to the northwest.



3.2.4.3 Visual Setting

The proposed Fire Road Substation/Converter Station is located on a vacant wooded lot in a densely developed section of Egg Harbor Township. The area surrounding the proposed location consists of commercial and high-density residential development with a mix of freestanding commercial structures and condominium housing immediately adjacent to the parcel. Additionally, within the PAPE exists areas of dense forestation, salt marsh, industrial development, the inland bay, recreational spaces, low and medium density residential development, and major transportation corridors including the Garden State Parkway and the Atlantic City Expressway.

3.2.4.4 History of the Site

Historical aerial photography from 1931 depicts the proposed Fire Road Site as wooded land between what appear to be cleared agricultural tracts. Fire Road, Tilton Road, Old Egg Harbor Road, and Hingston Road are all visible in the same general location as their present-day configuration. Imagery from 1951 and 1957 shows little to no change. By 1963, imagery shows partial clearing through the center of the Fire Road Site, extending from the back yard of one of the residential lots along Old Egg Harbor Road to the east. By 1970 the cleared area is partially overgrown, and fully reclaimed by forest by 1984. Some of the agricultural land surrounding the Fire Road Site has also been left fallow and started to become vegetated at this time, while an apartment complex (still extant today) has been constructed immediately to the east. In 1995, imagery shows significant disturbance and clearing in the southern portion of the Fire Road Site, another clearing in the center of the area, and a series of cleared pathways throughout (Historic Aerials, 2022). From 2002 till present day imagery shows the gradual regrowth of the cleared areas, as well as a retention pond/basin in the south of the area that corresponds to the dugout area identified in lidar data.

In brief, the historical map review demonstrates that location of the Fire Road Site remained undeveloped wooded and/or agricultural land until approximately 1995, at which time the location underwent some clearing and earthmoving, likely as preparation for additional development that never occurred.

The vacant land of the Fire Road Site is not associated with any event or person, nor does it have the potential to yield information important in history or prehistory; therefore, the property does not meet the criteria for listing in the NRHP.

3.3 **Historic Context – O&M Facility PAPE**

Archives and repositories consulted during EDR's research for the O&M Facility included the online digital collections of the Library of Congress, online resources of the Atlantic County Office of Cultural and Heritage Affairs, David Rumsey Historical Map Collection, and the United States Geological Survey (USGS), and EDR's in-house collection of reference materials. Additionally, EDR reviewed the *History of Atlantic City and County, New Jersey* (Hall, 1900), *History of New Jersey* (Meredith and Hood, 1921), *Outline History of New Jersey* (New Jersey History Committee, 1950), the *Story of New Jersey's Civil Boundaries 1606-1968* (Snyder, 1969), and *Atlantic County Master Plan* (Atlantic County Planning, 2000) for the historic context of the O&M Facility Site and PAPE.

The O&M Facility is located in Atlantic City, Atlantic County, New Jersey. Atlantic County's 671 square miles (1,738 sq km) are situated along the Atlantic Coastal Plain, roughly 100 miles (161 km) south of New York City and divided into 23 municipal subdivisions, including townships, cities, towns, boroughs, and villages.

New Jersey has been the site of human occupation for at least 12,000 years. At the time of European first contact, Atlantic County, like most of New Jersey, was occupied by the Lenni Lenape people. The local branch was the Unalachtigo Lenape, or the "people who live near the ocean" (Snyder, 1969). The first European voyagers included the Dutch, Finns, and Swedes, who founded competing trade settlements along the coast from present-day Cape May to Trenton. The Finnish and Swedish colonies, however, did not receive enough support from their respective home countries, and suffered from a lack of financial and human resources. In 1655, Peter Stuyvesant sent a fleet of Dutch ships to raid the Finnish and Swedish settlements, resulting in the Dutch taking over control of the area for New Netherland (Meredith and Hood, 1921; Snyder, 1969).

The New Jersey colonies came under English control when the Dutch were defeated in 1664. For the next century, emigres from Holland, Huguenots from France, and Scots, among others, made New Jersey their home. During this early colonial period, the colony was split into two halves, East and West Jersey. In 1686, the area comprising the PAPE was located in Gloucester County in West Jersey. During the American Revolution, southern New Jersey was the site of many battles. For four months in 1783, the City of Princeton served as the United States' capital (Meredith and Hood, 1921; Snyder, 1969).

Atlantic County was formed in 1837 from the townships of Egg Harbor, Galloway, Hamilton, and Weymouth (Snyder, 1969). Prior to the introduction of the railroad, the area which is now Atlantic City had only seven buildings (Hall, 1900). Cape May and Atlantic City emerged as major resort attractions on the Atlantic Ocean by the end of the nineteenth century. By the turn of the twentieth century, most of the residents in Atlantic County lived in Atlantic City (New Jersey History Committee, 1950; Atlantic County Planning, 2000).

During the first half of the twentieth century, Atlantic County, specifically Atlantic City, continued to grow and remain popular. However, during the second half of the twentieth century, the population shifted from Atlantic City to the suburban county areas, following the nation-wide trends. In 1976, New Jersey passed an act which legalized gambling in Atlantic City. Consequently, fears of an economic boom in the suburban areas prompted various environmental conservation laws to protect the natural resources from improper development and suburban sprawl. Atlantic City experienced decline in 1970s and 1980s that reflected national trends in most major US cities (Atlantic County Planning, 2000).

At the beginning of the twenty-first century, Atlantic County was undergoing gentrification in some populated areas where the transition from multi-family apartment housing to new single-family dwellings occurred. In the suburban areas, senior housing developments were being constructed in response to the area's aging population. However, during the late twentieth and early twenty-first century, efforts were

made to revitalize neighborhoods and amenities within Atlantic City, including Gardner's Basin and Clam Creek areas immediately adjacent to the proposed O&M Facility (Atlantic County Planning, 2000).

3.3.1 Existing Conditions

The parcel at 801 North Maryland Avenue is currently a vacant lot in a state of disrepair. Sections of cracked concrete paving cover most of the ground surface, with grass and weeds growing out of the gaps (See Figure 2.2-1). A chain link fence encloses the site on its three land facing sides, the fourth side is open to the Clam Creek and the State Marina. The southern third of the parcel has grass ground cover enclosed within an approximately 5-foot-tall concrete wall (See Figure 2.2-2). Within the concrete wall three large concrete, sand, and gravel foundation pads of roughly octagonal shape are visible on the ground surface. Partially collapsed wood and concrete bulkheading faces the marina (See Figure 2.2-3). Closer inspection of the bulkhead revealed an approximately 1.5-2.0-foot-thick concrete pad capping the northern portion of the site, and a short, four-course-high brick wall remnant extending above ground the surface grade (See Figure 2.2-4).

The State Marina parking lot is a moderately-well maintained paved parking lot that is currently in active use (See Figures 2.2-5 and 2.2-6). A chain link fence with wooden posts and perimeter landscaping borders the parcel on the side adjacent to North Maryland Ave, while the remaining sides are left open to the remainder of the parking lot and the water/marina.

Figure 3.3-1. Overview of the shoreside parcel at 801 North Maryland Avenue with cracked concrete paving and chain link fence. View to the southeast.

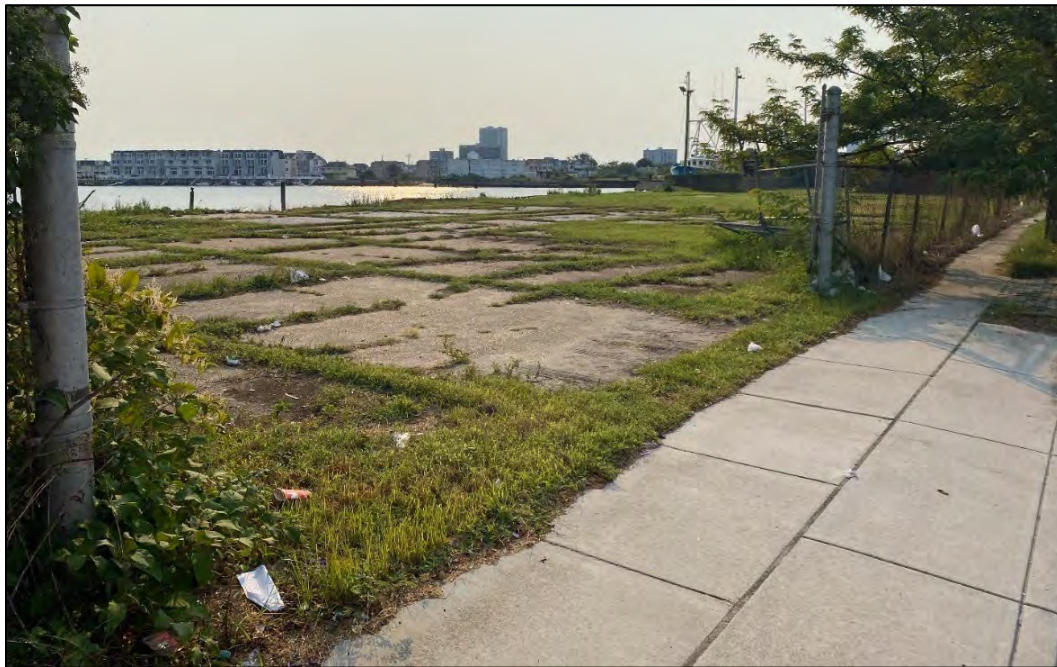


Figure 3.3-2. Overview of the southern portion of the proposed Facility Site, enclosed in a concrete wall with roughly octagonal concrete foundation pads. View to the north.

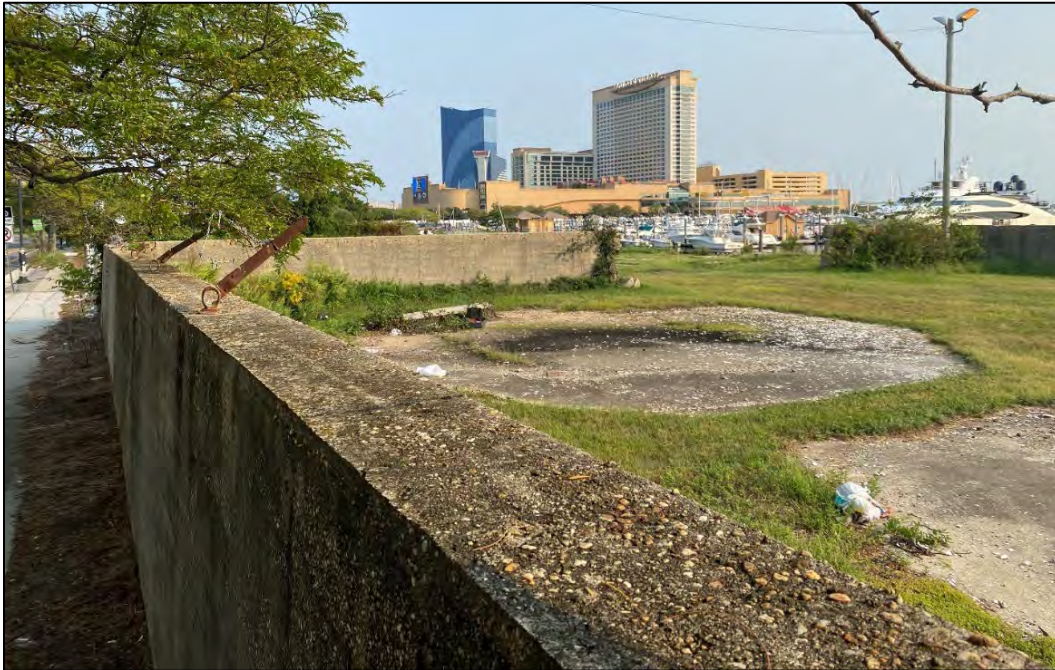


Figure 3.3-3. Overview of partially collapsed wood and concrete bulkhead facing the marina. View to the south.



Figure 3.3-4. Close up of bulkhead in disrepair, showing thick concrete foundation pad and remains of a brick wall.



Figure 3.3-5. Overview of the state marina parking lot parcel, showing the fencing and perimeter landscaping bordering North Maryland Avenue, view to the south.



Figure 3.3-6. Overview of the state marina parking lot parcel, showing a close-up view of vegetation in the southern portion of the parcel, view to the south.



3.3.2 Visual Setting

As stated above, the proposed O&M Facility is located in a densely developed neighborhood in Atlantic City. Directly to the north of the O&M Facility are major thoroughfares of Huron Avenue and Brigantine Boulevard (see Figure 2.4-2). Further north from the O&M Facility is the Borgata Casino, Clam Thoroughfare and Absecon Bay. To the east of the O&M Facility is Clam Creek and the State Marina as well as a residential neighborhood located around Delta Basin, Snug Harbor and Gardner's Basin (see Figure 2.4-2). To the south of the O&M Facility is the Delta Basin and a mixed-use neighborhood and to the west is predominantly multi-family residential development.

Figure 3.3-7. View to the north-northeast toward the state marina site (photograph by EDR, 2021).



Figure 3.3-8. View to the west-southwest across Clam Creek toward the O&M Facility. The NRHP-eligible USCG Station Atlantic City is visible at left (photograph by EDR, 2021).



3.3.3 *History of the Site*

The O&M Facility is located on made-made reclaimed land that was formerly undeveloped tidal marshland. Available aerial imagery from 1920 indicates at this time the site was still undeveloped tidal marshland; however, by 1931 the alignment of North Maryland Avenue was cleared and within the site a large rectangular structure and six round tanks, presumably oil storage tanks, were extant. This configuration is again visible on a 1957 aerial and at this time the site also included a dock extending into Clam Creek. A retaining wall is also visible within the site. The marina to the northwest in the area of the proposed parking structure was constructed ca. 1960 and by 1970 a large housing developed was constructed to the southwest of the site on the southwest side of North Maryland Avenue. Between 1984 and 1995 the six large oil tanks were removed from the site and by 2002 the large building was also removed and the lot remains cleared with no extant historic structures (NETR, 2023).

The proposed O&M Facility location was used in the mid-twentieth century as an industrial parcel that was presumably used for oil storage. No significant structures are currently present at the O&M Facility site, and the historic map and aerial photography review did not depict any structure that was atypical from any extant midcentury structures located within industrial parcels in Atlantic City or the greater region. Furthermore, background research did not uncover any indication that the parcel was associated with any local or regional historic event or individual, nor does it provide any new information on midcentury industrial practices in the area. The O&M Facility site therefore does not meet any of the criteria for listing in the NRHP (see the Intensive-Level Architectural Survey Form in Appendix II-W Intensive-Level Architectural Survey Report).

The State Marina parking lot at 600 Huron Avenue is a vacant lot located on made-made reclaimed land that was formerly undeveloped tidal marshland. There are currently no standing structures on the property. The parcel does not have the potential to yield information important in history or prehistory; therefore, 600 Huron Avenue does not meet the criteria for listing in the NRHP (see the Intensive-Level Architectural Survey Form in Appendix II-W Intensive-Level Architectural Survey Report).

4.0 DATA SUMMARY

4.1 Field Survey Results – Wind Turbine Area

Based on EDR’s desktop review and field survey methodologies as described in Section 2.2, the surveyed properties within the WTA PAPE included aboveground historic properties that have been previously determined eligible for listing in or listed in the NRHP as well as properties recommended to meet NRHP eligibility criteria, and properties recommended as not eligible for listing on the NRHP. Following completion of the field surveys these properties were further evaluated for potential NRHP eligibility based on desktop research.

4.1.1 Aboveground Historic Properties within the WTA PAPE

Within the PAPE, 123 properties were identified as either previously determined to be eligible for inclusion in or listed in the NRHP or recommended eligible by EDR, including (see Table 4.1-1):

- 2 NHLs
- 16 NRHP-Listed Properties
- 62 Properties Previously Determined NRHP-Eligible
- 2 Local Historic Properties
- 41 Properties Recommended NRHP-Eligible

Table 4.1-1 includes a list of all aboveground historic properties as defined by 30 CFR 585 (including properties previously listed on or determined eligible for listing on the NRHP, NHLs, and properties recommended by EDR to meet NRHP eligibility criteria) located within the PAPE and included as part of this survey.

Table 4.1-1. Aboveground Historic Properties Surveyed – WTA PAPE

Property ID	Property Name	Address	Municipality	Recommended Designation
1	Dr. Jonathan Pitney House	57 North Shore Road	Absecon City	NRHP-Listed
2	South Shore Road Historic District	S. Shore Road roughly bounded by Nevada Avenue, and Statton Avenue	Absecon City	NRHP-Eligible (NJHPO-Determined)
3	North Shore Road Historic District	N. Shore Road roughly bounded by Creek Road to the south and the town line to the north	Absecon City	NRHP-Eligible (NJHPO-Determined)
4	U.S. Route 30 Bridge (SI&A # 0103-152)	U.S. Route 30 (Absecon Boulevard) over Beach Thorofare	Atlantic City	NRHP-Eligible (NJHPO-Determined)
5	Two-and-a-half-story Residence at 4700 Atlantic Avenue	4700 Atlantic Avenue	Atlantic City	NRHP-Eligible (EDR-Recommended)
6	Two-and-a-half-story Residence at 104 S. Montgomery Avenue	104 S. Montgomery Avenue	Atlantic City	NRHP-Eligible (EDR-Recommended)
7	Residence at 125 S Montgomery Avenue	125 S Montgomery Avenue	Atlantic City	NRHP-Eligible (EDR-Recommended)

Property ID	Property Name	Address	Municipality	Recommended Designation
8	Two-story Residence at 108 S. Raleigh Avenue	108 S. Raleigh Avenue	Atlantic City	NRHP-Eligible (EDR-Recommended)
9	Two-and-a-half-story Residence at 116 S. Ridgeway Avenue	116 S. Ridgeway Avenue	Atlantic City	NRHP-Eligible (EDR-Recommended)
10	The Knife and Fork Inn	3600 Atlantic Avenue	Atlantic City	NRHP-Eligible (NJHPO-Determined)
11	Ritz Carlton Hotel	2715 Boardwalk	Atlantic City	NRHP-Eligible (NJHPO-Determined)
12	USCG Station Atlantic City	900 Beach Thorofare	Atlantic City	NRHP-Eligible (NJHPO-Determined)
13	Atlantic City Convention Hall	Boardwalk between Pacific, Mississippi, and Florida Avenues	Atlantic City	National Historic Landmark
14	Administration Building for the Board of Education	1809 Pacific Avenue	Atlantic City	NRHP-Eligible (NJHPO-Determined)
15	Warner Theatre (façade)	Atlantic City Boardwalk between Michigan and Arkansas Avenues	Atlantic City	NRHP-Eligible (NJHPO-Determined)
16	Carnegie Library (Atlantic City Public Library)	35 South Dr. Martin Luther King Jr. Boulevard	Atlantic City	NRHP-Eligible (EDR-Recommended)
17	Atlantic City Beautiful Historic District	N. Connecticut Avenue roughly bounded by N. Massachusetts, N. New Jersey, Barret, and Adriatic Avenues	Atlantic City	NRHP-Eligible (NJHPO-Determined)
18	Brighton Park	1801 Boardwalk	Atlantic City	NRHP-Eligible as a contributing element to the Atlantic City Boardwalk Historic District (EDR-Recommended)
19	The Inn of the Irish Pub	164 St. James Place	Atlantic City	NRHP-Eligible (EDR-Recommended)
20	Commercial Building at 1425 Boardwalk	1425 Boardwalk	Atlantic City	NRHP-Eligible (EDR-Recommended)
21	Two-and-a-half-story Residence at 124 Atlantic Avenue	124 Atlantic Avenue	Atlantic City	NRHP-Eligible (EDR-Recommended)
22	Colonial Revival Residence at 120 Atlantic Avenue	120 Atlantic Avenue	Atlantic City	NRHP-Eligible (EDR-Recommended)
23	Absecon Lighthouse	Pacific and Rhode Island Avenues	Atlantic City	NRHP-Listed
24	Atlantic City Boardwalk Historic District	Boardwalk roughly bounded by S. Georgia Avenue to the southwest and Garden Pier to the northeast	Atlantic City	NRHP-Eligible (NJHPO-Determined)
25	Camden and Atlantic Railroad Historic District	Within the former railroad grade that traveled from Camden in Camden County to Atlantic City in Atlantic County.	Atlantic City, Winslow Township, Waterford Township, Chesilhurst Borough, Absecon City, Pleasantville City, Egg Harbor Township, Egg Harbor City, Hammonton Town, Mullica Township, and	NRHP-Eligible (NJHPO-Determined)

Property ID	Property Name	Address	Municipality	Recommended Designation
			Galloway Township	
26	Townsend Inlet Bridge (SI&A # 3100003)	Ocean Highway over Townsend Inlet	Avalon Borough, Middle Township, and Sea Isle City	NRHP-Eligible (NJHPO-Determined)
27	Barnegat Lighthouse	Northern end of Long Beach Island	Barnegat Light Borough	NRHP-Listed
28	Bass River State Forest Historic District	Stage Road	Bass River Township	NRHP-Eligible (NJHPO-Determined)
29	Beach Haven Historic District	Roughly bounded on the north by 3rd Street, on the east by South Atlantic Avenue, on the south by Pearl Street, on the west by properties to the west of South Beach Avenue.	Beach Haven Borough	NRHP-Listed
30	Beach Haven Historic District (Boundary Increase and Additional Documentation)	Roughly bounded by Atlantic, Bay, Fifth, and Chatsworth Avenues	Beach Haven Borough	NRHP-Listed
31	Greater Beach Haven Historic District	Roughly the west side of Atlantic Avenue to Chatsworth Avenue to the south, Bay Avenue to the west and the north side of Fifth Street.	Beach Haven Borough	Local Historic District
32	Residence at 101 Dolphin Avenue	101 Dolphin Avenue	Beach Haven Borough	NRHP-Eligible (EDR-Recommended)
33	Garden State Parkway Historic District	Garden State Parkway	Bergen, Passaic, Essex, Union, Middlesex, Monmouth, Ocean, Atlantic and Cape May	NRHP-Eligible (NJHPO-Determined)
34	AT&T Transmitter Building and Antenna Field	83 Bayview Avenue (Ocean County Route 617)	Berkeley Township	NRHP-Eligible (NJHPO-Determined)
35	Midway Camps Historic District	Bounded on the north by 14th Avenue, on the east by Ocean Avenue, on the south by 20th Avenue, and on the west by Central Avenue	Berkeley Township	NRHP-Eligible (NJHPO-Determined)
36	Island Beach State Park Historic District	Central Avenue	Berkeley Township	NRHP-Eligible (EDR-Recommended)
37	The Judge's Shack	Central Avenue	Berkeley Township	NRHP-Eligible (NJHPO-Determined)
38	Brigantine Lighthouse	Brigantine Boulevard (County Route 638)	Brigantine City	NRHP-Eligible (NJHPO-Determined)
39	Residence at 2201 Bayshore Avenue	2201 Bayshore Avenue	Brigantine City	NRHP-Eligible (EDR-Recommended)
40	Residence at 2707 West Brigantine Avenue	2707 West Brigantine Avenue	Brigantine City	NRHP-Eligible (EDR-Recommended)
41	Chateausque House at 2807 Ocean Avenue	2807 Ocean Avenue	Brigantine City	NRHP-Eligible (EDR-Recommended)
42	Residence at 200 18th Street South	200 18th Street South	Brigantine City	NRHP-Eligible (EDR-Recommended)
43	Central School / Brigantine Library	201 15th Street S	Brigantine City	NRHP-Eligible (EDR-Recommended)

Property ID	Property Name	Address	Municipality	Recommended Designation
44	Brigantine Hotel	1400 Ocean Avenue	Brigantine City	NRHP-Eligible (EDR-Recommended)
45	St. Thomas Catholic Church	331 8th Street South	Brigantine City	NRHP-Eligible (EDR-Recommended)
46	North and South Tuckahoe Historic District	Main Street and NJ 50 from 303 NJ 50 to 2057 NJ 50	Corbin City and Upper Township	NRHP-Eligible (NJHPO-Determined)
47	Isaac and Keziah (Abbot) Smith House	152 Lee's Lane	Egg Harbor Township	NRHP-Eligible (EDR-Recommended)
48	Studebaker Showroom	7006 Black Horse Pike	Egg Harbor Township	NRHP-Eligible (NJHPO-Determined)
49	L.N. Renault and Sons Winery	72 North Breman Avenue	Galloway Township	NRHP-Listed
50	Germania Gunning Club	722 West Moss Mill Road	Galloway Township	NRHP-Eligible (EDR-Recommended)
51	Conovertown Historic District	North Shore Road roughly bounded by Old Shore Road to the north and the town line to the south	Galloway Township	NRHP-Eligible (NJHPO-Determined)
52	Seaview Golf Club (historic), Clarence Geist Pavilion	401 South New York Road	Galloway Township	NRHP-Eligible (EDR-Recommended)
53	Oceanville / Leeds Point / Moss Mill Historic District	S. Leeds Point Road roughly bounded by E. Moss Road to the north and E. Somerstown Lane to the south.	Galloway Township	NRHP-Eligible (NJHPO-Determined)
54	Abbott's Modern Cabins	217 NJ Route 40	Hamilton Township	NRHP-Listed
55	West Jersey and Atlantic Railroad Historic District	N/A	Hamilton Township and Egg Harbor Township	NRHP-Eligible (NJHPO-Determined)
56	Woodmansee Estate	1 Game Farm Road	Lacey Township	NRHP-Eligible (NJHPO-Determined)
57	Ocean Beach Historic District (Units 1, 2, and 3)	The district comprises three separate dense residential areas in Lavallette Borough, each bisected by State Route 35 North and containing orderly east-west streets. Each district is bounded on the east by the beaches at Dover Beaches North (in the northern most district), Chadwick Beach (in the central district), and Island Beach (in the southern-most district).	Lavallette Borough	NRHP-Eligible (NJHPO-Determined)
58	Stevens House	1 Brown Avenue	Lavallette Borough	NRHP-Eligible (EDR-Recommended)
59	Linwood Historic District	Roughly Shore Road from Royal Avenue to Sterling Avenue	Linwood	NRHP-Listed
60	Little Egg Harbor US Life Saving Station #23	800 Great Bay Boulevard	Little Egg Harbor Township	NRHP-Eligible (NJHPO-Determined)
61	Cape May Lighthouse	Cape May Point	Lower Township	NRHP-Listed

Property ID	Property Name	Address	Municipality	Recommended Designation
62	Mantoloking Historic District	Bounded on the north by the municipal line with Bay Head Borough, the municipal boundary with Brick Township to the south, the beaches at Mantoloking to the east, and Barnegat Bay to the west	Mantoloking Borough	NRHP-Eligible (NJHPO-Determined)
63	Lucy, the Margate Elephant	Decatur and Atlantic Avenues	Margate City	National Historic Landmark
64	Two-Story Residence at 114 South Osborne Avenue	114 South Osborne Avenue	Margate City	NRHP-Eligible (Ocean Wind I-Determined)
65	Two-Story Residence at 108 South Gladstone Avenue	108 South Gladstone Avenue	Margate City	NRHP-Eligible (NJHPO-Determined)
66	Margate Fishing Pier	121 S. Exeter Avenue	Margate City	NRHP-Eligible (EDR-Recommended)
67	Grassy Sound Historic District	Houses along the East and West Bank of Grassy Sound north of Route 147	Middle Township	NRHP-Eligible (NJHPO-Determined)
68	Sahara Motel	510 East 18th Avenue	North Wildwood City	NRHP-Eligible (EDR-Recommended)
69	American Inn (Lou Booth Motel)	510 East 13th Avenue	North Wildwood City	NRHP-Eligible (NJHPO-Determined)
70	Aloha Motel	210 John F Kennedy Boulevard	North Wildwood City	NRHP-Eligible (EDR-Recommended)
71	Hereford Lighthouse	111 North Central Avenue	North Wildwood City	NRHP-Listed
72	North Wildwood Life Saving Station	113 North Central Avenue	North Wildwood City	NRHP-Eligible (NJHPO-Determined)
73	Shore Road Historic District	Shore Road roughly bounded by E. Oakcrest Avenue to the south and the town line to the north	Northfield	NRHP-Eligible (NJHPO-Determined)
74	Folk Victorian Residence at 5231-5229 Central Avenue	5231-5229 Central Avenue	Ocean City	NRHP-Eligible (EDR-Recommended)
75	St. Augustine Rectory	1310 Ocean Avenue	Ocean City	NRHP-Eligible (EDR-Recommended)
76	Music Pier	825 Boardwalk	Ocean City	NRHP-Eligible (NJHPO-Determined)
77	Gillian's Wonderland Pier	600 Boardwalk	Ocean City	NRHP-Eligible (NJHPO-Determined)
78	Residence at 319 W. Leeds Avenue	319 W Leeds Avenue	Pleasantville City	NRHP-Eligible (EDR-Recommended)
79	Wesley Methodist Episcopal Church (historic)	102-110 Linden Avenue	Pleasantville City	NRHP-Eligible (EDR-Recommended)
80	Chestnut Neck Boat Yard	758 Old New York Road	Port Republic City	NRHP-Eligible (NJHPO-Determined)
81	Residence at 22 54th Street	22 54th Street	Sea Isle City	NRHP-Eligible (NJHPO-Determined)
82	Residence at 24 53rd Street	24 53rd Street	Sea Isle City	NRHP-Eligible (NJHPO-Determined)
83	Folk Victorian Residence at 12 50th Street	12 50th Street	Sea Isle City	NRHP-Eligible (NJHPO-Determined)

Property ID	Property Name	Address	Municipality	Recommended Designation
84	Second Empire Residence at 26 46th Street	26 46th Street	Sea Isle City	NRHP-Eligible (NJHPO-Determined)
85	Residence at 20 46th Street	20 46th Street	Sea Isle City	NRHP-Eligible (NJHPO-Determined)
86	Folk Victorian Residence at 13 47th Street	13 47th Street	Sea Isle City	NRHP-Eligible (NJHPO-Determined)
87	Braca Cafe	18 JFK Boulevard	Sea Isle City	NRHP-Eligible (NJHPO-Determined)
88	U.S. Life Saving Station No. 13	1701 North Ocean Avenue	Seaside Park Borough	NRHP-Eligible (NJHPO-Determined)
89	Somers Mansion	1000 Shore Road	Somers Point	NRHP-Listed
90	New York Avenue School	121 W New York Avenue	Somers Point	NRHP-Eligible (EDR-Recommended)
91	Bay Front Historic District Extension	745-900 Shore Road	Somers Point	NRHP-Eligible (NJHPO-Determined)
92	Shore Road Historic District	Shore Road roughly bounded by Goll Avenue, Pleasant Avenue, and Center Street	Somers Point	NRHP-Eligible (EDR-Recommended)
93	Bay Front Historic District	Roughly bounded by Decatur Ave., Egg Harbor Bay, George Ave., and Shore Rd	Somers Point	NRHP-Listed
94	Tuckerton Historic District (Local)	The district comprises select blocks on the north and south sides of U.S. Route 9 between Locust Street in the eastern extent and Taylor Street in the western extent.	Tuckerton Borough	Local Historic District
95	Tuckerton Historic District	U.S. Route 9 and County Route 539, roughly between Parkers Landing and Pohatcong Lake.	Tuckerton Borough	NRHP-Eligible (NJHPO-Determined)
96	Marshallville Historic District	Roughly between 286 and 375 Marshallville Road	Upper Township	NRHP-Listed
97	South Tuckahoe Historic District	Roughly NJ 557 and NJ 50 from the Tuckahoe River to Kendall Lane	Upper Township	NRHP-Listed
98	Corson's Inlet Bridge (SI&A # 3100002)	Ocean Drive, Bay Avenue (County Rte. 619) over Strathmere Bay	Upper Township	NRHP-Eligible (NJHPO-Determined)
99	Residence at 25 North Bayview Drive	25 North Bayview Drive	Upper Township	NRHP-Eligible (EDR-Recommended)
100	Two Residences at 1 Cove Road	1 Cove Road	Upper Township	NRHP-Eligible (EDR-Recommended)
101	Residence at 114 South Harvard Avenue	114 South Harvard Avenue	Ventnor City	NRHP-Eligible (NJHPO-Determined)
102	Ventnor City Fishing Pier	Cambridge Avenue at the Ventnor City Boardwalk	Ventnor City	NRHP-Eligible (EDR-Recommended)
103	Saint Leonard's Tract Historic District	Ventnor and Atlantic Avenues roughly bounded by the shoreline, S. Surrey Avenue, N. Cambridge Avenue and the Intercoastal Waterway	Ventnor City	NRHP-Eligible (NJHPO-Determined)
104	John Stafford Historic District	100 blocks of Vassar Square, Baton Rouge, Marion and	Ventnor City	NRHP-Listed

Property ID	Property Name	Address	Municipality	Recommended Designation
		Austin Avenues		
105	Vassar Square Condominiums	4800 Boardwalk	Ventnor City	NRHP-Eligible (BOEM-Determined)
106	Green Bank Historic District	East and west of the intersection of County Routes 542 and 561.	Washington Township	NRHP-Eligible (NJHPO-Determined)
107	George A. Redding Bridge (SI&A # 0506150)	NJ Route 47 over Grassy Sound	Wildwood City	NRHP-Eligible (NJHPO-Determined)
108	Wildwoods Shore Resort Historic District	Roughly Atlantic Avenue and Ocean Avenue between East Andrews and East Pittsburgh Avenues	Wildwood City	NRHP-Eligible (NJHPO-Determined)
109	Wildwood Amusement Piers	3401 Boardwalk	Wildwood City	NRHP-Eligible (EDR-Recommended)
110	Wildwood Boardwalk and Piers Historic District	Between East 16th Avenue and East Cresse Avenue	Wildwood Crest Borough, North Wildwood City, and Wildwood City	NRHP-Eligible (EDR-Recommended)
111	Atlantic City Railroad Cape May Division Historic District	N/A	Winslow Township, Folsom, Richland, Dorothy, Estell Manor, Corbin City, Woodbine, Dennis Township, Ocean City, and Cape May	NRHP-Eligible (NJHPO-Determined)
112	U.S. Life Saving Station No. 14	Central Avenue	Berkeley Township	NRHP-Listed
113	Ocean City Boardwalk	N/A	Ocean City	NRHP-Eligible (NJHPO-Determined)
114	Missouri Avenue Beach (Chicken Bone Beach)	N/A	Atlantic City	NRHP-Eligible (EDR-Recommended)
115	Riviera Apartments	116 S. Raleigh Avenue	Atlantic City	NRHP-Eligible (NJHPO-Determined)
117	Trylon Motel	1200 JFK Drive	Wildwood City	NRHP-Eligible (NJHPO-Determined)
118	Clairidge Hotel	120 South Indiana Avenue	Atlantic City	NRHP-Eligible (NJHPO-Determined)
119	Central Pier	1400 Boardwalk	Atlantic City	NRHP-Eligible (NJHPO-Determined)
121	Le Sabre Condominiums	510 East 8th Avenue	Wildwood City	NRHP-Eligible (NJHPO-Determined)
122	European Motel	300 Ocean Avenue	Wildwood City	NRHP-Eligible (NJHPO-Determined)
123	Beach Hugger Motel (ex Al Sann)	210 Ocean Avenue	Wildwood City	NRHP-Eligible (NJHPO-Determined)
125	Athens II Motor Inn	201 Ocean Avenue	North Wildwood City	NRHP-Eligible (EDR-Recommended)
126	Acacia Beachfront Resort	9101 Atlantic Avenue	Wildwood Crest Borough	NRHP-Eligible (EDR-Recommended)

4.1.2 Properties Recommended Not NRHP-Eligible – WTA PAPE

A total of 401 properties within the WTA PAPE documented as part of the field surveys have been recommended as not meeting the eligibility criteria for listing in the NRHP (see Attachment K: Architectural Survey Forms: Properties Recommended Not NRHP-Eligible). The majority of these properties are over 40 years of age, but do not have the architectural and/or historical significance necessary to meet the eligibility requirements. For example, the residence located at 109 E. Hobart Avenue in Long Beach Township is a simple, two-story vernacular house constructed circa 1980. Although the building is over 40 years old, it is a common design, lacking architectural detail and is not associated with a notable architect, person or event. The building does not possess the architectural or historical significance necessary to be recommended eligible for listing in the NRHP.

4.2 Field Survey Results – Onshore Facilities

After the completion of the desktop review (summarized in Section 2.2.4.2), field surveys were then conducted in November 2022 and February 2023. Survey fieldwork included systematically driving public roads within the Onshore Facilities PAPEs to document the integrity and setting of previously identified aboveground historic properties (e.g., NRHP-listed and NRHP-eligible properties). This included photographs of the building(s) (and property) and field notes describing the style, physical characteristics and materials (e.g., number of stories, plan, external siding, roof, foundation, and sash), condition, physical integrity, and other noteworthy characteristics for each resource. Other known criteria aside from architecture which may contribute to a property's NRHP eligibility were also noted and evaluated. A total of 18 properties were documented within the Onshore Facilities PAPEs, including three NRHP-eligible properties, and 15 properties recommended to not meet NRHP eligibility criteria (see Attachment E: All Properties Surveyed – Onshore PAPE).

4.2.1 Aboveground Historic Properties Within the Onshore Facilities PAPEs

Following the desktop review and field survey, three of the properties reviewed are considered aboveground historic properties. For the purposes of this survey, historic districts were considered as a single aboveground historic property rather than to each of the contributing properties, as not all contributing properties within historic districts are located in the Onshore Facilities PAPEs. One aboveground historic property was identified in all three Larrabee Substation/Converter Station Location PAPEs (see Table 4.2-1), and two aboveground historic properties were identified in the Fire Road Site PAPE (see Table 4.2-2).

Table 4.2-1. Aboveground Historic Properties in the Larrabee Substation/Converter Stations PAPEs

Survey ID	Property Name	Address	Municipality	NRHP Status
9262	New Jersey Southern Railroad Historic District	N/A	Multiple	NRHP-Eligible (NJ HPO-Determined)

Table 4.2-2. Aboveground Historic Properties in the Fire Road Site PAPE

Survey ID	Property Name	Address	Municipality	NRHP Status
9281	West Jersey and Atlantic Railroad Historic District	N/A	Hamilton Township and Egg Harbor Township	NRHP-Eligible (NJ HPO-Determined)
9336	Garden State Parkway Historic District	Garden State Parkway	Bergen, Passaic, Essex, Union, Middlesex, Monmouth, Ocean, Atlantic and Cape May	NRHP-Eligible (NJ HPO-Determined)

4.3 Field Survey Results – O&M Facility

After the completion of the desktop review, field surveys were then conducted in November 2022 and February 2023. Survey fieldwork included systematically driving public roads within the O&M Facility PAPE to document the integrity and setting of previously identified aboveground historic properties (e.g., NRHP-listed and NRHP-eligible properties). This included photographs of the building(s) (and property) and field notes describing the style, physical characteristics and materials (e.g., number of stories, plan, external siding, roof, foundation, and sash), condition, physical integrity, and other noteworthy characteristics for each resource. Other known criteria aside from architecture which may contribute to a property's NRHP eligibility were also noted and evaluated. A total of 102 properties were documented within the O&M Facility PAPE, including three NRHP-eligible properties, 95 properties recommended to not meet NRHP eligibility criteria.

4.3.1 Aboveground Historic Properties Within the O&M Facility PAPE

Following the desktop review and field survey, three of the properties reviewed are considered aboveground historic properties (see Table 4.3-1). For the purposes of this HREA, historic districts were considered as a single aboveground historic property rather than to each of the contributing properties, as not all contributing properties within historic districts are located in the PAPE.

Table 4.3-1. Aboveground Historic Properties Within the O&M Facility PAPE.

Survey ID	Property Name	Address	Recommended Designation
645	Residence at 419 Carson Avenue	419 Carson Avenue	NRHP-Eligible (NJHPO-Determined)
623	Absecon Lighthouse	301 Pacific Avenue	NRHP-Listed
581	Atlantic City Armory	1008 Absecon Boulevard [Atlantic Boulevard and New York Avenue]	NRHP-Eligible (NJHPO-Determined)
9284	Atlantic City Beautiful Historic District	N/A	NRHP-Eligible (NJHPO-Determined)

Survey ID	Property Name	Address	Recommended Designation
550	Bartlett Building	1100 Atlantic Avenue	NRHP-Eligible (EDR-Recommended)
624	Fire Station #9	734 North Indiana Avenue	NRHP-Eligible (NJHPO-Determined)
579	USCG Station Atlantic City	900 Beach Thorofare	NRHP-Eligible (NJHPO-Determined)

4.4 NJHPO Architectural Survey Forms

For each of the extant properties surveyed in the PAPes, EDR completed NJHPO Architectural Survey Forms. These forms are included in Attachment J: Architectural Survey Forms – National Historic Landmarks, NRHP-Eligible or Listed Properties and Attachment K: Architectural Survey Forms – Properties Recommended Not NRHP-Eligible.

5.0 POTENTIAL EFFECTS OF THE PROJECTS

Construction of the Projects will not require the demolition or physical alteration of any historic buildings or other aboveground historic properties. No direct physical effects to aboveground historic properties will occur as a result of the Projects. The Projects' effect on a given aboveground historic property would be a change (resulting from the introduction of new structures) in the property's visual setting. The HRVEA reports for the WTA (EDR, 2023a), Onshore Facilities (EDR, 2023b), and O&M Facility (2023c) prepared by EDR summarize the potential visual effects of the Projects to aboveground historic properties listed in, or eligible for listing in the NRHP (as well as National Historic Landmarks) located in the respective PAPEs. A summary of the findings of this report regarding potential adverse effects to aboveground historic properties within the offshore PAPE is provided below.

5.1 Potential Adverse Effects to Aboveground Historic Properties – Wind Turbine Area

Applying the Criteria of Adverse Effect per NHPA Section 106, 36 CFR § 800.5 (as summarized above), the Projects will have a potential adverse effect on a total of 27 aboveground historic properties (see Table 5.1-1).

Table 5.1-1. Aboveground Historic Properties Potentially Adversely Affected

Property ID	Property Name	Address	Municipality	County	Recommended Designation
7	Residence at 125 S Montgomery Avenue	125 S Montgomery Avenue	Atlantic City	Atlantic	NRHP-Eligible (EDR-Recommended)
11	Ritz Carlton Hotel	2715 Boardwalk	Atlantic City	Atlantic	NRHP-Eligible (NJHPO-Determined)
12	USCG Station Atlantic City	900 Beach Thorofare	Atlantic City	Atlantic	NRHP-Eligible (NJHPO-Determined)
13	Atlantic City Convention Hall	Boardwalk between Pacific, Mississippi, and Florida Avenues	Atlantic City	Atlantic	National Historic Landmark
18	Brighton Park	1801 Boardwalk	Atlantic City	Atlantic	NRHP-Eligible as a contributing element to the Atlantic City Boardwalk Historic District (EDR-Recommended)

Property ID	Property Name	Address	Municipality	County	Recommended Designation
21	Two-and-a-half-story Residence at 124 Atlantic Avenue	124 Atlantic Avenue	Atlantic City	Atlantic	NRHP-Eligible (EDR-Recommended)
22	Colonial Revival Residence at 120 Atlantic Avenue	120 Atlantic Avenue	Atlantic City	Atlantic	NRHP-Eligible (EDR-Recommended)
24	Atlantic City Boardwalk Historic District	Boardwalk roughly bounded by S. Georgia Avenue to the southwest and Garden Pier to the northeast	Atlantic City	Atlantic	NRHP-Eligible (NJHPO-Determined)
44	Brigantine Hotel	1400 Ocean Avenue	Brigantine City	Atlantic	NRHP-Eligible (EDR-Recommended)
52	Seaview Golf Club (historic), Clarence Geist Pavilion	401 South New York Road	Galloway Township	Atlantic	NRHP-Eligible (EDR-Recommended)
60	Little Egg Harbor US Life Saving Station #23	800 Great Bay Boulevard	Little Egg Harbor Township	Ocean	NRHP-Eligible (NJHPO-Determined)
63	Lucy, the Margate Elephant	Decatur and Atlantic Avenues	Margate City	Atlantic	National Historic Landmark
64	Two-Story Residence at 114 South Osborne Avenue	114 South Osborne Avenue	Margate City	Atlantic	NRHP-Eligible (Ocean Wind I-Determined)
65	Two-Story Residence at 108 South Gladstone Avenue	108 South Gladstone Avenue	Margate City	Atlantic	NRHP-Eligible (NJHPO-Determined)
66	Margate Fishing Pier	121 S. Exeter Avenue	Margate City	Atlantic	NRHP-Eligible (EDR-Recommended)

Property ID	Property Name	Address	Municipality	County	Recommended Designation
74	Folk Victorian Residence at 5231-5229 Central Avenue	5231-5229 Central Avenue	Ocean City	Cape May	NRHP-Eligible (EDR-Recommended)
76	Music Pier	825 Boardwalk	Ocean City	Cape May	NRHP-Eligible (NJHPO-Determined)
77	Gillian's Wonderland Pier	600 Boardwalk	Ocean City	Cape May	NRHP-Eligible (NJHPO-Determined)
101	Residence at 114 South Harvard Avenue	114 South Harvard Avenue	Ventnor City	Atlantic	NRHP-Eligible (NJHPO-Determined)
102	Ventnor City Fishing Pier	Cambridge Avenue at the Ventnor City Boardwalk	Ventnor City	Atlantic	NRHP-Eligible (EDR-Recommended)
103	Saint Leonard's Tract Historic District	Ventnor and Atlantic Avenues roughly bounded by the shoreline, S. Surrey Avenue, N. Cambridge Avenue and the Intercoastal Waterway	Ventnor City	Atlantic	NRHP-Eligible (NJHPO-Determined)
104	John Stafford Historic District	100 blocks of Vassar Square, Baton Rouge, Marion and Austin Avenues	Ventnor City	Atlantic	NRHP-Listed
105	Vassar Square Condominiums	4800 Boardwalk	Ventnor City	Atlantic	NRHP-Eligible (BOEM-Determined)
113	Ocean City Boardwalk	N/A	Ocean City	Cape May	NRHP-Eligible (NJHPO-Determined)
114	Missouri Avenue Beach (Chicken Bone Beach)	N/A	Atlantic City	Atlantic	NRHP-Eligible (EDR-Recommended)

Property ID	Property Name	Address	Municipality	County	Recommended Designation
115	Riviera Apartments	116 S. Raleigh Avenue	Atlantic City	Atlantic	NRHP-Eligible (NJHPO-Determined)
119	Central Pier	1400 Boardwalk	Atlantic City	Atlantic	NRHP-Eligible (NJHPO-Determined)

The Projects would introduce new man-made features to the seascape horizon, which includes few existing, fixed modern visual elements. The introduction of the WTGs would likely constitute a change to the historic setting of some aboveground historic properties within the PAPE. This is particularly true for those aboveground historic properties for which open views of the ocean are integral, such as lighthouses and recreation areas. Even for historic properties that were once strongly associated with open ocean views, existing conditions may no longer be representative of the settings related to those properties' periods of significance. Many sections of the WTA PAPE have been subject to multiple phases of development, demolition, and redevelopment. These cycles have substantially altered the historic settings of many historic properties located along the shorelines where unobstructed views of the Projects will be concentrated. In such circumstances, the changes to viewsheds related to the Projects may represent a minor, incremental alteration to some settings that have already been compromised. A complete discussion of the potential effects of the WTA portion of the Projects on aboveground historic properties is included in COP Appendix II-O (EDR, 2023a).

5.2 Potential Adverse Effects to Aboveground Historic Properties – Onshore Facilities

Construction of the Onshore Facilities will not require the demolition or physical alteration of any historic buildings or other aboveground historic properties. No direct physical effects to aboveground historic properties will occur as a result of the Onshore Facilities. The Onshore Facilities' effect on a given aboveground historic property would be a change (resulting from the introduction of new structures) in the property's visual setting. The Onshore Facilities would introduce new structures into the landscape. However, at a maximum height of 80 feet (lighting masts only), the proposed Onshore Facilities will not be out of scale or character with the existing types of development currently present in the vicinity. As such, it is anticipated that the Onshore Facilities will not result in visual impacts to aboveground historic properties. Applying the Criteria of Adverse Effect per NHPA Section 106, 36 CFR § 800.5, the O&M Facility will not have an adverse effect on any aboveground historic properties. A complete discussion of the potential effects of the Onshore Facilities on aboveground historic properties is included in COP Appendix II-N1 (EDR, 2023b).

5.3 Potential Adverse Effects to Aboveground Historic Properties – O&M Facility

Construction of the O&M Facility will not require the demolition or physical alteration of any historic buildings or other aboveground historic properties. No direct physical effects to aboveground historic properties will occur as a result of the O&M Facility. The O&M Facility's effect on a given aboveground historic property would be a change (resulting from the introduction of new structures) in the property's visual setting. The O&M Facility would introduce new structures into the landscape. However, at a maximum height of 120 feet (communication antenna only), the proposed O&M Facility will not be out of scale or character with the existing types of development currently present in the vicinity. As such, it is anticipated that O&M Facility will not result in visual impacts to aboveground historic properties. Applying the Criteria of Adverse Effect per NHPA Section 106, 36 CFR § 800.5, the O&M Facility will not have an adverse effect on any aboveground historic properties. A complete discussion of the potential effects of the O&M Facility on aboveground historic properties is included in COP Appendix II-N2 (EDR, 2023c).

5.4 Mitigation of Potential Adverse Effects

Options to avoid potential adverse visual effects on aboveground historic properties are limited, given the nature of the Projects (i.e., very tall, vertical structures) and its siting criteria (i.e., established OCS lease area). Therefore, for most wind energy projects, mitigation of impacts to historic properties typically consists of supporting initiatives that benefit historic sites or buildings and/or the public's appreciation of historic resources to offset potential adverse effects to historic properties resulting from the introduction of WTGs into their visual setting. The specifics of these initiatives are typically identified in consultation with appropriate consulting parties subsequent to the determination of whether a given aboveground historic property would be adversely affected by a project.

Atlantic Shores has initiated outreach with appropriate regional stakeholders who may participate in the BOEM-led Section 106 consultations and development of the EIS under NEPA, and anticipates continued consultation with the appropriate federal agencies, NJHPO, NJDEP, and other consulting parties in connection with the Projects to identify and evaluate visual effects to aboveground historic properties and to determine avoidance, minimization, or mitigation measures regarding potential effects on aboveground historic properties as required by 30 CFR §585.626(b)(15).

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ATTACHMENT A

All Properties in the WTA PAPE

Attachment A:
All Properties in the WTA PAPE

Property Name	Address	Municipality	County
Leisure Bay Motel	Absecon Boulevard (also US Highway 30)	Absecon City	Atlantic
Dr. Jonathan Pitney House	57 North Shore Road	Absecon City	Atlantic
303 PITNEY ROAD	303 PITNEY ROAD	Absecon City	Atlantic
The Knife and Fork Restaurant	29 South Albany Avenue	Atlantic City	Atlantic
The Strand and Marine Apartments	3821-3825 Boardwalk Ave.	Atlantic City	Atlantic
Atlantic City High School	29 South Ohio Avenue/1809 Pacific Avenue	Atlantic City	Atlantic
Administration Building for the Board of Education	1809 Pacific Ave	Atlantic City	Atlantic
Atlantic City Convention Hall	Boardwalk between Pacific, Mississippi, and Florida Avenues	Atlantic City	Atlantic
Ritz Carlton Hotel	2715 Boardwalk at Iowa Avenue	Atlantic City	Atlantic
Church of the Ascension	1601 Pacific Avenue	Atlantic City	Atlantic
Beach Throrofare Railroad Bridge	Atlantic City Rail Line (Camden and Atlantic Railroad) over Beach Thorofare	Atlantic City	Atlantic
Atlantic City Electric Company Building	1600 Pacific Avenue	Atlantic City	Atlantic
Riviera Apartments	116 South Raleigh Avenue	Atlantic City	Atlantic
Atlantic City High School	3701 Atlantic Avenue	Atlantic City	Atlantic
Brighton Park	Corner of boardwalk and Park Place	Atlantic City	Atlantic
White Tower (Atlantic City #2)	1714 Pacific Avenue	Atlantic City	Atlantic
Carnegie Library (Atlantic City Public Library)	35 South Illinois Avenue	Atlantic City	Atlantic
Auditorium Pier (Steeplechase Pier)	1100 Boardwalk (corner of Pennsylvania Avenue and the boardwalk)	Atlantic City	Atlantic
Garden Pier	600 Boardwalk (corner of New Jersey Avenue and the boardwalk)	Atlantic City	Atlantic
USCG Station Atlantic City	900 Beach Thorofare	Atlantic City	Atlantic
Atlantic City Armory	1008 Absecon Boulevard [Atlantic Boulevard and New York Avenue]	Atlantic City	Atlantic
Warner Theatre (façade)	Atlantic City Boardwalk between Michigan and Arkansas Avenues	Atlantic City	Atlantic
Absecon Lighthouse	Pacific and Rhode Island Avenues	Atlantic City	Atlantic
Blenhiem Hotel	Boardwalk and Ohio Avenue	Atlantic City	Atlantic
Shelburne Hotel	Michigan Avenue and the Boardwalk	Atlantic City	Atlantic
Traymore Hotel	Boardwalk and Illinois Avenue	Atlantic City	Atlantic
143 -149 S. St. James Place	149 St. James Place	Atlantic City	Atlantic
4700 Atlantic Avenue	4700 Atlantic Avenue	Atlantic City	Atlantic
216 S Vermont Avenue	216 S Vermont Avenue	Atlantic City	Atlantic
228 S Victoria Avenue	228 S Victoria Avenue	Atlantic City	Atlantic
210 S Vermont Avenue	210 S Vermont Avenue	Atlantic City	Atlantic
114 Atlantic Avenue	114 Atlantic Avenue	Atlantic City	Atlantic
228 S Rhode Island Avenue	228 S Rhode Island Avenue	Atlantic City	Atlantic
255 S Metropolitan Avenue	255 S Metropolitan Avenue	Atlantic City	Atlantic
137 S Massachusetts Avenue	137 S Massachusetts Avenue	Atlantic City	Atlantic
250- 252 S Rhode Island Avenue	250- 252 S Rhode Island Avenue	Atlantic City	Atlantic
222 S Victoria Avenue	222 S Victoria Avenue	Atlantic City	Atlantic
247 S Metropolitan Avenue	247 S Metropolitan Avenue	Atlantic City	Atlantic
315 Oriental Avenue	315 Oriental Avenue	Atlantic City	Atlantic
209 S. Vermont Avenue	209 S Vermont Avenue	Atlantic City	Atlantic
114 S Vermont Avenue	114 S Vermont Avenue	Atlantic City	Atlantic
210 S Victoria Avenue	210 S Victoria Avenue	Atlantic City	Atlantic
227 S Vermont Avenue	227 S Vermont Avenue	Atlantic City	Atlantic
123 Atlantic Avenue	123 Atlantic Avenue	Atlantic City	Atlantic
329 Hygeia Avenue	329 Hygeia Avenue	Atlantic City	Atlantic
237-239 S Victoria Avenue	237-239 S Victoria Avenue	Atlantic City	Atlantic
#217 S	217 S Victoria Avenue	Atlantic City	Atlantic
140 South Carolina Avenue	part of 124 South Carolina Avenue	Atlantic City	Atlantic
215 S Rhode Island Avenue	215 S Rhode Island Avenue	Atlantic City	Atlantic
229 S Metropolitan Avenue	229 S Metropolitan Avenue	Atlantic City	Atlantic
231 S Rhode Island Avenue	231 S Rhode Island Avenue	Atlantic City	Atlantic
229 S Rhode Island Avenue	229 S Rhode Island Avenue	Atlantic City	Atlantic
243 S Metropolitan Avenue	243 S Metropolitan Avenue	Atlantic City	Atlantic
112 S Texas Avenue	112 S Texas Avenue	Atlantic City	Atlantic
139 S Texas Avenue	139 S Texas Avenue	Atlantic City	Atlantic
Venice Park School	1601 Penrose Avenue	Atlantic City	Atlantic
200 S Rhode Island Avenue	200 S Rhode Island Avenue	Atlantic City	Atlantic
#204 S	204 S Victoria Avenue	Atlantic City	Atlantic
211 S Victoria Avenue	211 S Victoria Avenue	Atlantic City	Atlantic
217 S Vermont Avenue	217 S Vermont Avenue	Atlantic City	Atlantic
226 S Victoria Avenue	226 S Victoria Avenue	Atlantic City	Atlantic
335 Hygeia Avenue	335 Hygeia Avenue	Atlantic City	Atlantic
117 Grammercy Place	117 Grammercy Place	Atlantic City	Atlantic

Attachment A:
All Properties in the WTA PAPE

Property Name	Address	Municipality	County
215 S Victoria Avenue	215 S Victoria Avenue	Atlantic City	Atlantic
232 S Vermont Avenue	232 S Vermont Avenue	Atlantic City	Atlantic
222 S Vermont Avenue	222 S Vermont Avenue	Atlantic City	Atlantic
202 S Victoria Avenue	202 S Victoria Avenue	Atlantic City	Atlantic
238- 240 S Rhode Island Avenue	238- 240 S Rhode Island Avenue	Atlantic City	Atlantic
214 S Rhode Island Avenue	214 S Rhode Island Avenue	Atlantic City	Atlantic
242 S Vermont Avenue	242 S Vermont Avenue	Atlantic City	Atlantic
118 S Vermont Avenue	118 S Vermont Avenue	Atlantic City	Atlantic
233-235 S Victoria Avenue	233-235 S Victoria Avenue	Atlantic City	Atlantic
337 Hygeia Avenue	337 Hygeia Avenue	Atlantic City	Atlantic
242- 244 S Rhode Island Avenue	242- 244 S Rhode Island Avenue	Atlantic City	Atlantic
229 Oriental Avenue	229 Oriental Avenue	Atlantic City	Atlantic
226 S Rhode Island Avenue	226 S Rhode Island Avenue	Atlantic City	Atlantic
137 S Texas Avenue	137 S Texas Avenue	Atlantic City	Atlantic
121 Grammercy Place	121 Grammercy Place	Atlantic City	Atlantic
116 S Texas Avenue	116 S Texas Avenue	Atlantic City	Atlantic
2 S Maine Avenue	2 S Maine Avenue	Atlantic City	Atlantic
221 S Vermont Avenue	221 S Vermont Avenue	Atlantic City	Atlantic
112 S Vermont Avenue	112 S Vermont Avenue	Atlantic City	Atlantic
208 S Rhode Island Avenue	208 S Rhode Island Avenue	Atlantic City	Atlantic
234 S Rhode Island Avenue	234 S Rhode Island Avenue	Atlantic City	Atlantic
228 S Rhode Island Avenue	228 S Rhode Island Avenue	Atlantic City	Atlantic
251 S Metropolitan Avenue	251 S Metropolitan Avenue	Atlantic City	Atlantic
204 S Rhode Island Avenue	204 S Rhode Island Avenue	Atlantic City	Atlantic
124 Atlantic Avenue	124 Atlantic Avenue	Atlantic City	Atlantic
215 S Vermont Avenue	215 S Vermont Avenue	Atlantic City	Atlantic
135 S Texas Avenue	135 S Texas Avenue	Atlantic City	Atlantic
221 S Victoria Avenue	221 S Victoria Avenue	Atlantic City	Atlantic
230 S Victoria Avenue	230 S Victoria Avenue	Atlantic City	Atlantic
220 S Victoria Avenue	220 S Victoria Avenue	Atlantic City	Atlantic
216 S New Hampshire Avenue	216 S New Hampshire Avenue	Atlantic City	Atlantic
210 S New Hampshire Avenue	210 S New Hampshire Avenue	Atlantic City	Atlantic
339 Hygeia Avenue	339 Hygeia Avenue	Atlantic City	Atlantic
234 S Vermont Avenue	234 S Vermont Avenue	Atlantic City	Atlantic
212 S New Hampshire Avenue	212 S New Hampshire Avenue	Atlantic City	Atlantic
143 S Texas Avenue	143 S Texas Avenue	Atlantic City	Atlantic
233 S Metropolitan Avenue	233 S Metropolitan Avenue	Atlantic City	Atlantic
323 Hygeia Avenue	323 Hygeia Avenue	Atlantic City	Atlantic
222 S Rhode Island Avenue	222 S Rhode Island Avenue	Atlantic City	Atlantic
220 S Rhode Island Avenue	220 S Rhode Island Avenue	Atlantic City	Atlantic
145 S Texas Avenue	145 S Texas Avenue	Atlantic City	Atlantic
107 Atlantic Avenue	107 Atlantic Avenue	Atlantic City	Atlantic
233 S Rhode Island Avenue	233 S Rhode Island Avenue	Atlantic City	Atlantic
224 S Victoria Avenue	224 S Victoria Avenue	Atlantic City	Atlantic
212 S Victoria Avenue	212 S Victoria Avenue	Atlantic City	Atlantic
204 S Vermont Avenue	204 S Vermont Avenue	Atlantic City	Atlantic
327 Hygeia Avenue	327 Hygeia Avenue	Atlantic City	Atlantic
165 S Ocean Avenue	165 S Ocean Avenue	Atlantic City	Atlantic
207 S Victoria Avenue	207 S Victoria Avenue	Atlantic City	Atlantic
223 S Vermont Avenue	223 S Vermont Avenue	Atlantic City	Atlantic
257 S Metropolitan Avenue	257 S Metropolitan Avenue	Atlantic City	Atlantic
225 S Vermont Avenue	225 S Vermont Avenue	Atlantic City	Atlantic
211 S Rhode Island Avenue	211 S Rhode Island Avenue	Atlantic City	Atlantic
253 S Metropolitan Avenue	253 S Metropolitan Avenue	Atlantic City	Atlantic
229-231 S Victoria Avenue	229-231 S Victoria Avenue	Atlantic City	Atlantic
109 S California Avenue	109 S California Avenue	Atlantic City	Atlantic
35 New Hampshire Avenue	35 N New Hampshire Avenue	Atlantic City	Atlantic
116 S Vermont Avenue	116 S Vermont Avenue	Atlantic City	Atlantic
213 S Vermont Avenue	213 S Vermont Avenue	Atlantic City	Atlantic
115 Grammercy Place	115 Grammercy Place	Atlantic City	Atlantic
114 S Texas Avenue	114 S Texas Avenue	Atlantic City	Atlantic
236 S Rhode Island Avenue	236 S Rhode Island Avenue	Atlantic City	Atlantic
# 124 Stanley Hotel, #140 Princess Motel	124 S South Carolina Avenue	Atlantic City	Atlantic
110 S South Carolina Avenue	110 S South Carolina Avenue	Atlantic City	Atlantic
217 S Metropolitan Avenue	217 S Metropolitan Avenue	Atlantic City	Atlantic
116 South Carolina Avenue	120 South Carolina Avenue	Atlantic City	Atlantic
108 Albion Pl.	108 Albion Pl.	Atlantic City	Atlantic
141 S Texas Avenue	141 S Texas Avenue	Atlantic City	Atlantic
128 1/2 Florida Avenue	128 1/2 Florida Avenue	Atlantic City	Atlantic

Attachment A:
All Properties in the WTA PAPE

Property Name	Address	Municipality	County
224 S Vermont Avenue	224 S Vermont Avenue	Atlantic City	Atlantic
313 Oriental Avenue	313 Oriental Avenue	Atlantic City	Atlantic
325 Hygeia Avenue	325 Hygeia Avenue	Atlantic City	Atlantic
214 S Vermont Avenue	214 S Vermont Avenue	Atlantic City	Atlantic
218 S Vermont Avenue	218 S Vermont Avenue	Atlantic City	Atlantic
259 S Metropolitan Avenue	259 S Metropolitan Avenue	Atlantic City	Atlantic
240 S Vermont Avenue	240 S Vermont Avenue	Atlantic City	Atlantic
237 S Rhode Island Avenue	237 S Rhode Island Avenue	Atlantic City	Atlantic
212 S Vermont Avenue	212 S Vermont Avenue	Atlantic City	Atlantic
331 Hygeia Avenue	331 Hygeia Avenue	Atlantic City	Atlantic
205 S Victoria Avenue	205 S Victoria Avenue	Atlantic City	Atlantic
227 S Rhode Island Avenue	227 S Rhode Island Avenue	Atlantic City	Atlantic
321 Hygeia Avenue	321 Hygeia Avenue	Atlantic City	Atlantic
109 Atlantic Avenue	109 Atlantic Avenue	Atlantic City	Atlantic
140 S Tennessee Avenue	140 S Tennessee Avenue	Atlantic City	Atlantic
122 South Carolina Avenue	122 S South Carolina Avenue	Atlantic City	Atlantic
102 S California Avenue	102 S California Avenue	Atlantic City	Atlantic
221 S Metropolitan Avenue	221 S Metropolitan Avenue	Atlantic City	Atlantic
#106 Mercer Memorial Home	106 S Indiana Avenue	Atlantic City	Atlantic
# 117 Acapulco Hotel	117 S Kentucky Avenue	Atlantic City	Atlantic
# 111 S "Trophy House"	111 S Belmont Avenue	Atlantic City	Atlantic
164 St. James Pl.	164 St. James Pl.	Atlantic City	Atlantic
162 St. James Pl.	162 St. James Pl.	Atlantic City	Atlantic
311 Oriental Avenue	311 Oriental Avenue	Atlantic City	Atlantic
33 New Hampshire Avenue	33 N New Hampshire Avenue	Atlantic City	Atlantic
207 S Vermont Avenue	207 S Vermont Avenue	Atlantic City	Atlantic
226 S Vermont Avenue	226 S Vermont Avenue	Atlantic City	Atlantic
110 Atlantic Avenue	110 Atlantic Avenue	Atlantic City	Atlantic
225 Oriental Avenue	225 Oriental Avenue	Atlantic City	Atlantic
110 S Vermont Avenue	110 S Vermont Avenue	Atlantic City	Atlantic
212 S Rhode Island Avenue	212 S Rhode Island Avenue	Atlantic City	Atlantic
220 S Vermont Avenue	220 S Vermont Avenue	Atlantic City	Atlantic
208 S Vermont Avenue	208 S Vermont Avenue	Atlantic City	Atlantic
200 S Vermont Avenue	200 S Vermont Avenue	Atlantic City	Atlantic
121 Atlantic Avenue	121 Atlantic Avenue	Atlantic City	Atlantic
215 S Metropolitan Avenue	215 S Metropolitan Avenue	Atlantic City	Atlantic
228 S Vermont Avenue	228 S Vermont Avenue	Atlantic City	Atlantic
111 Atlantic Avenue	111 Atlantic Avenue	Atlantic City	Atlantic
213 S Victoria Avenue	213 S Victoria Avenue	Atlantic City	Atlantic
128 Florida Avenue	128 Florida Avenue	Atlantic City	Atlantic
214 S New Hampshire Avenue	214 S New Hampshire Avenue	Atlantic City	Atlantic
147 S Texas Avenue	147 S Texas Avenue	Atlantic City	Atlantic
219 S Metropolitan Avenue	219 S Metropolitan Avenue	Atlantic City	Atlantic
218 S Victoria Avenue	218 S Victoria Avenue	Atlantic City	Atlantic
142 S Tennessee Avenue	142 S Tennessee Avenue	Atlantic City	Atlantic
223 Oriental Avenue	223 Oriental Avenue	Atlantic City	Atlantic
206 S Vermont Avenue	206 S Vermont Avenue	Atlantic City	Atlantic
213 S Metropolitan Avenue	213 S Metropolitan Avenue	Atlantic City	Atlantic
245 S Metropolitan Avenue	245 S Metropolitan Avenue	Atlantic City	Atlantic
219 S Victoria Avenue	219 S Victoria Avenue	Atlantic City	Atlantic
125 Atlantic Avenue	125 Atlantic Avenue	Atlantic City	Atlantic
227 S Metropolitan Avenue	227 S Metropolitan Avenue	Atlantic City	Atlantic
238 S Vermont Avenue	238 S Vermont Avenue	Atlantic City	Atlantic
229 S Vermont Avenue	229 S Vermont Avenue	Atlantic City	Atlantic
235 S Metropolitan Avenue	235 S Metropolitan Avenue	Atlantic City	Atlantic
153 South Carolina Avenue	149 South Carolina Avenue	Atlantic City	Atlantic
231 S Metropolitan Avenue	231 S Metropolitan Avenue	Atlantic City	Atlantic
205 S Vermont Avenue	205 S Vermont Avenue	Atlantic City	Atlantic
112 Pacific Avenue	112 Pacific Avenue	Atlantic City	Atlantic
109A Atlantic Avenue	109A Atlantic Avenue	Atlantic City	Atlantic
209 S Rhode Island Avenue	209 S Rhode Island Avenue	Atlantic City	Atlantic
219 S Vermont Avenue	219 S Vermont Avenue	Atlantic City	Atlantic
201 S Victoria Avenue	201 S Victoria Avenue	Atlantic City	Atlantic
236 S Vermont Avenue	236 S Vermont Avenue	Atlantic City	Atlantic
333 Hygeia Avenue	333 Hygeia Avenue	Atlantic City	Atlantic
231 Oriental Avenue	231 Oriental Avenue	Atlantic City	Atlantic
254- 256 S Rhode Island Avenue	254- 256 S Rhode Island Avenue	Atlantic City	Atlantic
237 S Metropolitan Avenue	237 S Metropolitan Avenue	Atlantic City	Atlantic
227 Oriental Avenue	227 Oriental Avenue	Atlantic City	Atlantic

Attachment A:
All Properties in the WTA PAPE

Property Name	Address	Municipality	County
112 Atlantic Avenue	112 Atlantic Avenue	Atlantic City	Atlantic
246- 248 S Rhode Island Avenue	246- 248 S Rhode Island Avenue	Atlantic City	Atlantic
216 S Victoria Avenue	216 S Victoria Avenue	Atlantic City	Atlantic
209 S Victoria Avenue	209 S Victoria Avenue	Atlantic City	Atlantic
230 S Vermont Avenue	230 S Vermont Avenue	Atlantic City	Atlantic
225-227 S Victoria Avenue	225-227 S Victoria Avenue	Atlantic City	Atlantic
218 S Rhode Island Avenue	218 S Rhode Island Avenue	Atlantic City	Atlantic
225 S Rhode Island Avenue	225 S Rhode Island Avenue	Atlantic City	Atlantic
200 S New Hampshire Avenue	200 S New Hampshire Avenue	Atlantic City	Atlantic
163 S Ocean Avenue	163 S Ocean Avenue	Atlantic City	Atlantic
239 S Metropolitan Avenue	239 S Metropolitan Avenue	Atlantic City	Atlantic
203 S Victoria Avenue	203 S Victoria Avenue	Atlantic City	Atlantic
211 S Vermont Avenue	211 S Vermont Avenue	Atlantic City	Atlantic
153 South Carolina Avenue	149 South Carolina Avenue	Atlantic City	Atlantic
159 St. James Place	1401 Boardwalk	Atlantic City	Atlantic
157 South Carolina	149 South Carolina Avenue	Atlantic City	Atlantic
116 South Carolina Avenue	112 South Carolina Avenue	Atlantic City	Atlantic
111 Grammercy Place	111 Grammercy Place	Atlantic City	Atlantic
113 Grammercy Place	113 Grammercy Place	Atlantic City	Atlantic
111 Lincoln Place	111 Lincoln Place	Atlantic City	Atlantic
Marborough Hotel	1811 BOARDWALK	Atlantic City	Atlantic
109 Lincoln Place	109 Lincoln Place	Atlantic City	Atlantic
Million Dollar Pier	1 Atlantic Ocean	Atlantic City	Atlantic
Chalfonte Hotel	1201 BOARDWALK	Atlantic City	Atlantic
212 Parkside Avenue	212 Parkside Avenue	Atlantic City	Atlantic
Penrose Canal Bridge	U.S. Route 30 (Absecon Boulevard)	Atlantic City	Atlantic
249 Adriatic Avenue	249 Adriatic Avenue	Atlantic City	Atlantic
210 Parkside Avenue	210 Parkside Avenue	Atlantic City	Atlantic
1808 E RIVERSIDE DR	1808 E RIVERSIDE DR	Atlantic City	Atlantic
400 New Hamshire Avenue	400 New Hamshire Avenue	Atlantic City	Atlantic
211 Tomlin Avenue	211 Tomlin Avenue	Atlantic City	Atlantic
233 Adriatic Avenue	233 Adriatic Avenue	Atlantic City	Atlantic
237 Adriatic Avenue	237 Adriatic Avenue	Atlantic City	Atlantic
Atlantic City Airport/Bader Field	601 N ALBANY AVE	Atlantic City	Atlantic
213 Tomlin Avenue	213 Tomlin Avenue	Atlantic City	Atlantic
243 Adriatic Avenue	243 Adriatic Avenue	Atlantic City	Atlantic
245 Adriatic Avenue	245 Adriatic Avenue	Atlantic City	Atlantic
247 Adriatic Avenue	247 Adriatic Avenue	Atlantic City	Atlantic
235 Adriatic Avenue	235 Adriatic Avenue	Atlantic City	Atlantic
200 Parkside Avenue	200 Parkside Avenue	Atlantic City	Atlantic
Administration Building for the Board of Education 1809 Pacific Avenue	1809 Pacific Avenue	Atlantic City	Atlantic
Adriatic Court Apartments The Strand and Marine Apartments 3821-3825 Boardwalk Avenue	3821-3825 Boardwalk Avenue	Atlantic City	Atlantic
Ritz Carlton Hotel Iowa and the Boardwalk	Iowa and the Boardwalk	Atlantic City	Atlantic
Brighton Park Boardwalk & Park Place	Boardwalk & Park Place	Atlantic City	Atlantic
Pilings & timber heads from former pier Along tidal zone of beach, Morris Avenue (marked with buoys)	Along tidal zone of beach, Morris Avenue (marked with buoys)	Atlantic City	Atlantic
Outflow pipe Along tidal zone of beach, Tropicana Casino	Along tidal zone of beach, Tropicana Casino	Atlantic City	Atlantic
Outflow pipe Along tidal zone of beach, California Avenue	Along tidal zone of beach, California Avenue	Atlantic City	Atlantic
Outflow pipe Along tidal zone of beach, Convention Center (at south side of Center)	Along tidal zone of beach, Convention Center (at south side of Center)	Atlantic City	Atlantic
Double outflow pipe Along tidal zone of beach, Convention Center (at north side of Center)	Along tidal zone of beach, Convention Center (at north side of Center)	Atlantic City	Atlantic
Ocean One Mall Pier Along tidal zone of beach, Arkansas Avenue	Along tidal zone of beach, Arkansas Avenue	Atlantic City	Atlantic
Timber heads Along tidal zone of beach, Ocean One Mall Pier, 25' north of Mall Pier	Along tidal zone of beach, Ocean One Mall Pier, 25' north of Mall Pier	Atlantic City	Atlantic
Outflow pipe Along tidal zone of beach, Caesar Casion, 30' north of Casino	Along tidal zone of beach, Caesar Casion, 30' north of Casino	Atlantic City	Atlantic
Outflow pipe Along tidal zone of beach, Central Pier, 35' south of Pier	Along tidal zone of beach, Central Pier, 35' south of Pier	Atlantic City	Atlantic
Timber bulkhead groin Along tidal zone of beach, Central Pier, 15' south of Pier	Along tidal zone of beach, Central Pier, 15' south of Pier	Atlantic City	Atlantic
Central Pier Along tidal zone of beach, Tennessee Avenue	Along tidal zone of beach, Tennessee Avenue	Atlantic City	Atlantic

Attachment A:
All Properties in the WTA PAPE

Property Name	Address	Municipality	County
Stone jetty/groin Along tidal zone of beach, Central Pier, 60' north of Pier	Along tidal zone of beach, Central Pier, 60' north of Pier	Atlantic City	Atlantic
Timber bulkhead groin Along tidal zone of beach, between Mansion & South Carolina Avenues	Along tidal zone of beach, between Mansion & South Carolina Avenues	Atlantic City	
Outflow pipe Along tidal zone of beach, Steeplechase Pier, 20' south of Pier	Along tidal zone of beach, Steeplechase Pier, 20' south of Pier	Atlantic City	Atlantic
Wooden bulkhead groin Along tidal zone of beach, Steep Pier, 20' south of Pier	Along tidal zone of beach, Steep Pier, 20' south of Pier	Atlantic City	Atlantic
Steel Pier Along tidal zone of beach, Steel Pier	Along tidal zone of beach, Steel Pier	Atlantic City	Atlantic
Outflow pipe Along tidal zone of beach, Steel Pier, 50' north of Pier	Along tidal zone of beach, Steel Pier, 50' north of Pier	Atlantic City	
Outflow pipe with timber bulkhead Along tidal zone of beach, south side of Showboat Casino	Along tidal zone of beach, south side of Showboat Casino	Atlantic City	
Concrete Pilings Along tidal zone of beach, north side of Showboat Casino	Along tidal zone of beach, north side of Showboat Casino	Atlantic City	
Outflow pipe with timber bulkhead Along tidal zone of beach, Connecticut Avenue	Along tidal zone of beach, Connecticut Avenue	Atlantic City	Atlantic
Stone jetty/groin Along tidal zone of beach, Massachusetts Avenue	Along tidal zone of beach, Massachusetts Avenue	Atlantic City	Atlantic
Stone jetty/groin Along tidal zone of beach, Victoria Avenue	Along tidal zone of beach, Victoria Avenue	Atlantic City	Atlantic
Resource at NJ Parcel 0102_3_3	104 S MONTGOMERY AVE	Atlantic City	Atlantic
Resource at NJ Parcel 0102_14_3	116 S RIDGEWAY AVE	Atlantic City	Atlantic
Resource at NJ Parcel 0102_27_6	3211 BOARDWALK	Atlantic City	Atlantic
Resource at NJ Parcel 0102_36_58	2514 PACIFIC AVE	Atlantic City	Atlantic
Resource at NJ Parcel 0102_55_1	1325 BOARDWALK	Atlantic City	Atlantic
Resource at NJ Parcel 0102_1_125	1400 BOARDWALK	Atlantic City	Atlantic
Resource at NJ Parcel 0102_47_18	1701 BOARDWALK	Atlantic City	Atlantic
Resource at NJ Parcel 0102_11_10	108 S RALEIGH AVE	Atlantic City	Atlantic
Resource at NJ Parcel 0102_204_10	4301 ATLANTIC AVE	Atlantic City	Atlantic
2-story flat roof residence	3955 FIRST AVENUE	Avalon Borough	Cape May
Resource at NJ Parcel 0501_8.02_6	26 W 8TH STREET	Avalon Borough	Cape May
2.5-story Queen Anne residence	56 W 7TH STREET	Avalon Borough	Cape May
2-story Modern residence	61 N INLET DRIVE	Avalon Borough	Cape May
Resource at NJ Parcel 0501_5.04_59	273 6TH STREET	Avalon Borough	Cape May
1-story Modern residence	688 FIRST AVENUE	Avalon Borough	Cape May
Resource at NJ Parcel 0501_8.01_4	865 AVALON AVENUE	Avalon Borough	Cape May
Townsend Inlet Bridge (SI&A # 3100003)	Ocean Highway (CR 619) over Townsend Inlet	Avalon Borough, Middle Township, Sea Isle City	Cape May
Ca. 1981 Modern/Shed style dwelling	2013 SEAVIEW AVE	Barneget Light Borough	Ocean
Barneget Lighthouse	Northern end of Long Beach Island	Barneget Light Borough	Ocean
379 Bay Shore Drive	379 Bay Shore Drive	Barneget Township	Ocean
Blurred out in streetview	107 CHATSWORTH AVE	Beach Haven Borough	Ocean
Altered Folk Victorian	101 CENTRE STREET	Beach Haven Borough	Ocean
Altered stucco-covered Colonial Revival dwelling	1000 S ATLANTIC AVE	Beach Haven Borough	Ocean
Altered 2 1/2 story Colonial Revival dwelling	910 S ATLANTIC AVE	Beach Haven Borough	Ocean
Only partially visible on streetview - Ranch dwelling	133 PELHAM AVE	Beach Haven Borough	Ocean
Ca. 2014 dwelling	101 Pearl ST	Beach Haven Borough	Ocean
2207 Central Avenue (NJ Rt. 35)	2207 Central Avenue (NJ Rt. 35)	Berkeley	Ocean
2007 Central Avenue (NJ Rt. 35)	2007 Central Avenue (NJ Rt. 35)	Berkeley	Ocean
One-story altered minimal Ranch	198 Central Avenue (NJ Rt. 35)	Berkeley	Ocean
194 Central Avenue (NJ Rt. 35)	194 Central Avenue (NJ Rt. 35)	Berkeley	Ocean
190 Central Avenue (NJ Rt. 35)	190 Central Avenue (NJ Rt. 35)	Berkeley	Ocean
180 Central Avenue (NJ Rt. 35)	180 Central Avenue (NJ Rt. 35)	Berkeley	Ocean
178 Central Avenue (NJ Rt. 35)	178 Central Avenue (NJ Rt. 35)	Berkeley	Ocean
168 Central Avenue (NJ Rt. 35)	168 Central Avenue (NJ Rt. 35)	Berkeley	Ocean
160 Central Avenue (NJ Rt. 35)	160 Central Avenue (NJ Rt. 35)	Berkeley	Ocean
158A Central Avenue (NJ Rt. 35)	158A Central Avenue (NJ Rt. 35)	Berkeley	Ocean
158 Central Avenue (NJ Rt. 35)	158 Central Avenue (NJ Rt. 35)	Berkeley	Ocean
188B Central Avenue (NJ Rt. 35)	188B Central Avenue (NJ Rt. 35)	Berkeley	Ocean
188A Central Avenue (NJ Rt. 35)	188A Central Avenue (NJ Rt. 35)	Berkeley	Ocean
188 Central Avenue (NJ Rt. 35)	188 Central Avenue (NJ Rt. 35)	Berkeley	Ocean
186 Central Avenue (NJ Rt. 35)	186 Central Avenue (NJ Rt. 35)	Berkeley	Ocean
184 Central Avenue (NJ Rt. 35)	184 Central Avenue (NJ Rt. 35)	Berkeley	Ocean
182 Central Avenue (NJ Rt. 35)	182 Central Avenue (NJ Rt. 35)	Berkeley	Ocean
156 Central Avenue (NJ Rt. 35)	156 Central Avenue (NJ Rt. 35)	Berkeley	Ocean
"The Judges Shack" Island Beach State Park	Island Beach State Park	Berkeley Township	Ocean
Island Beach State Park, Fluted Point Findspot Island Beach State Park	Island Beach State Park	Berkeley Township	Ocean

Attachment A:
All Properties in the WTA PAPE

Property Name	Address	Municipality	County
AT&T Transmitter Building and Antenna Field	83 Bayview Avenue (Ocean County Route 617)	Berkeley Township	Ocean
The Judge's Shack	Central Avenue	Berkeley Township	Ocean
Aeolium Visitor Center	Central Avenue [no number available]	Berkeley Township	Ocean
Gatehouse	Central Avenue [no number available]	Berkeley Township	Ocean
Governor's Mansion	Central Avenue [no number available]	Berkeley Township	Ocean
One-story altered Minimal Traditional	158 CENTRAL AVE	Berkeley Township	Ocean
Resource at NJ Parcel 1506_1693_1_C.190	190 CENTRAL AVE	Berkeley Township	Ocean
Mobile Home	83 CENTRAL AVE	Berkeley Township	Ocean
Mobile Home	81 CENTRAL AVE	Berkeley Township	Ocean
Mobile Home	84 CENTRAL AVE	Berkeley Township	Ocean
Mobile Home	82 CENTRAL AVE	Berkeley Township	Ocean
Shore Acres Yacht Club	780 Drum Point Road	Brick Township	Ocean
Resource at NJ Parcel 1507_42.04_13	13 OCEAN FRONT TERR	Brick Township	Ocean
Resource at NJ Parcel 1507_4.20_1	532 OCEAN TERR.	Brick Township	Ocean
Resource at NJ Parcel 1507_35_10	100 KUPPER DR.	Brick Township	Ocean
Resource at NJ Parcel 1507_3.19_1	546 OCEAN TERR.	Brick Township	Ocean
Resource at NJ Parcel 1507_4.20_9	542 OCEAN TERR.	Brick Township	Ocean
Resource at NJ Parcel 1507_43.08_8	8 EBB TERR.	Brick Township	Ocean
Resource at NJ Parcel 1507_50.02_9	262 SUNSET LANE SO.	Brick Township	Ocean
Resource at NJ Parcel 1507_3.19_4	550 OCEAN TERR.	Brick Township	Ocean
Resource at NJ Parcel 1507_42.04_11	11 OCEAN FRONT TERR.	Brick Township	Ocean
Resource at NJ Parcel 1507_32_17.01	498 SUNSET BLVD.	Brick Township	Ocean
Resource at NJ Parcel 1507_37_8	394 ROUTE 35 NO.	Brick Township	Ocean
Resource at NJ Parcel 1507_39_6	101 FABER LANE	Brick Township	Ocean
Resource at NJ Parcel 1507_62_4	144 SUNSET LANE NO.	Brick Township	Ocean
Resource at NJ Parcel 1507_46.02_38	290 SUNSET LANE SO.	Brick Township	Ocean
Resource at NJ Parcel 1507_62_1	138 SUNSET LANE NO.	Brick Township	Ocean
Resource at NJ Parcel 1507_50.02_1	252 SUNSET LANE SO.	Brick Township	Ocean
Resource at NJ Parcel 1507_46.02_29.01	282 SUNSET LN SO.	Brick Township	Ocean
Resource at NJ Parcel 1507_36_10.08	104 LYNTHURST DR.	Brick Township	Ocean
Resource at NJ Parcel 1507_62_14	166 SUNSET LANE NO.	Brick Township	Ocean
Resource at NJ Parcel 1507_32_1	480 SUNSET BLVD	Brick Township	Ocean
Resource at NJ Parcel 1507_62_16.01	174 SUNSET LANE NO.	Brick Township	Ocean
Resource at NJ Parcel 1507_32_12.01	492 SUNSET BLVD.(13)	Brick Township	Ocean
Resource at NJ Parcel 1507_42.06_14	14 FALLS RD.	Brick Township	Ocean
Resource at NJ Parcel 1507_32_16.01	496 SUNSET BLVD (17)	Brick Township	Ocean
Resource at NJ Parcel 1507_32_21	502 SUNSET BLVD	Brick Township	Ocean
Resource at NJ Parcel 1507_62_12	162 SUNSET LANE NO.	Brick Township	Ocean
Resource at NJ Parcel 1507_42.06_11	11 FALLS RD.	Brick Township	Ocean
Resource at NJ Parcel 1507_42.04_12	12 OCEAN FRONT TERR	Brick Township	Ocean
Resource at NJ Parcel 1507_42.06_12	12 FALLS RD.	Brick Township	Ocean
Resource at NJ Parcel 1507_52.01_8	244 SUNSET LANE SO.	Brick Township	Ocean
Resource at NJ Parcel 1507_4.20_4	536 OCEAN TERR	Brick Township	Ocean
Resource at NJ Parcel 1507_52.01_6	242 SUNSET LANE SO.	Brick Township	Ocean
Resource at NJ Parcel 1507_62_3	142 SUNSET LANE NO.	Brick Township	Ocean
Resource at NJ Parcel 1507_32_8.01	488 SUNSET BLVD.	Brick Township	Ocean
Resource at NJ Parcel 1507_42.02_14	14 EDGEWATER TERR	Brick Township	Ocean
Resource at NJ Parcel 1507_42.02_16	16 EDGEWATER TERR.	Brick Township	Ocean
Resource at NJ Parcel 1507_32_6.01	486 SUNSET BLVD.	Brick Township	Ocean
Resource at NJ Parcel 1507_52.01_1	238 SUNSET LANE SO.	Brick Township	Ocean
Resource at NJ Parcel 1507_57_3	230 DUNE AVENUE	Brick Township	Ocean
Resource at NJ Parcel 1507_50.02_4	256 SUNSET LANE SO.	Brick Township	Ocean
Resource at NJ Parcel 1507_46.02_36	288 SUNSET LANE SO.	Brick Township	Ocean
Resource at NJ Parcel 1507_62_7	150 SUNSET LANE NO.	Brick Township	Ocean
Resource at NJ Parcel 1507_64_6.01	126 ROUTE 35 NO.(1601)	Brick Township	Ocean
Resource at NJ Parcel 1507_64_9.01	106 ROUTE 35 NO.	Brick Township	Ocean
Resource at NJ Parcel 1507_62_15	168 SUNSET LANE NO.	Brick Township	Ocean
Resource at NJ Parcel 1507_62_16	172 SUNSET LANE NO.	Brick Township	Ocean
Resource at NJ Parcel 1507_62_2	140 SUNSET LANE NO.	Brick Township	Ocean
Resource at NJ Parcel 1507_62_5	146 SUNSET LANE NO.	Brick Township	Ocean
Resource at NJ Parcel 1507_64_9	112 ROUTE 35 NO.	Brick Township	Ocean
Resource at NJ Parcel 1507_64_10	104 ROUTE 35 NO.(1565)	Brick Township	Ocean
2807 Ocean Avenue 2807 Ocean Avenue	2807 Ocean Avenue	Brigantine Borough	Atlantic
2707 Brigantine Avenue 2707 Brigantine Avenue	2707 Brigantine Avenue	Brigantine Borough	Atlantic
333 32nd Street 333 32nd Street	333 32nd Street	Brigantine Borough	Atlantic
300 Block of 27th Street Includes 305 and 308 27th Street and other unnamed houses on same block	Includes 305 and 308 27th Street and other unnamed houses on same block	Brigantine Borough	Atlantic
401 28th Street South	401 28th Street South	Brigantine City	Atlantic

Attachment A:
All Properties in the WTA PAPE

Property Name	Address	Municipality	County
223 35th Street South	223 35th Street South	Brigantine City	Atlantic
Brigantine Lighthouse	Brigantine Boulevard (County Route 638)	Brigantine City	Atlantic
3511-3529 Bay Shore Avenue	3511-3529 Bay Shore Avenue	Brigantine City	Atlantic
Citta del Mar Restaurant	3400 Atlantic-Brigantine Boulevard (34th Street and Circle)	Brigantine City	Atlantic
333 32nd Street South	333 32nd Street South	Brigantine City	Atlantic
2807 Ocean Avenue	2807 Ocean Avenue	Brigantine City	Atlantic
2707 Brigantine Avenue	2707 Brigantine Avenue	Brigantine City	Atlantic
313 27th Street South	313 27th Street South	Brigantine City	Atlantic
308 27th Street	308 27th Street	Brigantine City	Atlantic
305 27th Street	305 27th Street	Brigantine City	Atlantic
2201 Bayshore Avenue	2201 Bayshore Avenue (22nd Street South in survey)	Brigantine City	Atlantic
1800 Revere Boulevard	1800 Revere Boulevard	Brigantine City	Atlantic
200 18th Street South	200 18th Street South	Brigantine City	Atlantic
31 17th Street South	31 17th Street South	Brigantine City	Atlantic
1519 Bayshore Avenue	1519 Bayshore Avenue	Brigantine City	Atlantic
1619 Bayshore Avenue	1619 Bayshore Avenue	Brigantine City	Atlantic
Brigantine Hotel	1400 Ocean Avenue	Brigantine City	Atlantic
140 4th Street South [heavily altered]	140 4th Street South	Brigantine City	Atlantic
401 West Beach Avenue	401 West Beach Avenue	Brigantine City	Atlantic
222 3rd Street South	222 3rd Street South	Brigantine City	Atlantic
Leeds House	226 3rd Street South	Brigantine City	Atlantic
223 10th Street North	223 10th Street North	Brigantine City	Atlantic
14th Street behind [former] Brigantine Castle Parking lot	237 14th Street (approx.)	Brigantine City	Atlantic
Brigantine Country Club (demolished)	North Shore Drive	Brigantine City	Atlantic
St. Thomas Catholic Church	331 8th Street South	Brigantine City	Atlantic
Brigantine Boulevard and Atlantic Avenue	Brigantine Boulevard and Atlantic Avenue	Brigantine City	Atlantic
Resource at NJ Parcel 0103_806_21	250 9TH STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_601_9	205 2ND STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_601_15	206 VERNON PLACE	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_704_10	223 6TH STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_704_22	230 5TH STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_601_7	209 2ND STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_505_17	215 VERNON PLACE	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_601_17	210 VERNON PLACE	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_602_16	202 2ND STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_803_20	352 8TH STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_704_23	234 5TH STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_706_18	218 6TH STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_704_8	231 6TH STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_601_6	211 2ND STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_602_12	206 W BEACH AVE	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_602_17	204 2ND STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_706_25	250 6TH STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_802_20	236 7TH STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_802_21	240 7TH STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_802_23	250 7TH STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_804_19	242 8TH STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_505_2	206 ROOSEVELT BLVD SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_806_20	246 9TH STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_102_11	1219 E BRIGANTINE AVE	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_704_27	254 5TH STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_706_22	234 6TH STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_704_4	247 6TH STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_706_23	238 6TH STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_312_6	101 6TH STREET NO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_602_15	200 2ND STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_505_15	211 VERNON PLACE	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_505_7	216 ROOSEVELT BLVD SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_601_8	207 2ND STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_601_16	208 VERNON PLACE	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_505_16	213 VERNON PLACE	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_602_11	201 3RD STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_505_19	219 VERNON PLACE	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_601_5	213 2ND STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_602_18	206 2ND STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_601_19	214 VERNON PLACE	BRIGANTINE CITY	Atlantic

Attachment A:
All Properties in the WTA PAPE

Property Name	Address	Municipality	County
Resource at NJ Parcel 0103_603_13	200 3RD STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_503_20	210 2ND STREET NO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_601_11	108 W BEACH AVE	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_505_3	208 ROOSEVELT BLVD SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_505_12	205 VERNON PLACE	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_601_13	202 VERNON PLACE	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_505_13	207 VERNON PLACE	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_601_10	203 2ND STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_505_5	212 ROOSEVELT BLVD SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_505_14	209 VERNON PLACE	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_603_14	202 3RD STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_601_4	215 2ND STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_603_15	204 3RD STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_602_9	209 3RD STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_603_16	206 3RD STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_603_17	208 3RD STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_603_12	201 4TH STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_603_18	210 3RD STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_602_20	210 2ND STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_603_19	212 3RD STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_601_21	218 VERNON PLACE	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_603_20	214 3RD STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_603_21	216 3RD STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_602_21	212 2ND STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_601_2	219 2ND STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_602_6	221 3RD STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_602_5	225 3RD STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_602_4	229 3RD STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_603_26	230 3RD STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_702_17	214 4TH STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_603_27	238 3RD STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_702_18	218 4TH STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_702_11	215 5TH STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_702_10	219 5TH STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_702_9	223 5TH STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_702_8	227 5TH STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_702_7	231 5TH STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_702_22	238 4TH STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_704_12	215 6TH STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_702_6	235 5TH STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_704_21	226 5TH STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_702_4	243 5TH STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_704_9	227 6TH STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_704_24	238 5TH STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_706_19	222 6TH STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_706_20	226 6TH STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_704_6	239 6TH STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_704_26	248 5TH STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_706_21	230 6TH STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_704_5	243 6TH STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_704_2	255 6TH STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_802_19	230 7TH STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_804_20	246 8TH STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_804_21	250 8TH STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_1601_15	318 16TH STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_1406_4	1900 OCEAN AVE	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_2101_20	2201 OCEAN AVE	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_1801_8	406 20TH STREET SO	BRIGANTINE CITY	Atlantic
Resource at NJ Parcel 0103_2301_5	400 26TH STREET SO	BRIGANTINE CITY	Atlantic
Edith Approximately 1800 yards from Cape May East Jetty Light, off Cold Spring Inlet	Approximately 1800 yards from Cape May East Jetty Light, off Cold Spring Inlet	Cape May	
Irma, Pauline, and Hermaline 1/4 mile from Cape May Inlet	1/4 mile from Cape May Inlet	Cape May	
Transmarine No. 122 Approximately 1.6 miles from light on Cold Spring Inlet	Approximately 1.6 miles from light on Cold Spring Inlet	Cape May	
Gunning Club	508 Dock Road	Eagleswood Township	Ocean
Studebaker Showroom	North West Corner Verona and Toulon Avenues	Egg Harbor Township	Atlantic
211 West Plaza Place	211 West Plaza Place	Egg Harbor Township	Atlantic

Attachment A:
All Properties in the WTA PAPE

Property Name	Address	Municipality	County
Grenada and Bay Drive	Grenada and Bay Drive	Egg Harbor Township	Atlantic
1512 Bay Drive	1512 Bay Drive	Egg Harbor Township	Atlantic
Toledo Avenue	Toledo Avenue	Egg Harbor Township	Atlantic
Atlantic City Municipal Airport Control Tower	FAA TECH CENTER	Egg Harbor Township	Atlantic
Atlantic City Municipal Airport Terminal	FAA TECH CENTER	Egg Harbor Township	Atlantic
Bennett Chevrolet	6740 BLACK HORSE PIKE	Egg Harbor Township	Atlantic
Chicken Farm	2 MOUNTAIN LANE (BASIN)	Egg Harbor Township	Atlantic
Cardiff Station	6614 REEGA AVENUE	Egg Harbor Township	Atlantic
Mount Calvary Cemetery	6804 Black Horse Pike	Egg Harbor Township	Atlantic
Searstown Mall	6725 BLACK HORSE PIKE	Egg Harbor Township	Atlantic
L.N. Renault and Sons Winery	Bremen Avenue and Leibig Street	Galloway Township	Atlantic
Old US Coast Guard Station	Little Beach Island, Brigantine National Wildlife Refuge	Galloway Township	Atlantic
Marriott's Seaview Resort & Spa	401 South New York Road	Galloway Township	Atlantic
722 Moss Mill Road	722 Moss Mill Road	Galloway Township	Atlantic
Cologne Avenue East of Herschel Street	170 S Cologne Avenue	Galloway Township	Atlantic
Abbott's Modern Cabins	217 NJ Route 40	Hamilton Township	Atlantic
Atlantic City International Airport	Amelia Earhart Boulevard	Hamilton Township, Egg Harbor Township, Galloway Township	Atlantic
Ca. 1980 raised one-story Front Gable with wood shingle	7-A E 69TH ST	Harvey Cedars Borough	Ocean
Ca. 1970 Modern dwelling on piles with vertical board	15 E BURLINGTON AVE	Harvey Cedars Borough	Ocean
Shed style dwelling with gray wood shingles and blue detail	15 E SUSSEX AVE	Harvey Cedars Borough	Ocean
Ca. 1980 dwelling - no streetview	7101 LONG BEACH BLVD	Harvey Cedars Borough	Ocean
Ca. 1975 dwelling - no streetview	12 E CUMBERLAND AVE	Harvey Cedars Borough	Ocean
Ca. 1970 International style dwelling	8-A E 69TH ST	Harvey Cedars Borough	Ocean
Ca. 1975 altered 2 story dwelling	20-22 E 80TH ST	Harvey Cedars Borough	Ocean
Ca. 1971 dwelling - no streetview	6311F LONG BEACH BLVD	Harvey Cedars Borough	Ocean
3 story dwelling with shed roofs - only partially visible on streetview	13 E 86TH ST	Harvey Cedars Borough	Ocean
Ca. 1982 dwelling - no streetview	5309D LONG BEACH BLVD	Harvey Cedars Borough	Ocean
Ca. 1968 altered dwelling - no streetview	7-B E 70TH ST	Harvey Cedars Borough	Ocean
Ca. 1975 dwelling - no streetview	5311C LONG BEACH BLVD	Harvey Cedars Borough	Ocean
No streetview - ca. 1982 Dwelling	12 E BERGEN AVE	Harvey Cedars Borough	Ocean
No streetview - ca. 1979 dwelling	6309F LONG BEACH BLVD	Harvey Cedars Borough	Ocean
No streetview - appears to be Modern style dwelling	6403G LONG BEACH BLVD	Harvey Cedars Borough	Ocean
No streetview - potentially a ca. 1962 Modern dwelling	13 E MERCER AVE	Harvey Cedars Borough	Ocean
Ca. 1980 dwelling - no streetview	14 E 82ND ST	Harvey Cedars Borough	Ocean
Two-story with rectangular footprint and vertical board	14 E 77TH ST	Harvey Cedars Borough	Ocean
Ca. 1971 dwelling - no streetview	16 E 83RD ST	Harvey Cedars Borough	Ocean
Stevens House 906 Ocean Front	906 Ocean Front	Lavallette	Ocean
3 Philadelphia Avenue	3 Philadelphia Avenue	Lavallette	Ocean
Cape Cod with Colonial Revival detail	2306 OCEAN FRONT	Lavallette	Ocean
Two-story Front Gable	604 OCEAN FRONT	Lavallette	Ocean
No streetview	1102 OCEAN FRONT	Lavallette	Ocean
Two-story with wood shingle	602 OCEAN FRONT	Lavallette	Ocean
Two-story with wood shingles and cross gable roof	900 OCEAN FRONT	Lavallette	Ocean
Beach Pavilion (demolished)	Kerr Avenue and Oceanfront	Lavallette Borough	Ocean
Stevens House	1 Brown Avenue/906 Ocean Front	Lavallette Borough	Ocean
Scully-Leeds Cemetery	106 E Devonshire Avenue	Linwood City	Atlantic
Lingwood Golf & Country Club	500 Shore Road	Linwood City	Atlantic
34 Oak Avenue	34 Oak Avenue	Linwood City	Atlantic
Little Egg Harbor US Life Saving Station #23	800 Great Bay Boulevard	Little Egg Harbor Township	Ocean
No streetview	5615 WEST AVE	Long Beach Township	Ocean
Ca. 1971 New Traditional 2-story dwelling with wood shingle	1001D LONG BEACH BLVD	Long Beach Township	Ocean
Ca. 1980 dwelling - no streetview	1129C LONG BEACH BLVD	Long Beach Township	Ocean
Ca. 1960 Dwelling	1113A LONG BEACH BLVD	Long Beach Township	Ocean
Altered Cape Cod dwelling with wood shingles	6312 OCEAN BLVD	Long Beach Township	Ocean
Altered two-story dwelling with side gable roof and ground level garage	3707 S LONG BEACH BLVD	Long Beach Township	Ocean
Altered two-story New Traditional dwelling with ground level garage	201 E DUNE LANE	Long Beach Township	Ocean
Altered two-story New Traditional dwelling	4909 S LONG BEACH BLVD	Long Beach Township	Ocean
Potentially a Modern dwelling - no streetview	107F LONG BEACH BLVD	Long Beach Township	Ocean

Attachment A:
All Properties in the WTA PAPE

Property Name	Address	Municipality	County
No streetview	107E LONG BEACH BLVD	Long Beach Township	Ocean
Ca. 1975 dwelling - no streetview	77D LONG BEACH BLVD	Long Beach Township	Ocean
No streetview	171E LONG BEACH BLVD	Long Beach Township	Ocean
No streetview - possibly ca. 1950 dwelling	163 LONG BEACH BLVD	Long Beach Township	Ocean
Heavily altered two-story Colonial Revival	201 E SOUTH 31ST STREET	Long Beach Township	Ocean
Altered two-story Front Gable with second level patio	12309 OCEAN AVE	Long Beach Township	Ocean
Ca. 1965 dwelling - no streetview	1053C LONG BEACH BLVD	Long Beach Township	Ocean
Ca. 1970 dwelling - no streetview	65E LONG BEACH BLVD	Long Beach Township	Ocean
Altered ca. 1948 raised Craftsman dwelling	3207 OCEAN BLVD	Long Beach Township	Ocean
Ca. 1970 altered raised 2 story dwelling	1111B LONG BEACH BLVD	Long Beach Township	Ocean
Altered two-story raised dwelling	6109 OCEAN BLVD	Long Beach Township	Ocean
Heavily altered Colonial Revival dwelling	115 E NEW YORK AVE	Long Beach Township	Ocean
Ca. 1964 Front Gable - no streetview	1075 LONG BEACH BLVD	Long Beach Township	Ocean
Altered raised two-story dwelling	3905 OCEAN BLVD	Long Beach Township	Ocean
One-story hipped roof dwelling	7605 OCEAN BLVD	Long Beach Township	Ocean
Heavily altered two-story dwelling with ground level garage	4009 OCEAN BLVD	Long Beach Township	Ocean
Heavily altered Craftsman dwelling	5812 OCEAN BLVD	Long Beach Township	Ocean
Altered two-story raised hipped roof dwelling	6107 OCEAN BLVD	Long Beach Township	Ocean
Modern dwelling with wood shingle, stucco, vinyl	7 E SEASHELL LANE	Long Beach Township	Ocean
Ca. 1965 dwelling - no streetview	5 E SEASHELL LANE	Long Beach Township	Ocean
Altered two-story side gable house	6503 OCEAN BLVD	Long Beach Township	Ocean
Altered two-story side gable dwelling	109 E HOBART AVE	Long Beach Township	Ocean
Potentially a Modern dwelling - no streetview	7 COAST AVE	Long Beach Township	Ocean
Late Brutalist dwelling - potentially eligible	15C LONG BEACH BLVD	Long Beach Township	Ocean
Ca. 1979 altered Shed style dwelling	1051C LONG BEACH BLVD	Long Beach Township	Ocean
Side gable dwelling - no streetview	175G LONG BEACH BLVD	Long Beach Township	Ocean
No streetview	75D LONG BEACH BLVD	Long Beach Township	Ocean
Ca. 1982 dwelling - no streetview	1127C LONG BEACH BLVD	Long Beach Township	Ocean
Altered two-story dwelling with ground level garage	3901 OCEAN BLVD	Long Beach Township	Ocean
Ca. 1975 dwelling - no streetview	1115C LONG BEACH BLVD	Long Beach Township	Ocean
Potentially Modern dwelling - no streetview	93B LONG BEACH BLVD	Long Beach Township	Ocean
Ca. 1970 dwelling - no streetview	71E LONG BEACH BLVD	Long Beach Township	Ocean
Storm drain pipe cover (timber heads with rock fill Along tidal zone of beach, 14th Street	Along tidal zone of beach, 14th Street	Longport	Atlantic
Storm drain pipe cover (row of 12 timber heads) Along tidal zone of beach, 20th Street	Along tidal zone of beach, 20th Street	Longport	Atlantic
Storm drain pipe cover (3 timber heads) Along tidal zone of beach, 23rd Street	Along tidal zone of beach, 23rd Street	Longport	Atlantic
Storm drain pipe cover (timber heads with rock fill Along tidal zone of beach, 29th Street	Along tidal zone of beach, 29th Street	Longport	Atlantic
Storm drain pipe cover (timber heads with rock fill Along tidal zone of beach, 27th Street	Along tidal zone of beach, 27th Street	Longport	Atlantic
Wood pilings with drain pipe Along tidal zone of beach, Manor Street	Along tidal zone of beach, Manor Street	Longport	Atlantic
Storm drain pipe cover (timber heads with rock fill Along tidal zone of beach, 32nd Street	Along tidal zone of beach, 32nd Street	Longport	Atlantic
Timber frame with drain pipe Along tidal zone of beach, 33rd Street	Along tidal zone of beach, 33rd Street	Longport	Atlantic
Resource at NJ Parcel 0115_21_12.01	112 SO 25TH AVE	Longport	Atlantic
Resource at NJ Parcel 0115_13_7	111 SO 17TH AVE	Longport	Atlantic
Resource at NJ Parcel 0115_103_1	105 SO 36TH AV	Longport	Atlantic
Resource at NJ Parcel 0115_24_3	107 SO 25TH AVE	Longport	Atlantic
Resource at NJ Parcel 0115_17_7	105 SO 21ST AVE	Longport	Atlantic
Resource at NJ Parcel 0115_17_12	110 SO 22ND AVE	Longport	Atlantic
Resource at NJ Parcel 0115_6_5.01	109 SO 13TH AVE	Longport	Atlantic
Resource at NJ Parcel 0115_2_6	115 SO 11TH AVE	Longport	Atlantic
108 22nd Street	108 22nd Street	Longport Borough	Atlantic
109 21st Avenue	109 21st Avenue	Longport Borough	Atlantic
Gospel Hall Home	SO 29th Avenue	Longport Borough	Atlantic
111 21st Avenue	111 21st Avenue	Longport Borough	Atlantic
107 23rd Avenue 107 23rd Avenue	107 23rd Avenue	Longport Borough	Atlantic
Loveladies Lifesaving Station #18 Long Beach Island Boulevard	Long Beach Island Boulevard	Loveladies	Ocean
Cape May Lighthouse	Cape May Point	Lower Township	Cape May
Resource at NJ Parcel 1520_41_15	1559 OCEAN AVENUE	Mantoloking Borough	Ocean
Resource at NJ Parcel 1520_41_11	1539 OCEAN AVENUE	Mantoloking Borough	Ocean
Resource at NJ Parcel 1520_41_10	1537 OCEAN AVENUE	Mantoloking Borough	Ocean

Attachment A:
All Properties in the WTA PAPE

Property Name	Address	Municipality	County
Resource at NJ Parcel 1520_41_14	1557 OCEAN AVENUE	Mantoloking Borough	Ocean
Resource at NJ Parcel 1520_41_7	1525 OCEAN AVENUE	Mantoloking Borough	Ocean
Resource at NJ Parcel 1520_41_6	1521 OCEAN AVENUE	Mantoloking Borough	Ocean
Camp Osborn historic District	NJ Route 35 (northbound) and Atlantic Ocean	Mantoloking Borough	Ocean
Stone jetty/groin Along tidal zone of beach, Colidge Avenue	Along tidal zone of beach, Colidge Avenue	Margate	Atlantic
Bulkhead/wooden groin Along tidal zone of beach, Monroe Avenue	Along tidal zone of beach, Monroe Avenue	Margate	Atlantic
Bulkhead/wooden groin Along tidal zone of beach, Jefferson Avenue	Along tidal zone of beach, Jefferson Avenue	Margate	Atlantic
Bulkhead/wooden groin Along tidal zone of beach, Adams Avenue	Along tidal zone of beach, Adams Avenue	Margate	Atlantic
Stone groin/jetty Along tidal zone of beach, Benson Avenue	Along tidal zone of beach, Benson Avenue	Margate	Atlantic
Bulkhead/wooden groin Along tidal zone of beach, Union Avenue	Along tidal zone of beach, Union Avenue	Margate	Atlantic
Bulkhead Along tidal zone of beach, Sumner Avenue	Along tidal zone of beach, Sumner Avenue	Margate	Atlantic
Bulkhead/wooden groin Along tidal zone of beach, Quincy Avenue	Along tidal zone of beach, Quincy Avenue	Margate	Atlantic
Bulkhead/wooden groin Along tidal zone of beach, Osborne Avenue	Along tidal zone of beach, Osborne Avenue	Margate	Atlantic
Bulkhead/wooden groin Along tidal zone of beach, Mansfield Avenue	Along tidal zone of beach, Mansfield Avenue	Margate	Atlantic
Stone groin Along tidal zone of beach, Jerome Avenue	Along tidal zone of beach, Jerome Avenue	Margate	Atlantic
Margate Fishing Pier Along tidal zone of beach, Exeter Avenue	Along tidal zone of beach, Exeter Avenue	Margate	
Bulkhead/wooden groin Along tidal zone of beach, Brunswick Avenue	Along tidal zone of beach, Brunswick Avenue	Margate	
Bulkhead/wooden groin Along tidal zone of beach, Argyle Avenue	Along tidal zone of beach, Argyle Avenue	Margate	
Lucy, The Margate Elephant	Decatur and Atlantic Avenues	Margate City	Atlantic
Resource at NJ Parcel 0116_11.01_13	110 S JEROME AVE	Margate City	Atlantic
Resource at NJ Parcel 0116_10.03_20	112 S IROQUOIS AVE	Margate City	Atlantic
Resource at NJ Parcel 0116_10.02_16	8301 SALEM RD	Margate City	Atlantic
Resource at NJ Parcel 0116_1.01_9	102 S FREDERICKSBURG AVE	Margate City	Atlantic
Resource at NJ Parcel 0116_17_8	115 S QUINCY AVE	Margate City	Atlantic
Resource at NJ Parcel 0116_16_17	114 S OSBORNE AVE	Margate City	Atlantic
Resource at NJ Parcel 0116_9_16	4 DOLPHIN DR	Margate City	Atlantic
Resource at NJ Parcel 0116_9_1	8200 ATLANTIC AVE	Margate City	Atlantic
Resource at NJ Parcel 0116_7.02_12	108 S GLADSTONE AVE	Margate City	Atlantic
Maurice River Lighthouse	East Point by the Maurice River Cove, 3 miles Southwest of Heislerville	Maurice River Township	Cumberland
Bennys Landing Road	417 E PACIFIC AVE	Middle Township	Cape May
Hereford Lighthouse	First and Central Avenues	North Wildwood City	Cape May
North Wildwood Life Saving Station	113 North Central Avenue	North Wildwood City	Cape May
Sahara Motel	510 E 18TH AVE	NORTH WILDWOOD CITY	Cape May
Resource at NJ Parcel 0507_30_2	139 SEAVIEW CT	NORTH WILDWOOD CITY	Cape May
Resource at NJ Parcel 0507_30_1	141 SEAVIEW CT	NORTH WILDWOOD CITY	Cape May
Resource at NJ Parcel 0507_30_4	135 SEAVIEW CT	NORTH WILDWOOD CITY	Cape May
Resource at NJ Parcel 0507_30_3	137 SEAVIEW CT	NORTH WILDWOOD CITY	Cape May
Resource at NJ Parcel 0507_222_1	101 E WALNUT AVE	NORTH WILDWOOD CITY	Cape May
Resource at NJ Parcel 0507_6.01_5	8 N NEW YORK AVE	NORTH WILDWOOD CITY	Cape May
Resource at NJ Parcel 0507_221_11	204 N CENTRAL AVE	NORTH WILDWOOD CITY	Cape May
Resource at NJ Parcel 0507_6.03_12	202 HEREFORD AVE	NORTH WILDWOOD CITY	Cape May
Athens II Motor Inn	201 OCEAN AVE	NORTH WILDWOOD CITY	Cape May
Aloha	210 KENNEDY DR	NORTH WILDWOOD CITY	Cape May
Acropolis Oceanfront Resort	300 KENNEDY DR	NORTH WILDWOOD CITY	Cape May
American Inn	510 E 13TH AVE	NORTH WILDWOOD CITY	Cape May
D. Howard Evans House	4901 Wesley Avenue	Ocean City	Cape May
912 Fourth Street	912-14 Fourth Street	Ocean City	Cape May
Fourth and Corinthian	901-03 Fourth Street	Ocean City	Cape May
SW corner 17th and Wesley	1701 Wesley Avenue	Ocean City	Cape May
Amusement Park	Sixth Street at Boardwalk	Ocean City	Cape May
St. Augustine Rectory	1310 Ocean Avenue	Ocean City	Cape May
888 Park Place	888-90 Park Place	Ocean City	Cape May
912 Stenton Place	912 Stenton Place	Ocean City	Cape May

Attachment A:
All Properties in the WTA PAPE

Property Name	Address	Municipality	County
900 North Street	900 North Street	Ocean City	Cape May
1417 Ocean Avenue	1417 Ocean Avenue	Ocean City	Cape May
826 North Street	826 North Street	Ocean City	Cape May
1401 Ocean Avenue	1401 Ocean Avenue	Ocean City	Cape May
905 Park Place	905 Park Place	Ocean City	Cape May
909 Fourth Street	909 Fourth Street	Ocean City	Cape May
910 Fourth Street	910 Fourth Street	Ocean City	Cape May
Harris House Motor Inn	1200-30 Boardwalk	Ocean City	Cape May
319 Corinthian Avenue	309-11 Corinthian Avenue	Ocean City	Cape May
908 North Street	908 North Street	Ocean City	Cape May
907 Park Place	907 Park Place	Ocean City	Cape May
1445 Ocean Avenue	1445 Ocean Avenue	Ocean City	Cape May
931 Pennlyn Place	929-31 Pennlyn Place	Ocean City	Cape May
921 St James Place	929 St James Place	Ocean City	Cape May
880 Park Place	880-82 Park Place	Ocean City	Cape May
1437 Ocean Avenue	1437 Ocean Avenue	Ocean City	Cape May
1318 Ocean Avenue	1318 Ocean Avenue	Ocean City	Cape May
Franconia Apartments 1945	1124 Ocean Avenue	Ocean City	Cape May
910 St James Place	910 St James Place	Ocean City	Cape May
926 Second Street	200-02 Boardwalk	Ocean City	Cape May
912 Brighton Place	912-14 Brighton Place	Ocean City	Cape May
908-10 Brighton Place	908-10 Brighton Place	Ocean City	Cape May
830 North Street	830 North Street	Ocean City	Cape May
865 Park Place	865 Park Place	Ocean City	Cape May
814 North Street	814 North Street	Ocean City	Cape May
916-18 Park Place	916-18 Park Place	Ocean City	Cape May
914 Stenton Place	914 Stenton Place	Ocean City	Cape May
Andrew's	1320-24 Ocean Avenue	Ocean City	Cape May
920-22 St Charles Place	920-22 St Charles Place	Ocean City	Cape May
850 Stenton Place	850 Stenton Place	Ocean City	Cape May
848 Stenton Place	848 Stenton Place	Ocean City	Cape May
911 St Charles Place	911 St Charles Place	Ocean City	Cape May
The Gardens Plaza	322 Boardwalk	Ocean City	Cape May
916 Brighton Place	916-18 Brighton Place	Ocean City	Cape May
611 Chelsea Place	611 Chelsea Place	Ocean City	Cape May
884 Park Place	884 Park Place	Ocean City	Cape May
609 St Albans Place	609 St Albans Place	Ocean City	Cape May
834 North Street	834 North Street	Ocean City	Cape May
1304-08 Ocean Avenue	1308 Ocean Avenue	Ocean City	Cape May
1113 Ocean Avenue	1113 Ocean Avenue	Ocean City	Cape May
900 Park Place	900 Park Place	Ocean City	Cape May
908 Park Place	908 Park Place	Ocean City	Cape May
852 Stenton Place	852 Stenton Place	Ocean City	Cape May
908 First Street	908 First Street	Ocean City	Cape May
915 Fourth Street	915 Fourth Street	Ocean City	Cape May
Days Inn	870 Seventh Street	Ocean City	Cape May
911-13 Fourth Street	911-13 Fourth Street	Ocean City	Cape May
16th Street at Boardwalk	1600 Boardwalk	Ocean City	Cape May
913-19 St Charles Place	913-19 St Charles Place	Ocean City	Cape May
832 North Street	832 North Street	Ocean City	Cape May
872 North Street	872 North Street	Ocean City	Cape May
918-24 Stenton Place	918 Stenton Place	Ocean City	Cape May
908 Stenton Place	908 Stenton Place	Ocean City	Cape May
810 North Street	810 North Street	Ocean City	Cape May
1122 Ocean Avenue	1122 Ocean Avenue	Ocean City	Cape May
1441 Ocean Avenue	1441 Ocean Avenue	Ocean City	Cape May
869 Park Place	869 Park Place	Ocean City	Cape May
921 Fifth to Boardwalk	925 Fifth Street	Ocean City	Cape May
620 16th Street	620 16th Street	Ocean City	Cape May
608 Chelsea Place	608 Chelsea Place	Ocean City	Cape May
904 North Street	904 North Street	Ocean City	Cape May
600 Wayne Avenue	600 Wayne Avenue	Ocean City	Cape May
900-24 Pennlyn Place	900 Pennlyn Place	Ocean City	Cape May
924 Stenton Place	924 Stenton Place	Ocean City	Cape May
905 St Charles Place	905 St Charles Place	Ocean City	Cape May
Boardwalk at St James Place	30 Boardwalk	Ocean City	Cape May
612 Chelsea Place	612 Chelsea Place	Ocean City	Cape May
902 North Street	902 North Street	Ocean City	Cape May
1421 Ocean Avenue	1421 Ocean Avenue	Ocean City	Cape May

Attachment A:
All Properties in the WTA PAPE

Property Name	Address	Municipality	County
906 North Street	906 North Street	Ocean City	Cape May
824 North Street	824 North Street	Ocean City	Cape May
916-18 St Charles Place	916-18 St Charles Place	Ocean City	Cape May
906 St Charles Place	906 St Charles Place	Ocean City	Cape May
1732 Boardwalk	Boardwalk at St Albans entire block	Ocean City	Cape May
875 Stenton Place	875 Stenton Place	Ocean City	Cape May
906 First Street	906 First Street	Ocean City	Cape May
920 First Street	920-22 First Street	Ocean City	Cape May
925 Second Street	925 Second Street	Ocean City	Cape May
13th and Boardwalk	1280 Boardwalk	Ocean City	Cape May
330 Corinthian Avenue	330 Corinthian Avenue	Ocean City	Cape May
812 North Street	812 North Street	Ocean City	Cape May
901 Park Place	901 Park Place	Ocean City	Cape May
St Albans Place at Boardwalk	1730 Boardwalk	Ocean City	Cape May
912-14 St Charles Place	912-14 St Charles Place	Ocean City	Cape May
Seaview Beach	1619 WESLEY AVE	Ocean City	Cape May
1304-1308 Ocean Ave.	1304-1308 Ocean Ave.	Ocean City	Cape May
1920 Wesley Ave.	1920 Wesley Ave.	Ocean City	Cape May
1930 Wesley Ave.	1930 Wesley Ave.	Ocean City	Cape May
9489 Wesley Ave.	9489 Wesley Ave.	Ocean City	Cape May
826 North Street	826 North Street	Ocean City	Cape May
860 North Street	860 North Street	Ocean City	Cape May
864 North Street	864 North Street	Ocean City	Cape May
900 North Street	900 North Street	Ocean City	Cape May
902 North Street	902 North Street	Ocean City	Cape May
904 North Street	904 North Street	Ocean City	Cape May
906 North Street	906 North Street	Ocean City	Cape May
908 North Street	908 North Street	Ocean City	Cape May
820 North Street	820 North Street	Ocean City	Cape May
Amusement Park 6th Street at Boardwalk, between 6th and 7th Streets	6th Street at Boardwalk, between 6th and 7th Streets	Ocean City	Cape May
Sindia Shipwreck Site Block 1601, Lot 18, 16th and 17th Streets (beach)	Block 1601, Lot 18, 16th and 17th Streets (beach)	Ocean City	Cape May
28-CM-19 On beach, directly seaward of 19th Street	On beach, directly seaward of 19th Street	Ocean City	Cape May
Resource at NJ Parcel 0508_70.53_11	422 WAVERLY BLVD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.53_12	507 SEACLIFF RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.47_2	501 WAVERLY BLVD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.38_18.01	20 GARDENS RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.38_19	14 GARDENS RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.38_20	10 GARDENS RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.38_22	4 GARDENS RD	Ocean City	Cape May
Resource at NJ Parcel 0508_100_7	110 BOARDWALK	Ocean City	Cape May
Resource at NJ Parcel 0508_4_12	828 NORTH ST	Ocean City	Cape May
Resource at NJ Parcel 0508_2300_4_C1	2313-15 WESLEY AVE	Ocean City	Cape May
Resource at NJ Parcel 0508_70.37_8	66 GARDENS RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.37_9	54 GARDENS RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.37_7	100 BEACH RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.37_10	46 GARDENS RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.38_14	44 GARDENS RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.38_15	38 GARDENS RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.38_16	30 GARDENS RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.38_17	28 GARDENS RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.38_23	829 NORTH ST	Ocean City	Cape May
Resource at NJ Parcel 0508_1902_15	1900 WESLEY AVE	Ocean City	Cape May
Resource at NJ Parcel 0508_2300_7	2321 WESLEY AVE	Ocean City	Cape May
Resource at NJ Parcel 0508_2301_16	2312A&B WESLEY AVE	Ocean City	Cape May
Resource at NJ Parcel 0508_2200_2	2205 WESLEY AVE	Ocean City	Cape May
Resource at NJ Parcel 0508_70.40_10	22 BEACH RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.40_8	34 BEACH RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.40_6	29 GARDENS RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.30_5	331 E SURF RD	Ocean City	Cape May
Resource at NJ Parcel 0508_2000_10	601 21ST ST	Ocean City	Cape May
Resource at NJ Parcel 0508_2901_19	2908-10 WESLEY AVE	Ocean City	Cape May
Resource at NJ Parcel 0508_70.34_26	26 MORNINGSIDE RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.34_31	16 MORNINGSIDE RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.34_27	24 MORNINGSIDE RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.34_29	20 MORNINGSIDE RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.42_4.01	233 BEACH RD	Ocean City	Cape May

Attachment A:
All Properties in the WTA PAPE

Property Name	Address	Municipality	County
Resource at NJ Parcel 0508_70.42_5	237 BEACH RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.34_13	123 E ATLANTIC BLVD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.33_31	166 E ATLANTIC BLVD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.28_33	200 E ATLANTIC BLVD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.33_32	164 E ATLANTIC BLVD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.28_29	218 E ATLANTIC BLVD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.29_25	357 E SURF RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.29_24	365 E SURF RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.26_30	334 E SURF RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.26_29	340 E SURF RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.26_28	344 E SURF RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.26_27	350 E SURF RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.26_26	356 E SURF RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.26_25	360 E SURF RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.40_15	2 BEACH RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.40_14	4 BEACH RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.41_3.01	19 BEACH RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.39_7	16 NASSAU RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.39_2_C1	3A GARDENS RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.39_2_C2	3B GARDENS RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.39_5	15 GARDENS RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.39_4	11 GARDENS RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.39_3	7 GARDENS RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.39_1	1 GARDENS RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.38_21	8 GARDENS RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.37_5	79 MORNINGSIDE RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.37_4	71 MORNINGSIDE RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.37_3	65 MORNINGSIDE RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.37_2	61 MORNINGSIDE RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.38_13	53 MORNINGSIDE RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.38_11	45 MORNINGSIDE RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.38_9	33 MORNINGSIDE RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.38_3	9 MORNINGSIDE RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.38_4	15 MORNINGSIDE RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.38_8	29 MORNINGSIDE RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.38_5	19 MORNINGSIDE RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.38_6	23 MORNINGSIDE RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.38_7	25 MORNINGSIDE RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.34_38	2 MORNINGSIDE RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.35_11	58 MORNINGSIDE RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.35_12	56 MORNINGSIDE RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.34_19	42 MORNINGSIDE RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.34_20	40 MORNINGSIDE RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.34_21	36 MORNINGSIDE RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.34_34	10 MORNINGSIDE RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.34_22_C1	34 MORNINGSIDE RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.34_23	32 MORNINGSIDE RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.28_16	401 E SURF RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.26_24	364 E SURF RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.26_23	368 E SURF RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.26_22	372 E SURF RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.26_21	376 E SURF RD	Ocean City	Cape May
Resource at NJ Parcel 0508_2700_2	2705 WESLEY AVE	Ocean City	Cape May
Resource at NJ Parcel 0508_3001_9	3000 WESLEY AVE	Ocean City	Cape May
Resource at NJ Parcel 0508_901_21	974 BOARDWALK	Ocean City	Cape May
Resource at NJ Parcel 0508_5802_10	5815 ASBURY AVE	Ocean City	Cape May
Resource at NJ Parcel 0508_4702.02_5	4712 CENTRAL AVE	Ocean City	Cape May
Resource at NJ Parcel 0508_5802_25_C3	5848 CENTRAL AVE	Ocean City	Cape May
Resource at NJ Parcel 0508_3701_13.01_C2	3704-06 WESLEY AVE	Ocean City	Cape May
Resource at NJ Parcel 0508_5802_24_C5842	5840-42 CENTRAL AVE	Ocean City	Cape May
Resource at NJ Parcel 0508_5902_5_C1	5912-14 CENTRAL AVE	Ocean City	Cape May
Resource at NJ Parcel 0508_3601_14_C2	3620-22 WESLEY AVE	Ocean City	Cape May
Resource at NJ Parcel 0508_5201_7	5231 CENTRAL AVE	Ocean City	Cape May
Resource at NJ Parcel 0508_5101_10	5101-03 CENTRAL AVE	Ocean City	Cape May
Resource at NJ Parcel 0508_70.41_7.01	113 BEACH RD	Ocean City	Cape May
Resource at NJ Parcel 0508_70.28_9.01	239 OCEAN RD	Ocean City	Cape May
Ocean City-Longport Bridge (SI&A #3100001)	Ocean Drive over Great Egg Harbor	Ocean City,Egg Harbor Township	Atlantic, Cape May
World War [One] Memorial Bridge (SI&A# 0511153)	NJ Route 52 over Ship Channel	Ocean City,Somers Point City	Atlantic, Cape May

Attachment A:
All Properties in the WTA PAPE

Property Name	Address	Municipality	County
Possible Shipwreck A36 Atlantic Ocean, south of Cape May City	Atlantic Ocean, south of Cape May City	Off Cape May City	Cape May
213 Verona Avenue	213 Verona Avenue	Pleasantville City	Atlantic
House, 319 Leeds Avenue	319 W Leeds Avenue	Pleasantville City	Atlantic
26 East Verona	30 E Black Horse Pike	Pleasantville City	Atlantic
222 Seventh Avenue	222 E California Avenue	Pleasantville City	Atlantic
802 Doughty	806 Doughty Road	Pleasantville City	Atlantic
27 East Verona	27 E Black Horse Pike	Pleasantville City	Atlantic
40 Washington Street	40 E Washington Avenue	Pleasantville City	Atlantic
103 East Jersey Avenue	103 S Chetser Avenue	Pleasantville City	Atlantic
Presbyterian Church At the northwest corner of Washington and Madison Streets	24 E Washington Avenue	Pleasantville City	Atlantic
Brick Renaissance Revival Church	102-110 Linden Avenue	Pleasantville City	Atlantic
Pleasantville Baptist Church	101 N First Street	Pleasantville City	Atlantic
Martins General Store at 521 Doughty	503 Doughty Road	Pleasantville City	Atlantic
At the corner of Washington and Doughty	821-23 W Washington Avenue	Pleasantville City	Atlantic
2 South Main Street. The Boardwalk National Bank Building	2 South Main Street	Pleasantville City	Atlantic
23 East Verona	23 E Black Horse Pike	Pleasantville City	Atlantic
The Pleasantville Senior High School	350 S Franklin Blvd.	Pleasantville City	Atlantic
11 Edgewater	11 W Edgewater Avenue	Pleasantville City	Atlantic
517 Linden Street	517 Linden Street	Pleasantville City	Atlantic
A large octagonal tower	36 E Black Horse Pike	Pleasantville City	Atlantic
9 East Verona	9 E Black Horse Pike	Pleasantville City	Atlantic
321 Franklin Street	321 Franklin Blvd.	Pleasantville City	Atlantic
The St. Peters Church	25 W Black Horse Pike	Pleasantville City	Atlantic
16 Adams Street	14-16 Adams Street	Pleasantville City	Atlantic
21 East Veron	21 E Black Horse Pike	Pleasantville City	Atlantic
The Washington Avenue School	225 W Washington Avenue	Pleasantville City	Atlantic
33 Walnut Avenue	33 Walnut Avenue	Pleasantville City	Atlantic
ATLANTIC CITY CEMETERY	500 -501, 600 W BLACK HORSE PIKE	Pleasantville City	Atlantic
PETER LUMBER CO	300 E WASHINGTON AVE	Pleasantville City	Atlantic
O.J. Hammell Monument Co.	500 W BLACK HORSE PIKE	Pleasantville City	Atlantic
Gulf Service Station	758 Old New York Road	Port Republic City	Atlantic
21 49th Street	21 49th Street	Sea Isle City	Cape May
17 34th Street	3305 Pleasure Avenue South	Sea Isle City	Cape May
26 38th Street	3800 Pleasure Avenue	Sea Isle City	Cape May
20 46th Street	20 46th Street	Sea Isle City	Cape May
20 38th Street	3800 Pleasure Avenue	Sea Isle City	Cape May
22 54th Street	22 54th Street	Sea Isle City	Cape May
22 57th Street	20 57th Street	Sea Isle City	Cape May
11 48th Street	11 48th Street	Sea Isle City	Cape May
Shelbourne Cottage	4800 Pleasure Avenue North	Sea Isle City	Cape May
28 46th Street	26 46th Street	Sea Isle City	Cape May
13 47th Street	13 47th Street	Sea Isle City	Cape May
9 51st Street	11 51st Street	Sea Isle City	Cape May
9 46th Street	9 46th Street	Sea Isle City	Cape May
18 50th Street	18 50th Street	Sea Isle City	Cape May
11 49th Street	9 49th Street	Sea Isle City	Cape May
10 49th Street	10 49th Street	Sea Isle City	Cape May
Braca Cafe	18 JFK Boulevard	Sea Isle City	Cape May
12 44th Street	12 44th Street	Sea Isle City	Cape May
11 51st Street	11 51st Street	Sea Isle City	Cape May
25 36th Street	25 36th Street	Sea Isle City	Cape May
24 45th Street	4400 Pleasure Avenue North	Sea Isle City	Cape May
Sea Isle City Beach Patrol Station	10 44th Street	Sea Isle City	Cape May
21 46th Street	21 46th Street	Sea Isle City	Cape May
1876 Centennial Building	14-18 43rd Street	Sea Isle City	Cape May
20 53rd Street	20 53rd Street	Sea Isle City	Cape May
14 48th Street	14 48th Street	Sea Isle City	Cape May
14 52nd Street	14 52nd Street	Sea Isle City	Cape May
Gordon's Sea View	13 53rd Street	Sea Isle City	Cape May
14 53rd Street	14 53rd Street	Sea Isle City	Cape May
20 51st Street	20 51st Street	Sea Isle City	Cape May
4700 Pleasure Avenue	4700 Pleasure Avenue	Sea Isle City	Cape May
4110 Landis Avenue	4110 Landis Avenue	Sea Isle City	Cape May
21 36th Street	21 36th Street	Sea Isle City	Cape May
18 45th Street	18 45th Street	Sea Isle City	Cape May
18 46th Street	18 46th Street	Sea Isle City	Cape May

Attachment A:
All Properties in the WTA PAPE

Property Name	Address	Municipality	County
18-20 42nd Street	18 42nd Street	Sea Isle City	Cape May
11 50th Street	11 50th Street	Sea Isle City	Cape May
12 50th Street	12 50th Street	Sea Isle City	Cape May
20 49th Street	20 49th Street	Sea Isle City	Cape May
24 53rd Street	24 53rd Street	Sea Isle City	Cape May
10 48th Street	10 48th Street	Sea Isle City	Cape May
4606 Pleasure Avenue	4606 Pleasure Avenue	Sea Isle City	Cape May
Sea Isle City Beach Patrol Marine Place between 44th and 45th Streets	Marine Place between 44th and 45th Streets	Sea Isle City	Cape May
Townsend Inlet Bridge Ocean Highway over Townsend Inlet	Ocean Highway over Townsend Inlet	Sea Isle City	Cape May
Lighthouse	105 35th Street	Sea Isle City	Cape May
3-story shingled Modern residence	4 84TH ST	Sea Isle City	Cape May
Resource at NJ Parcel 0509_74.01_671.02	7401 PLEASURE AVE	Sea Isle City	Cape May
Resource at NJ Parcel 0509_74.01_670	7407 PLEASURE AVE	Sea Isle City	Cape May
Resource at NJ Parcel 0509_72.01_2.02	7201 PLEASURE AVE	Sea Isle City	Cape May
Resource at NJ Parcel 0509_50.02_11	20 50TH ST	Sea Isle City	Cape May
Resource at NJ Parcel 0509_39.01_5.02_C-208	3901 PLEASURE AVE	Sea Isle City	Cape May
Resource at NJ Parcel 0509_52.01_14_C-3	12 52ND ST 1ST FLR REAR	Sea Isle City	Cape May
Resource at NJ Parcel 0509_52.01_14_C-2	12 52ND ST 2ND-3RD REAR	Sea Isle City	Cape May
Indian Site along the shoreline, between Seaside Heights and Ortley Beach	along the shoreline, between Seaside Heights and Ortley Beach	Seaside Heights	Ocean
Carousel Northwest corner of Boardwalk and Grant Avenue	Northwest corner of Boardwalk and Grant Avenue	Seaside Heights	Ocean
Seaside Heights Boardwalk Buildings Between Dupont and Grant Avenues	Between Dupont and Grant Avenues	Seaside Heights	Ocean
Belle Freeman Carousel 22 The Boardwalk and Dupont Avenue	22 The Boardwalk and Dupont Avenue	Seaside Heights	Ocean
Two-story buildings with arcade games at ground level and mini golf upper level	819 BOARDWALK CENTER	Seaside Heights	Ocean
Altered one-story concrete block commercial building	1103 OCEAN TERRACE	Seaside Heights	Ocean
Beach Paradise	1005-07 OCEAN TERRACE	Seaside Heights	Ocean
Midway Steakhouse - ca. 1970 one-story commercial building	511 BOARDWALK	Seaside Heights	Ocean
Altered one-story concrete block commercial building	1107 OCEAN TERRACE	Seaside Heights	Ocean
TLC's Polish Water Ice	201 OCEAN TERRACE	Seaside Heights	Ocean
EJ's Tap House - heavily altered one-story commercial building	919 OCEAN TERRACE	Seaside Heights	Ocean
Two-story concrete block with rear apartments	211 OCEAN TERRACE	Seaside Heights	Ocean
Steaks Unlimited	16 DUPONT AVE	Seaside Heights	Ocean
Regent and Co - ca. 1950 one-story conc blk commercial building	401-07 OCEAN TERRACE	Seaside Heights	Ocean
Illions Carousel	Boardwalk at Dupont Avenue	Seaside Heights Borough	Ocean
114 Central Avenue (NJ Rt. 35)	114 Central Avenue (NJ Rt. 35)	Seaside Park Borough	Ocean
107A West Central Avenue (NJ Rt. 35)	107A West Central Avenue (NJ Rt. 35)	Seaside Park Borough	Ocean
U.S. Life Saving Station No. 13	1701 North Ocean Avenue	Seaside Park Borough	Ocean
Altered 2 1/2 story Dutch Colonial Revival	1015 South Ocean Avenue	Seaside Park Borough	Ocean
3-story altered Craftsman	905-907 South Ocean Avenue	Seaside Park Borough	Ocean
101 South Ocean Avenue, southwest corner of Ocean and 1st Avenue	101 South Ocean Avenue, southwest corner of Ocean and 1st Avenue	Seaside Park Borough	Ocean
Seaside Park Lifeguard House Northwest corner of North Ocean Avenue and Decatur Avenue	Northwest corner of North Ocean Avenue and Decatur Avenue	Seaside Park Borough	Ocean
No streetview	2609 OCEAN AVE	Ship Bottom Borough	Ocean
No streetview	305 OCEAN AVE	Ship Bottom Borough	Ocean
Heavily altered ca. 1940 Craftsman	135 E 27TH ST	Ship Bottom Borough	Ocean
Ca. 1981 Modern dwelling with wood shingle	2601 OCEAN AVE	Ship Bottom Borough	Ocean
Heavily altered ca. 1970 Front Gable	130 E 7TH ST	Ship Bottom Borough	Ocean
Altered two-story side gable with double porches	126 E 7TH ST	Ship Bottom Borough	Ocean
Ca. 1965 two-story Front Gable dwelling	131 E 19TH ST	Ship Bottom Borough	Ocean
No streetview	1817 OCEAN AVE	Ship Bottom Borough	Ocean
Heavily altered ca. 1954 two-story dwelling with hipped roofs	2113 OCEAN AVE	Ship Bottom Borough	Ocean
No streetview - ca. 1974 dwelling	1307 OCEAN AVE	Ship Bottom Borough	Ocean
Altered ca. 1975 Shed style dwelling	148 E 24TH ST	Ship Bottom Borough	Ocean
Angler's Club	901 Shore Road	Somers Point City	Atlantic
Somers Mansion	1000 Shore Road	Somers Point City	Atlantic
20 E New York Avenue	20 E New York Avenue	Somers Point City	Atlantic

Attachment A:
All Properties in the WTA PAPE

Property Name	Address	Municipality	County
New York Avenue School	121 W New York Avenue	Somers Point City	Atlantic
24 E New York Avenue	24 E New York Avenue	Somers Point City	Atlantic
Women's Civic Club of Stone Harbor	12 96TH ST	Stone Harbor Borough	Cape May
2-story modern residence	100 114TH ST	Stone Harbor Borough	Cape May
2-story vernacular residence	2 108TH ST	Stone Harbor Borough	Cape May
2-story vernacular residence	2 88TH ST	Stone Harbor Borough	Cape May
2-story, flat roof, modern residence	2 102ND ST	Stone Harbor Borough	Cape May
Resource at NJ Parcel 0510_98.01_10.02	5 98TH ST	Stone Harbor Borough	Cape May
Resource at NJ Parcel 0510_108.01_14.02	10802 FIRST AVE	Stone Harbor Borough	Cape May
Resource at NJ Parcel 0510_89.01_13.01	2 90TH ST	Stone Harbor Borough	Cape May
2-story modern residence	1 92ND ST	Stone Harbor Borough	Cape May
2-story modern residence	1 91st Street	Stone Harbor Borough	Cape May
Ca. 1955 altered Cape Cod style dwelling	601 N OCEAN AVE	Surf City	Ocean
Ca 1960 altered Folk Victorian style dwelling	1901 N OCEAN AVE	Surf City	Ocean
Ca. 1957 1 1/2 story Craftsman style dwelling with wood shingle and garage	1303 N OCEAN AVE	Surf City	Ocean
St. Elizabeth's Chapel (demolished)	3rd Avenue	Toms River Township	Ocean
Tuckerton Armory	383 East Main Street [Route 9]	Tuckerton Borough	Ocean
319 East Main Street (Route 9)	319 East Main Street (Route 9)	Tuckerton Borough	Ocean
Bethany Off the coast of Two Mile Beach	Off the coast of Two Mile Beach	Two Mile Beach	
Stillwell Inn/Henry Clay House	912 Shore Road (Route 9)	Upper Township	Cape May
Corson's Inlet Bridge (SI&A # 3100002)	Ocean Drive,Bay Avenue (County Rte. 619) over Strathmere Bay	Upper Township	Cape May
Resource at NJ Parcel 0511_857_8.02	30 E SEACLIFF AVE	Upper Township	Cape May
Resource at NJ Parcel 0511_845_14	42 E WHITTIER AVE	Upper Township	Cape May
Resource at NJ Parcel 0511_862_1	1 E SEAVIEW AVE	Upper Township	Cape May
Resource at NJ Parcel 0511_834_6	22 E SUMNER AVE	Upper Township	Cape May
Resource at NJ Parcel 0511_834_7	26 E SUMNER AVE	Upper Township	Cape May
Resource at NJ Parcel 0511_809_3	1301 S COMMONWEALTH AVE	Upper Township	Cape May
Resource at NJ Parcel 0511_838_15.02	35 E TECUMSEH AVE	Upper Township	Cape May
Pier foundations Along tidal zone of beach, Martindale Avenue, at south end of Ventnor Boardwalk	Along tidal zone of beach, Martindale Avenue, at south end of Ventnor Boardwalk	Ventnor City	
111 Victoria Avenue(111 Victoria Avenue	Ventnor City	Atlantic
106 Victoria Avenue(different number)	108 Victoria Avenue	Ventnor City	Atlantic
5301 Atlantic Avenue 5301 Atlantic Avenue	5301 Atlantic Avenue	Ventnor City	Atlantic
Resource at NJ Parcel 0122_59_1	5601 ATLANTIC AVE	Ventnor City	Atlantic
Resource at NJ Parcel 0122_9_1	5200 BOARDWALK	Ventnor City	Atlantic
Resource at NJ Parcel 0122_8_10	110 S AMHERST AVE	Ventnor City	Atlantic
Resource at NJ Parcel 0122_19_11	6003 BOARDWALK	Ventnor City	Atlantic
Resource at NJ Parcel 0122_4_10	108 S MARION AVE	Ventnor City	Atlantic
Resource at NJ Parcel 0122_37_8	110 S PHILADELPHIA AVE	Ventnor City	Atlantic
Resource at NJ Parcel 0122_25_11	110 S PRINCETON AVE	Ventnor City	Atlantic
Resource at NJ Parcel 0122_2_1	115 S BATON ROUGE AVE	Ventnor City	Atlantic
Resource at NJ Parcel 0122_16_1	111 S DUDLEY AVE	Ventnor City	Atlantic
Resource at NJ Parcel 0122_3_9	106 S BATON ROUGE AVE	Ventnor City	Atlantic
Resource at NJ Parcel 0122_500_1	RICHARDS & FREDERICKSBURG	Ventnor City	Atlantic
Resource at NJ Parcel 0122_2_10	114 S VASSAR SQUARE	Ventnor City	Atlantic
Resource at NJ Parcel 0122_3_10	108 S BATON ROUGE AVE	Ventnor City	Atlantic
Resource at NJ Parcel 0122_2_11	116 S VASSAR SQUARE	Ventnor City	Atlantic
Resource at NJ Parcel 0122_4_9	106 S MARION AVE	Ventnor City	Atlantic
Resource at NJ Parcel 0122_4_11	110 S MARION AVE	Ventnor City	Atlantic
Resource at NJ Parcel 0122_7_2	109 S AMHERST AVE	Ventnor City	Atlantic
Resource at NJ Parcel 0122_11_9	108 S LITTLE ROCK AVE	Ventnor City	Atlantic
Resource at NJ Parcel 0122_58_4	5515 ATLANTIC AVE	Ventnor City	Atlantic
Resource at NJ Parcel 0122_12_1	111 S SURREY AVE	Ventnor City	Atlantic
Resource at NJ Parcel 0122_16_7	106 S OXFORD AVE	Ventnor City	Atlantic
Resource at NJ Parcel 0122_19_1	111 S CORNWALL AVE	Ventnor City	Atlantic
Resource at NJ Parcel 0122_23_13	110 S HARVARD AVE	Ventnor City	Atlantic
Resource at NJ Parcel 0122_23_15	114 S HARVARD AVE	Ventnor City	Atlantic
Resource at NJ Parcel 0122_34_9	104 S WISSAHICKON AVE	Ventnor City	Atlantic
Resource at NJ Parcel 0122_34_12	110 S WISSAHICKON AVE	Ventnor City	Atlantic
Resource at NJ Parcel 0122_44_10	108 S MARTINDALE AVE	Ventnor City	Atlantic
Resource at NJ Parcel 0122_1_1	4800 BOARDWALK	Ventnor City	Atlantic
Ventnor City Fishing Pier Along tidal zone of beach, Cambridge Avenue	Along tidal zone of beach, Cambridge Avenue	Ventnor City	Atlantic
Timber heads from abandoned pier Along tidal zone of beach, Dudley Street	Along tidal zone of beach, Dudley Street	Ventnor City	
Residence	Box 73, East River Road	Washington Township	Burlington

Attachment A:
All Properties in the WTA PAPE

Property Name	Address	Municipality	County
Lower Bank Road Bridge (SI&A #03G8045)	Lower Bank Road (County Route 542) over Mullica River	Washington Township,Egg Harbor City	Atlantic, Burlington
Silver Lake Off coast of Wildwood	Off coast of Wildwood	Wildwood	
Jersey Belle 2 miles off the beach at Wildwood	2 miles off the beach at Wildwood	Wildwood	
Resource at NJ Parcel 0514_188_1.01	3401 BOARDWALK	Wildwood	Cape May
Nancy Historic - Turtle Gut Inlet; Present Day - southend of Wildwood Crest	Historic - Turtle Gut Inlet; Present Day - southend of Wildwood Crest	Wildwood Crest	Cape May
Wildwood Crest Beach On the beach	On the beach	Wildwood Crest	Cape May
Resource at NJ Parcel 0515_117.02_23_C0501	427 E MIAMI AVE	Wildwood Crest	Cape May
Resource at NJ Parcel 0515_117.02_23_C0505	427 E MIAMI AVE	Wildwood Crest	Cape May
Resource at NJ Parcel 0515_117.02_23_C0506	427 E MIAMI AVE	Wildwood Crest	Cape May
Resource at NJ Parcel 0515_117.02_23_C0507	427 E MIAMI AVE	Wildwood Crest	Cape May
Resource at NJ Parcel 0515_117.02_23_C0508	427 E MIAMI AVE	Wildwood Crest	Cape May
Resource at NJ Parcel 0515_117.02_23_C0408	427 E MIAMI AVE	Wildwood Crest	Cape May
Resource at NJ Parcel 0515_117.02_23_C0510	427 E MIAMI AVE	Wildwood Crest	Cape May
Resource at NJ Parcel 0515_170_1_C0218	9101 ATLANTIC AVE	Wildwood Crest	Cape May
Resource at NJ Parcel 0515_170_1_C0216	9101 ATLANTIC AVE	Wildwood Crest	Cape May
Resource at NJ Parcel 0515_170_1_C0103	9101 ATLANTIC AVE	Wildwood Crest	Cape May
Resource at NJ Parcel 0515_170_1_C0101	9101 ATLANTIC AVE	Wildwood Crest	Cape May
Resource at NJ Parcel 0515_170_1_C0217	9101 ATLANTIC AVE	Wildwood Crest	Cape May
Resource at NJ Parcel 0515_170_1_C0318	9101 ATLANTIC AVE	Wildwood Crest	Cape May
Resource at NJ Parcel 0515_169_2_C9001	9000A BEACH AVE	Wildwood Crest	Cape May
Granada Resort Motel	8801 ATLANTIC AVE	Wildwood Crest	Cape May
Resource at NJ Parcel 0515_117.02_23_C0511	427 E MIAMI AVE	Wildwood Crest	Cape May
Resource at NJ Parcel 0515_117.02_23_C0409	427 E MIAMI AVE	Wildwood Crest	Cape May
Commander-By-The-Sea Motel	8803 ATLANTIC AVE	Wildwood Crest	Cape May
Waters Edge Ocean Resort	5600 BEACH AVE	Wildwood Crest	Cape May
Admiral Motel (current name - Ocean View)	7201 Ocean Avenue	Wildwood Crest	Cape May
Wildwood Boardwalk	3320 BEACH	Wildwood Crest Borough,North Wildwood City,Wildwood City	Cape May
Atlantic City Electric Utility Corridor, 132kv Line	Spans Salem, Cumberland, Gloucester, and Atlantic Counties		Atlantic, Cumberland, Gloucester
Dwelling at 2416 N U.S.RT 9	2416 N U.S.RT 9		Cape May
Tuckahoe Inn	1 Harbor Road		Cape May
Isaac and Keziah (Abbot) Smith House	152 Lee's Lane		Atlantic
AT&T Receiver Building and Antenna Field at Manahawkin	Beach Avenue [Block 296, Lots 63, 108]		Ocean
Elijah and Barzilla Somers Smith House	Lee's Lane [8503/4]		Atlantic
Great Egg Harbor River Crossing Transmission Towers	Great Egg Harbor River		Atlantic, Cape May
George A. Redding Bridge (SI&A # 0506150)	NJ Route 47 over Grassy Sound		Cape May
B.L. England Generating Station 900 Route 9	900 RT US 9 NO		Cape May
Marine'r Cove Marina	125 MARGATE BLVD.		Atlantic
6862 Harding Highway	6862 Harding Highway		Atlantic
Benny's Landing	BENNYS LANDING RD		Cape May
38 S TRENTON AVE	38 S TRENTON AVE		Atlantic
Lower Bank Road Bridge [modern]	Lower Bank Road Bridge over the Mullica River		Atlantic, Burlington
U.S. Route 30 Bridge (SI&A # 0103-152)	U.S. Route 30 (Absecon Boulevard) over Beach Thorofare		Atlantic
758 PHILADELPHIA AVE	758 PHILADELPHIA AVE		Atlantic
Moss Mill-Motts Farm 69 kV Transmission Line	N/A		Atlantic, Burlington, Ocean
745 PHILADELPHIA AVE	745 PHILADELPHIA AVE		Atlantic
Conovertown Historic District			Atlantic
Oceanville / Leeds Point / Moss Mill Historic District			Atlantic
Bay Front Historic District			Atlantic
John Stafford Historic District			Atlantic
Linwood Historic District			Atlantic
Beach Haven Historic District			Ocean
Greater Beach Haven Historic District			Ocean
Bed and Breakfast Overlay Zone			Ocean
Green Bank Historic District			Burlington
Wildwoods Shore Resort Historic District			Cape May
North and South Tuckahoe Historic District			Atlantic, Cape May
Marshallville Historic District			Cape May
South Tuckahoe Historic District			Atlantic, Cape May
Bass River State Forest Historic District			Burlington, Ocean
Midway Camps Historic District			Ocean

Attachment A:
All Properties in the WTA PAPE

Property Name	Address	Municipality	County
Mantoloking Historic District			Ocean
Tuckerton Historic District			Ocean
Beach Haven Historic District (Boundary Increase and Additional Documentation)			Ocean
Saint Leonard's Tract Historic District			Atlantic
Camden and Atlantic Railroad Historic District			Atlantic, Camden
Ocean Beach Historic District (Units 1, 2, and 3)			Ocean
Shore Road Historic District			Atlantic
Atlantic City Railroad Cape May Division Historic District			Atlantic, Camden, Cape May
South Shore Road Historic District			Atlantic
North Shore Road Historic District			Atlantic
South Maine Avenue Streetscape			Atlantic
West Jersey and Atlantic Railroad Historic District			Atlantic
Atlantic City Beautiful Historic District			Atlantic
Grassy Sound Historic District			Cape May
Shore Road North Historic District			Atlantic
Shore Road Historic District			Atlantic
Bay Front Historic District [Survey Boundaries]			Atlantic
Shore Road South Historic District			Atlantic
Tuckerton Historic District [locally-designated boundaries]			Ocean
Woodmansee Estate			Ocean
Atlantic City Municipal Airport			Atlantic
Municipal Airport Historic District			Atlantic
Atlantic City Boardwalk Historic District			Atlantic
Egg Harbor City Historic District			Atlantic
Crab Island			Ocean
Morris Beach Historic District			Atlantic
Bay Front Historic District Extension (745-820 Shore Road)			Atlantic
U.S. Route 40 Motel Historic District			Atlantic
Garden State Parkway Historic District			Atlantic, Burlington, Cape May, Ocean
The Shoe Stop/ Sundaes Ice Cream	1317 Boardwalk		Atlantic

ATTACHMENT B

All Properties Surveyed – WTA PAPE

Attachment B:
All Properties Surveyed – WTA PAPE

Property ID	Property Name	Address	Municipality	County	NRHP Status
1	Dr. Jonathan Pitney House	57 North Shore Road	Absecon City	Atlantic	NRHP-Listed
2	South Shore Road Historic District	S. Shore Road roughly bounded by Nevada Avenue, and Statton Avenue	Absecon City	Atlantic	NRHP-Eligible (NJHPO-Determined)
3	North Shore Road Historic District	N. Shore Road roughly bounded by Creek Road to the south and the town line to the north	Absecon City	Atlantic	NRHP-Eligible (NJHPO-Determined)
4	U.S. Route 30 Bridge (SI&A # 0103-152)	U.S. Route 30 (Absecon Boulevard) over Beach Thorofare	Atlantic City	Atlantic	NRHP-Eligible (NJHPO-Determined)
5	Two-and-a-half-story Residence at 4700 Atlantic Avenue	4700 Atlantic Avenue	Atlantic City	Atlantic	NRHP-Eligible (EDR-Recommended)
6	Two-and-a-half-story Residence at 104 S. Montgomery Avenue	104 S. Montgomery Avenue	Atlantic City	Atlantic	NRHP-Eligible (EDR-Recommended)
7	Residence at 125 S Montgomery Avenue	125 S Montgomery Avenue	Atlantic City	Atlantic	NRHP-Eligible (EDR-Recommended)
8	Two-story Residence at 108 S. Raleigh Avenue	108 S. Raleigh Avenue	Atlantic City	Atlantic	NRHP-Eligible (EDR-Recommended)
9	Two-and-a-half-story Residence at 116 S. Ridgeway Avenue	116 S. Ridgeway Avenue	Atlantic City	Atlantic	NRHP-Eligible (EDR-Recommended)
10	The Knife and Fork Inn	3600 Atlantic Avenue	Atlantic City	Atlantic	NRHP-Eligible (NJHPO-Determined)
11	Ritz Carlton Hotel	2715 Boardwalk	Atlantic City	Atlantic	NRHP-Eligible (NJHPO-Determined)
12	USCG Station Atlantic City	900 Beach Thorofare	Atlantic City	Atlantic	NRHP-Eligible (NJHPO-Determined)
13	Atlantic City Convention Hall	Boardwalk between Pacific, Mississippi, and Florida Avenues	Atlantic City	Atlantic	National Historic Landmark
14	Administration Building for the Board of Education	1809 Pacific Avenue	Atlantic City	Atlantic	NRHP-Eligible (NJHPO-Determined)
15	Warner Theatre (façade)	Atlantic City Boardwalk between Michigan and Arkansas Avenues	Atlantic City	Atlantic	NRHP-Eligible (NJHPO-Determined)
16	Carnegie Library (Atlantic City Public Library)	35 South Dr. Martin Luther King Jr. Boulevard	Atlantic City	Atlantic	NRHP-Eligible (EDR-Recommended)
17	Atlantic City Beautiful Historic District	N. Connecticut Avenue roughly bounded by N. Massachusetts, N. New Jersey, Barret, and Adriatic Avenues	Atlantic City	Atlantic	NRHP-Eligible (NJHPO-Determined)
18	Brighton Park	1801 Boardwalk	Atlantic City	Atlantic	NRHP-Eligible as a contributing element to the Atlantic City Boardwalk Historic District (EDR-Recommended)
19	The Inn of the Irish Pub	164 St. James Place	Atlantic City	Atlantic	NRHP-Eligible (EDR-Recommended)
20	Commercial Building at 1425 Boardwalk	1425 Boardwalk	Atlantic City	Atlantic	NRHP-Eligible (EDR-Recommended)
21	Two-and-a-half-story Residence at 124 Atlantic Avenue	124 Atlantic Avenue	Atlantic City	Atlantic	NRHP-Eligible (EDR-Recommended)
22	Colonial Revival Residence at 120 Atlantic Avenue	120 Atlantic Avenue	Atlantic City	Atlantic	NRHP-Eligible (EDR-Recommended)

Attachment B:
All Properties Surveyed – WTA PAPE

Property ID	Property Name	Address	Municipality	County	NRHP Status
23	Absecon Lighthouse	Pacific and Rhode Island Avenues	Atlantic City	Atlantic	NRHP-Listed
24	Atlantic City Boardwalk Historic District	Boardwalk roughly bounded by S. Georgia Avenue to the southwest and Garden Pier to the northeast	Atlantic City	Atlantic	NRHP-Eligible (NJHPO-Determined)
114	Missouri Avenue Beach (Chicken Bone Beach)	N/A	Atlantic City	Atlantic	NRHP-Eligible (EDR-Recommended)
115	Riviera Apartments	116 S. Raleigh Avenue	Atlantic City	Atlantic	NRHP-Eligible (NJHPO-Determined)
118	Clairidge Hotel	120 South Indiana Avenue	Atlantic City	Atlantic	NRHP-Eligible (NJHPO-Determined)
119	Central Pier	1400 Boardwalk	Atlantic City	Atlantic	NRHP-Eligible (NJHPO-Determined)
25	Camden and Atlantic Railroad Historic District	Within the former railroad grade that traveled from Camden in Camden County to Atlantic City in Atlantic County.	Atlantic City, Winslow Township, Waterford Township, Chesilhurst Borough, Absecon City, Pleasantville City, Egg Harbor Township, Egg Harbor City, Hammonton Town, Mullica Township, and Galloway Township	Atlantic, Camden	NRHP-Eligible (NJHPO-Determined)
26	Townsend Inlet Bridge (SI&A # 3100003)	Ocean Highway over Townsend Inlet	Avalon Borough, Middle Township, and Sea Isle City	Cape May	NRHP-Eligible (NJHPO-Determined)
27	Barnegat Lighthouse	Northern end of Long Beach Island	Barnegat Light Borough	Ocean	NRHP-Listed
28	Bass River State Forest Historic District	Stage Road	Bass River Township	Burlington, Ocean	NRHP-Eligible (NJHPO-Determined)
29	Beach Haven Historic District	Roughly bounded on the north by 3rd Street, on the east by South Atlantic Avenue, on the south by Pearl Street, on the west by properties to the west of South Beach Avenue.	Beach Haven Borough	Ocean	NRHP-Listed
30	Beach Haven Historic District (Boundary Increase and Additional Documentation)	Roughly bounded by Atlantic, Bay, Fifth, and Chatsworth Avenues	Beach Haven Borough	Ocean	NRHP-Listed
31	Greater Beach Haven Historic District	Roughly the west side of Atlantic Avenue to Chatsworth Avenue to the south, Bay Avenue to the west and the north side of Fifth Street.	Beach Haven Borough	Ocean	Local Historic District
32	Residence at 101 Dolphin Avenue	101 Dolphin Avenue	Beach Haven Borough	Ocean	NRHP-Eligible (EDR-Recommended)
33	Garden State Parkway Historic District	Garden State Parkway	Bergen, Passaic, Essex, Union, Middlesex, Monmouth, Ocean, Atlantic and Cape May	Atlantic, Burlington, Cape May, Ocean	NRHP-Eligible (NJHPO-Determined)
34	AT&T Transmitter Building and Antenna Field	83 Bayview Avenue (Ocean County Route 617)	Berkeley Township	Ocean	NRHP-Eligible (NJHPO-Determined)
35	Midway Camps Historic District	Bounded on the north by 14th Avenue, on the east by Ocean Avenue, on the south by 20th Avenue, and on the west by Central Avenue	Berkeley Township	Ocean	NRHP-Eligible (NJHPO-Determined)
36	Island Beach State Park Historic District	Central Avenue	Berkeley Township	Ocean	NRHP-Eligible (EDR-Recommended)

Attachment B:
All Properties Surveyed – WTA PAPE

Property ID	Property Name	Address	Municipality	County	NRHP Status
37	The Judge's Shack	Central Avenue	Berkeley Township	Ocean	NRHP-Eligible (NJHPO-Determined)
112	U.S. Life Saving Station No. 14	Central Avenue	Berkeley Township	Ocean	NRHP-Listed
38	Brigantine Lighthouse	Brigantine Boulevard (County Route 638)	Brigantine City	Atlantic	NRHP-Eligible (NJHPO-Determined)
39	Residence at 2201 Bayshore Avenue	2201 Bayshore Avenue	Brigantine City	Atlantic	NRHP-Eligible (EDR-Recommended)
40	Residence at 2707 West Brigantine Avenue	2707 West Brigantine Avenue	Brigantine City	Atlantic	NRHP-Eligible (EDR-Recommended)
41	Chateausque House at 2807 Ocean Avenue	2807 Ocean Avenue	Brigantine City	Atlantic	NRHP-Eligible (EDR-Recommended)
42	Residence at 200 18th Street South	200 18th Street South	Brigantine City	Atlantic	NRHP-Eligible (EDR-Recommended)
43	Central School / Brigantine Library	201 15th Street S	Brigantine City	Atlantic	NRHP-Eligible (EDR-Recommended)
44	Brigantine Hotel	1400 Ocean Avenue	Brigantine City	Atlantic	NRHP-Eligible (EDR-Recommended)
45	St. Thomas Catholic Church	331 8th Street South	Brigantine City	Atlantic	NRHP-Eligible (EDR-Recommended)
46	North and South Tuckahoe Historic District	Main Street and NJ 50 from 303 NJ 50 to 2057 NJ 50	Corbin City and Upper Township	Atlantic, Cape May	NRHP-Eligible (NJHPO-Determined)
47	Isaac and Keziah (Abbot) Smith House	152 Lee's Lane	Egg Harbor Township	Atlantic	NRHP-Eligible (EDR-Recommended)
48	Studebaker Showroom	7006 Black Horse Pike	Egg Harbor Township	Atlantic	NRHP-Eligible (NJHPO-Determined)
49	L.N. Renault and Sons Winery	72 North Breman Avenue	Galloway Township	Atlantic	NRHP-Listed
50	Germania Gunning Club	722 West Moss Mill Road	Galloway Township	Atlantic	NRHP-Eligible (EDR-Recommended)
51	Conovertown Historic District	North Shore Road roughly bounded by Old Shore Road to the north and the town line to the south	Galloway Township	Atlantic	NRHP-Eligible (NJHPO-Determined)
52	Seaview Golf Club (historic), Clarence Geist Pavilion	401 South New York Road	Galloway Township	Atlantic	NRHP-Eligible (EDR-Recommended)
53	Oceanville / Leeds Point / Moss Mill Historic District	S. Leeds Point Road roughly bounded by E. Moss Road to the north and E. Somerstown Lane to the south.	Galloway Township	Atlantic	NRHP-Eligible (NJHPO-Determined)
54	Abbott's Modern Cabins	217 NJ Route 40	Hamilton Township	Atlantic	NRHP-Listed
55	West Jersey and Atlantic Railroad Historic District	N/A	Hamilton Township and Egg Harbor Township	Atlantic	NRHP-Eligible (NJHPO-Determined)
56	Woodmansee Estate	1 Game Farm Road	Lacey Township	Ocean	NRHP-Eligible (NJHPO-Determined)
57	Ocean Beach Historic District (Units 1, 2, and 3)	The district comprises three separate dense residential areas in Lavallette Borough, each bisected by State Route 35 North and containing orderly east-west streets. Each district is bounded on the east by the beaches at Dover Beaches North (in the northern most district), Chadwick Beach (in the central district), and Island Beach (in the southern-most district).	Lavallette Borough	Ocean	NRHP-Eligible (NJHPO-Determined)
58	Stevens House	1 Brown Avenue	Lavallette Borough	Ocean	NRHP-Eligible (EDR-Recommended)

Attachment B:
All Properties Surveyed – WTA PAPE

Property ID	Property Name	Address	Municipality	County	NRHP Status
59	Linwood Historic District	Roughly Shore Road from Royal Avenue to Sterling Avenue	Linwood	Atlantic	NRHP-Listed
60	Little Egg Harbor US Life Saving Station #23	800 Great Bay Boulevard	Little Egg Harbor Township	Ocean	NRHP-Eligible (NJHPO-Determined)
61	Cape May Lighthouse	Cape May Point	Lower Township	Cape May	NRHP-Listed
62	Mantoloking Historic District	Bounded on the north by the municipal line with Bay Head Borough, the municipal boundary with Brick Township to the south, the beaches at Mantoloking to the east, and Barnegat Bay to the west	Mantoloking Borough	Ocean	NRHP-Eligible (NJHPO-Determined)
63	Lucy, the Margate Elephant	Decatur and Atlantic Avenues	Margate City	Atlantic	National Historic Landmark
64	Two-Story Residence at 114 South Osborne Avenue	114 South Osborne Avenue	Margate City	Atlantic	NRHP-Eligible (Ocean Wind I-Determined)
65	Two-Story Residence at 108 South Gladstone Avenue	108 South Gladstone Avenue	Margate City	Atlantic	NRHP-Eligible (NJHPO-Determined)
66	Margate Fishing Pier	121 S. Exeter Avenue	Margate City	Atlantic	NRHP-Eligible (EDR-Recommended)
67	Grassy Sound Historic District	Houses along the East and West Bank of Grassy Sound north of Route 147	Middle Township	Cape May	NRHP-Eligible (NJHPO-Determined)
68	Sahara Motel	510 East 18th Avenue	North Wildwood City	Cape May	NRHP-Eligible (EDR-Recommended)
69	American Inn (Lou Booth Motel)	510 East 13th Avenue	North Wildwood City	Cape May	NRHP-Eligible (NJHPO-Determined)
70	Aloha Motel	210 John F Kennedy Boulevard	North Wildwood City	Cape May	NRHP-Eligible (EDR-Recommended)
71	Hereford Lighthouse	111 North Central Avenue	North Wildwood City	Cape May	NRHP-Listed
72	North Wildwood Life Saving Station	113 North Central Avenue	North Wildwood City	Cape May	NRHP-Eligible (NJHPO-Determined)
125	Athens II Motor Inn	201 Ocean Avenue	North Wildwood City	Cape May	NRHP-Eligible (EDR-Recommended)
73	Shore Road Historic District	Shore Road roughly bounded by E. Oakcrest Avenue to the south and the town line to the north	Northfield	Atlantic	NRHP-Eligible (NJHPO-Determined)
74	Folk Victorian Residence at 5231-5229 Central Avenue	5231-5229 Central Avenue	Ocean City	Cape May	NRHP-Eligible (EDR-Recommended)
75	St. Augustine Rectory	1310 Ocean Avenue	Ocean City	Cape May	NRHP-Eligible (EDR-Recommended)
76	Music Pier	825 Boardwalk	Ocean City	Cape May	NRHP-Eligible (NJHPO-Determined)
77	Gillian's Wonderland Pier	600 Boardwalk	Ocean City	Cape May	NRHP-Eligible (NJHPO-Determined)
113	Ocean City Boardwalk	N/A	Ocean City	Cape May	NRHP-Eligible (NJHPO-Determined)
78	Residence at 319 W. Leeds Avenue	319 W Leeds Avenue	Pleasantville City	Atlantic	NRHP-Eligible (EDR-Recommended)
79	Wesley Methodist Episcopal Church (historic)	102-110 Linden Avenue	Pleasantville City	Atlantic	NRHP-Eligible (EDR-Recommended)
80	Chestnut Neck Boat Yard	758 Old New York Road	Port Republic City	Atlantic	NRHP-Eligible (NJHPO-Determined)

Attachment B:
All Properties Surveyed – WTA PAPE

Property ID	Property Name	Address	Municipality	County	NRHP Status
81	Residence at 22 54th Street	22 54th Street	Sea Isle City	Cape May	NRHP-Eligible (NJHPO-Determined)
82	Residence at 24 53rd Street	24 53rd Street	Sea Isle City	Cape May	NRHP-Eligible (NJHPO-Determined)
83	Folk Victorian Residence at 12 50th Street	12 50th Street	Sea Isle City	Cape May	NRHP-Eligible (NJHPO-Determined)
84	Second Empire Residence at 26 46th Street	26 46th Street	Sea Isle City	Cape May	NRHP-Eligible (NJHPO-Determined)
85	Residence at 20 46th Street	20 46th Street	Sea Isle City	Cape May	NRHP-Eligible (NJHPO-Determined)
86	Folk Victorian Residence at 13 47th Street	13 47th Street	Sea Isle City	Cape May	NRHP-Eligible (NJHPO-Determined)
87	Braca Cafe	18 JFK Boulevard	Sea Isle City	Cape May	NRHP-Eligible (NJHPO-Determined)
88	U.S. Life Saving Station No. 13	1701 North Ocean Avenue	Seaside Park Borough	Ocean	NRHP-Eligible (NJHPO-Determined)
89	Somers Mansion	1000 Shore Road	Somers Point	Atlantic	NRHP-Listed
90	New York Avenue School	121 W New York Avenue	Somers Point	Atlantic	NRHP-Eligible (EDR-Recommended)
91	Bay Front Historic District Extension	745-900 Shore Road	Somers Point	Atlantic	NRHP-Eligible (NJHPO-Determined)
92	Shore Road Historic District	Shore Road roughly bounded by Goll Avenue, Pleasant Avenue, and Center Street	Somers Point	Atlantic	NRHP-Eligible (EDR-Recommended)
93	Bay Front Historic District	Roughly bounded by Decatur Ave., Egg Harbor Bay, George Ave., and Shore Rd	Somers Point	Atlantic	NRHP-Listed
94	Tuckerton Historic District (Local)	The district comprises select blocks on the north and south sides of U.S. Route 9 between Locust Street in the eastern extent and Taylor Street in the western extent.	Tuckerton Borough	Ocean	Local Historic District
95	Tuckerton Historic District	U.S. Route 9 and County Route 539, roughly between Parkers Landing and Pohatcong Lake.	Tuckerton Borough	Ocean	NRHP-Eligible (NJHPO-Determined)
96	Marshallville Historic District	Roughly between 286 and 375 Marshallville Road	Upper Township	Cape May	NRHP-Listed
97	South Tuckahoe Historic District	Roughly NJ 557 and NJ 50 from the Tuckahoe River to Kendall Lane	Upper Township	Atlantic, Cape May	NRHP-Listed
98	Corson's Inlet Bridge (SI&A # 3100002)	Ocean Drive, Bay Avenue (County Rte. 619) over Strathmere Bay	Upper Township	Cape May	NRHP-Eligible (NJHPO-Determined)
99	Residence at 25 North Bayview Drive	25 North Bayview Drive	Upper Township	Cape May	NRHP-Eligible (EDR-Recommended)
100	Two Residences at 1 Cove Road		Upper Township	Cape May	NRHP-Eligible (EDR-Recommended)
101	Residence at 114 South Harvard Avenue	114 South Harvard Avenue	Ventnor City	Atlantic	NRHP-Eligible (NJHPO-Determined)
102	Ventnor City Fishing Pier	Cambridge Avenue at the Ventnor City Boardwalk	Ventnor City	Atlantic	NRHP-Eligible (EDR-Recommended)
103	Saint Leonard's Tract Historic District	Ventnor and Atlantic Avenues roughly bounded by the shoreline, S. Surrey Avenue, N. Cambridge Avenue and the Intercoastal Waterway	Ventnor City	Atlantic	NRHP-Eligible (NJHPO-Determined)

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Property ID	Property Name	Address	Municipality	County	NRHP Status
104	John Stafford Historic District	100 blocks of Vassar Square, Baton Rouge, Marion and Austin Avenues	Ventnor City	Atlantic	NRHP-Listed
105	Vassar Square Condominiums	4800 Boardwalk	Ventnor City	Atlantic	NRHP-Eligible (BOEM-Determined)
106	Green Bank Historic District	East and west of the intersection of County Routes 542 and 561.	Washington Township	Burlington	NRHP-Eligible (NJHPO-Determined)
107	George A. Redding Bridge (SI&A # 0506150)	NJ Route 47 over Grassy Sound	Wildwood City	Cape May	NRHP-Eligible (NJHPO-Determined)
108	Wildwoods Shore Resort Historic District	Roughly Atlantic Avenue and Ocean Avenue between East Andrews and East Pittsburgh Avenues	Wildwood City	Cape May	NRHP-Eligible (NJHPO-Determined)
109	Wildwood Amusement Piers	3401 Boardwalk	Wildwood City	Cape May	NRHP-Eligible (EDR-Recommended)
117	Trylon Motel	1200 JFK Drive	Wildwood City	Cape May	NRHP-Eligible (NJHPO-Determined)
121	Le Sabre Condominiums	510 East 8th Avenue	Wildwood City	Cape May	NRHP-Eligible (NJHPO-Determined)
122	European Motel	300 Ocean Avenue	Wildwood City	Cape May	NRHP-Eligible (NJHPO-Determined)
123	Beach Hugger Motel (ex Al Sann)	210 Ocean Avenue	Wildwood City	Cape May	NRHP-Eligible (NJHPO-Determined)
126	Acacia Beachfront Resort	9101 Atlantic Avenue	Wildwood Crest Borough	Cape May	NRHP-Eligible (EDR-Recommended)
110	Wildwood Boardwalk and Piers Historic District	Between East 16th Avenue and East Cresse Avenue	Wildwood Crest Borough, North Wildwood City, and Wildwood City		NRHP-Eligible (EDR-Recommended)
111	Atlantic City Railroad Cape May Division Historic District	N/A	Winslow Township, Folsom, Richland, Dorothy, Estell Manor, Corbin City, Woodbine, Dennis Township, Ocean City, and Cape May	Atlantic, Camden, Cape May	NRHP-Eligible (NJHPO-Determined)
2698	143 -149 S. St. James Place	149 St. James Place	Atlantic City	Atlantic	Not NRHP-Eligible
2944	112 S Texas Avenue	112 S Texas Avenue	Atlantic City	Atlantic	Not NRHP-Eligible
2950	139 S Texas Avenue	139 S Texas Avenue	Atlantic City	Atlantic	Not NRHP-Eligible
3011	242 S Vermont Avenue	242 S Vermont Avenue	Atlantic City	Atlantic	Not NRHP-Eligible
3081	137 S Texas Avenue	137 S Texas Avenue	Atlantic City	Atlantic	Not NRHP-Eligible
3087	116 S Texas Avenue	116 S Texas Avenue	Atlantic City	Atlantic	Not NRHP-Eligible
3140	135 S Texas Avenue	135 S Texas Avenue	Atlantic City	Atlantic	Not NRHP-Eligible
3256	143 S Texas Avenue	143 S Texas Avenue	Atlantic City	Atlantic	Not NRHP-Eligible
3275	145 S Texas Avenue	145 S Texas Avenue	Atlantic City	Atlantic	Not NRHP-Eligible
3292	204 S Vermont Avenue	204 S Vermont Avenue	Atlantic City	Atlantic	Not NRHP-Eligible
3320	109 S California Avenue	109 S California Avenue	Atlantic City	Atlantic	Not NRHP-Eligible
3334	114 S Texas Avenue	114 S Texas Avenue	Atlantic City	Atlantic	Not NRHP-Eligible
3422	217 S Metropolitan Avenue	217 S Metropolitan Avenue	Atlantic City	Atlantic	Not NRHP-Eligible
3431	108 Albion Pl.	108 Albion Pl.	Atlantic City	Atlantic	Not NRHP-Eligible
3440	141 S Texas Avenue	141 S Texas Avenue	Atlantic City	Atlantic	Not NRHP-Eligible
3600	162 St. James Pl.	162 St. James Pl.	Atlantic City	Atlantic	Not NRHP-Eligible
3730	147 S Texas Avenue	147 S Texas Avenue	Atlantic City	Atlantic	Not NRHP-Eligible
3765	142 S Tennessee Avenue	142 S Tennessee Avenue	Atlantic City	Atlantic	Not NRHP-Eligible
3788	223 Oriental Avenue	223 Oriental Avenue	Atlantic City	Atlantic	Not NRHP-Eligible

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Property ID	Property Name	Address	Municipality	County	NRHP Status
3811	227 S Metropolitan Avenue	227 S Metropolitan Avenue	Atlantic City	Atlantic	Not NRHP-Eligible
3834	205 S Vermont Avenue	205 S Vermont Avenue	Atlantic City	Atlantic	Not NRHP-Eligible
160981	Resource at NJ Parcel 0102_27_6	3211 BOARDWALK	Atlantic City	Atlantic	Not NRHP-Eligible
160983	Resource at NJ Parcel 0102_36_58	2514 PACIFIC AVE	Atlantic City	Atlantic	Not NRHP-Eligible
162210	Resource at NJ Parcel 0102_204_10	4301 ATLANTIC AVE	Atlantic City	Atlantic	Not NRHP-Eligible
51172	2-story flat roof residence	3955 FIRST AVENUE	AVALON BORO	Cape May	Not NRHP-Eligible
51647	Resource at NJ Parcel 0501_8.02_6	26 W 8TH STREET	AVALON BORO	Cape May	Not NRHP-Eligible
52187	2.5-story Queen Anne residence	56 W 7TH STREET	AVALON BORO	Cape May	Not NRHP-Eligible
52363	2-story Modern residence	61 N INLET DRIVE	AVALON BORO	Cape May	Not NRHP-Eligible
52438	Resource at NJ Parcel 0501_5.04_59	273 6TH STREET	AVALON BORO	Cape May	Not NRHP-Eligible
52677	1-story Modern residence	688 FIRST AVENUE	AVALON BORO	Cape May	Not NRHP-Eligible
76047	Ca. 1981 Modern/Shed style dwelling	2013 SEAVIEW AVE	Beach Haven Borough	Ocean	Not NRHP-Eligible
76953	Blurred out in streetview	107 CHATSWORTH AVE	Beach Haven Borough	Ocean	Not NRHP-Eligible
77106	Altered Folk Victorian	101 CENTRE STREET	Beach Haven Borough	Ocean	Not NRHP-Eligible
77166	Altered stucco-covered Colonial Revival dwelling	1000 S ATLANTIC AVE	Beach Haven Borough	Ocean	Not NRHP-Eligible
77632	Altered 2 1/2 story Colonial Revival dwelling	910 S ATLANTIC AVE	Beach Haven Borough	Ocean	Not NRHP-Eligible
77666	Only partially visible on streetview - Ranch dwelling	133 PELHAM AVE	Beach Haven Borough	Ocean	Not NRHP-Eligible
486	222 3rd Street South	222 3rd Street South	Brigantine City	Atlantic	Not NRHP-Eligible
487	Leeds House	226 3rd Street South	Brigantine City	Atlantic	Not NRHP-Eligible
488	223 10th Street North	223 10th Street North	Brigantine City	Atlantic	Not NRHP-Eligible
166044	Resource at NJ Parcel 0103_806_21	250 9TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
166153	Resource at NJ Parcel 0103_601_9	205 2ND STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
166154	Resource at NJ Parcel 0103_601_15	206 VERNON PLACE	Brigantine City	Atlantic	Not NRHP-Eligible
166468	Resource at NJ Parcel 0103_704_10	223 6TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
166470	Resource at NJ Parcel 0103_704_22	230 5TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
166533	Resource at NJ Parcel 0103_601_7	209 2ND STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
166535	Resource at NJ Parcel 0103_505_17	215 VERNON PLACE	Brigantine City	Atlantic	Not NRHP-Eligible
166536	Resource at NJ Parcel 0103_601_17	210 VERNON PLACE	Brigantine City	Atlantic	Not NRHP-Eligible
166540	Resource at NJ Parcel 0103_602_16	202 2ND STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
166548	Resource at NJ Parcel 0103_803_20	352 8TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
166628	Resource at NJ Parcel 0103_704_23	234 5TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
166630	Resource at NJ Parcel 0103_706_18	218 6TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
166633	Resource at NJ Parcel 0103_704_8	231 6TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible

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Property ID	Property Name	Address	Municipality	County	NRHP Status
166801	Resource at NJ Parcel 0103_601_6	211 2ND STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
166803	Resource at NJ Parcel 0103_602_12	206 W BEACH AVE	Brigantine City	Atlantic	Not NRHP-Eligible
166806	Resource at NJ Parcel 0103_602_17	204 2ND STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
167098	Resource at NJ Parcel 0103_706_25	250 6TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
167104	Resource at NJ Parcel 0103_802_20	236 7TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
167111	Resource at NJ Parcel 0103_802_21	240 7TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
167134	Resource at NJ Parcel 0103_802_23	250 7TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
167145	Resource at NJ Parcel 0103_804_19	242 8TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
167249	Resource at NJ Parcel 0103_505_2	206 ROOSEVELT BLVD SO	Brigantine City	Atlantic	Not NRHP-Eligible
167252	Resource at NJ Parcel 0103_806_20	246 9TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
167371	Resource at NJ Parcel 0103_102_11	1219 E BRIGANTINE AVE	Brigantine City	Atlantic	Not NRHP-Eligible
167467	Resource at NJ Parcel 0103_704_27	254 5TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
167468	Resource at NJ Parcel 0103_706_22	234 6TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
167470	Resource at NJ Parcel 0103_704_4	247 6TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
167475	Resource at NJ Parcel 0103_706_23	238 6TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
167741	Resource at NJ Parcel 0103_602_15	200 2ND STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
167745	Resource at NJ Parcel 0103_505_15	211 VERNON PLACE	Brigantine City	Atlantic	Not NRHP-Eligible
167748	Resource at NJ Parcel 0103_601_8	207 2ND STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
167751	Resource at NJ Parcel 0103_601_16	208 VERNON PLACE	Brigantine City	Atlantic	Not NRHP-Eligible
167753	Resource at NJ Parcel 0103_505_16	213 VERNON PLACE	Brigantine City	Atlantic	Not NRHP-Eligible
167756	Resource at NJ Parcel 0103_602_11	201 3RD STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
167757	Resource at NJ Parcel 0103_505_19	219 VERNON PLACE	Brigantine City	Atlantic	Not NRHP-Eligible
167760	Resource at NJ Parcel 0103_601_5	213 2ND STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
167761	Resource at NJ Parcel 0103_602_18	206 2ND STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
167762	Resource at NJ Parcel 0103_601_19	214 VERNON PLACE	Brigantine City	Atlantic	Not NRHP-Eligible
167764	Resource at NJ Parcel 0103_603_13	200 3RD STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
167912	Resource at NJ Parcel 0103_503_20	210 2ND STREET NO	Brigantine City	Atlantic	Not NRHP-Eligible
167923	Resource at NJ Parcel 0103_601_11	108 W BEACH AVE	Brigantine City	Atlantic	Not NRHP-Eligible
167925	Resource at NJ Parcel 0103_505_3	208 ROOSEVELT BLVD SO	Brigantine City	Atlantic	Not NRHP-Eligible
167928	Resource at NJ Parcel 0103_505_12	205 VERNON PLACE	Brigantine City	Atlantic	Not NRHP-Eligible
167931	Resource at NJ Parcel 0103_601_13	202 VERNON PLACE	Brigantine City	Atlantic	Not NRHP-Eligible
167936	Resource at NJ Parcel 0103_505_13	207 VERNON PLACE	Brigantine City	Atlantic	Not NRHP-Eligible

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Property ID	Property Name	Address	Municipality	County	NRHP Status
167937	Resource at NJ Parcel 0103_601_10	203 2ND STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
167939	Resource at NJ Parcel 0103_505_5	212 ROOSEVELT BLVD SO	Brigantine City	Atlantic	Not NRHP-Eligible
167943	Resource at NJ Parcel 0103_505_14	209 VERNON PLACE	Brigantine City	Atlantic	Not NRHP-Eligible
167946	Resource at NJ Parcel 0103_603_14	202 3RD STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
167947	Resource at NJ Parcel 0103_601_4	215 2ND STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
167948	Resource at NJ Parcel 0103_603_15	204 3RD STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
167949	Resource at NJ Parcel 0103_602_9	209 3RD STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
167956	Resource at NJ Parcel 0103_603_16	206 3RD STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
167961	Resource at NJ Parcel 0103_603_17	208 3RD STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
167963	Resource at NJ Parcel 0103_603_12	201 4TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
167965	Resource at NJ Parcel 0103_603_18	210 3RD STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
167966	Resource at NJ Parcel 0103_602_20	210 2ND STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
167969	Resource at NJ Parcel 0103_603_19	212 3RD STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
167970	Resource at NJ Parcel 0103_601_21	218 VERNON PLACE	Brigantine City	Atlantic	Not NRHP-Eligible
167972	Resource at NJ Parcel 0103_603_20	214 3RD STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
167979	Resource at NJ Parcel 0103_603_21	216 3RD STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
167981	Resource at NJ Parcel 0103_602_21	212 2ND STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
167983	Resource at NJ Parcel 0103_601_2	219 2ND STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
167985	Resource at NJ Parcel 0103_602_6	221 3RD STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
167990	Resource at NJ Parcel 0103_602_5	225 3RD STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
167996	Resource at NJ Parcel 0103_602_4	229 3RD STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
168009	Resource at NJ Parcel 0103_603_26	230 3RD STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
168014	Resource at NJ Parcel 0103_702_17	214 4TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
168017	Resource at NJ Parcel 0103_603_27	238 3RD STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
168022	Resource at NJ Parcel 0103_702_18	218 4TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
168026	Resource at NJ Parcel 0103_702_11	215 5TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
168035	Resource at NJ Parcel 0103_702_10	219 5TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
168041	Resource at NJ Parcel 0103_702_9	223 5TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
168047	Resource at NJ Parcel 0103_702_8	227 5TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
168051	Resource at NJ Parcel 0103_702_7	231 5TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
168054	Resource at NJ Parcel 0103_702_22	238 4TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
168056	Resource at NJ Parcel 0103_704_12	215 6TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible

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Property ID	Property Name	Address	Municipality	County	NRHP Status
168057	Resource at NJ Parcel 0103_702_6	235 5TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
168063	Resource at NJ Parcel 0103_704_21	226 5TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
168064	Resource at NJ Parcel 0103_702_4	243 5TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
168070	Resource at NJ Parcel 0103_704_9	227 6TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
168072	Resource at NJ Parcel 0103_704_24	238 5TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
168078	Resource at NJ Parcel 0103_706_19	222 6TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
168082	Resource at NJ Parcel 0103_706_20	226 6TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
168083	Resource at NJ Parcel 0103_704_6	239 6TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
168091	Resource at NJ Parcel 0103_704_26	248 5TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
168092	Resource at NJ Parcel 0103_706_21	230 6TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
168118	Resource at NJ Parcel 0103_704_5	243 6TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
168122	Resource at NJ Parcel 0103_704_2	255 6TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
168127	Resource at NJ Parcel 0103_802_19	230 7TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
168145	Resource at NJ Parcel 0103_804_20	246 8TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
168154	Resource at NJ Parcel 0103_804_21	250 8TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
168359	Resource at NJ Parcel 0103_1601_15	318 16TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
168401	Resource at NJ Parcel 0103_1406_4	1900 OCEAN AVE	Brigantine City	Atlantic	Not NRHP-Eligible
168579	Resource at NJ Parcel 0103_2101_20	2201 OCEAN AVE	Brigantine City	Atlantic	Not NRHP-Eligible
168584	Resource at NJ Parcel 0103_1801_8	406 20TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
168756	Resource at NJ Parcel 0103_2301_5	400 26TH STREET SO	Brigantine City	Atlantic	Not NRHP-Eligible
95782	Shed style dwelling with gray wood shingles and blue detail	15 E SUSSEX AVE	Harvey Cedars	Ocean	Not NRHP-Eligible
95786	Ca. 1980 dwelling - no streetview	7101 LONG BEACH BLVD	Harvey Cedars	Ocean	Not NRHP-Eligible
95826	Ca. 1975 dwelling - no streetview	12 E CUMBERLAND AVE	Harvey Cedars	Ocean	Not NRHP-Eligible
95851	Ca. 1970 International style dwelling	8-A E 69TH ST	Harvey Cedars	Ocean	Not NRHP-Eligible
95892	Ca. 1971 dwelling - no streetview	6311F LONG BEACH BLVD	Harvey Cedars	Ocean	Not NRHP-Eligible
95967	3 story dwelling with shed roofs - only partially visible on streetview	13 E 86TH ST	Harvey Cedars	Ocean	Not NRHP-Eligible
96002	Ca. 1982 dwelling - no streetview	5309D LONG BEACH BLVD	Harvey Cedars	Ocean	Not NRHP-Eligible
96053	Ca. 1968 altered dwelling - no streetview	7-B E 70TH ST	Harvey Cedars	Ocean	Not NRHP-Eligible
96082	No streetview - ca. 1982 Dwelling	12 E BERGEN AVE	Harvey Cedars	Ocean	Not NRHP-Eligible
96194	No streetview - appears to be Modern style dwelling	6403G LONG BEACH BLVD	Harvey Cedars	Ocean	Not NRHP-Eligible

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Property ID	Property Name	Address	Municipality	County	NRHP Status
96208	No streetview - potentially a ca. 1962 Modern dwelling	13 E MERCER AVE	Harvey Cedars	Ocean	Not NRHP-Eligible
96211	Ca. 1980 dwelling - no streetview	14 E 82ND ST	Harvey Cedars	Ocean	Not NRHP-Eligible
96249	Two-story with rectangular footprint and vertical board	14 E 77TH ST	Harvey Cedars	Ocean	Not NRHP-Eligible
129935	Cape Cod with Colonial Revival detail	2306 OCEAN FRONT	Lavallette Borough	Ocean	Not NRHP-Eligible
130058	No streetview	1102 OCEAN FRONT	Lavallette Borough	Ocean	Not NRHP-Eligible
130189	Two-story with wood shingle	602 OCEAN FRONT	Lavallette Borough	Ocean	Not NRHP-Eligible
131166	Two-story with wood shingles and cross gable roof	900 OCEAN FRONT	Lavallette Borough	Ocean	Not NRHP-Eligible
131323	No streetview	5615 WEST AVE	Long Beach	Ocean	Not NRHP-Eligible
131659	Ca. 1980 dwelling - no streetview	1129C LONG BEACH BLVD	Long Beach	Ocean	Not NRHP-Eligible
131708	Ca. 1960 Dwelling	1113A LONG BEACH BLVD	Long Beach	Ocean	Not NRHP-Eligible
131978	Altered Cape Cod dwelling with wood shingles	6312 OCEAN BLVD	Long Beach	Ocean	Not NRHP-Eligible
132202	Altered two-story dwelling with side gable roof and ground level garage	3707 S LONG BEACH BLVD	Long Beach	Ocean	Not NRHP-Eligible
132445	Altered two-story New Traditional dwelling	4909 S LONG BEACH BLVD	Long Beach	Ocean	Not NRHP-Eligible
132459	Potentially a Modern dwelling - no streetview	107F LONG BEACH BLVD	Long Beach	Ocean	Not NRHP-Eligible
132467	Ca. 1975 dwelling - no streetview	77D LONG BEACH BLVD	Long Beach	Ocean	Not NRHP-Eligible
132552	No streetview	171E LONG BEACH BLVD	Long Beach	Ocean	Not NRHP-Eligible
132791	Heavily altered two-story Colonial Revival	201 E SOUTH 31ST STREET	Long Beach	Ocean	Not NRHP-Eligible
132928	Altered two-story Front Gable with second level patio	12309 OCEAN AVE	Long Beach	Ocean	Not NRHP-Eligible
133433	Altered ca. 1948 raised Craftsman dwelling	3207 OCEAN BLVD	Long Beach	Ocean	Not NRHP-Eligible
133567	Ca. 1970 altered raised 2 story dwelling	1111B LONG BEACH BLVD	Long Beach	Ocean	Not NRHP-Eligible
133797	Altered two-story raised dwelling	6109 OCEAN BLVD	Long Beach	Ocean	Not NRHP-Eligible
133813	Heavily altered Colonial Revival dwelling	115 E NEW YORK AVE	Long Beach	Ocean	Not NRHP-Eligible
133936	Ca. 1964 Front Gable - no streetview	1075 LONG BEACH BLVD	Long Beach	Ocean	Not NRHP-Eligible
134221	Altered raised two-story dwelling	3905 OCEAN BLVD	Long Beach	Ocean	Not NRHP-Eligible
134425	One-story hipped roof dwelling	7605 OCEAN BLVD	Long Beach	Ocean	Not NRHP-Eligible
134434	Heavily altered two-story dwelling with ground level garage	4009 OCEAN BLVD	Long Beach	Ocean	Not NRHP-Eligible
134495	Heavily altered Craftsman dwelling	5812 OCEAN BLVD	Long Beach	Ocean	Not NRHP-Eligible
134549	Altered two-story raised hipped roof dwelling	6107 OCEAN BLVD	Long Beach	Ocean	Not NRHP-Eligible
134564	Modern dwelling with wood shingle, stucco, vinyl	7 E SEASHELL LANE	Long Beach	Ocean	Not NRHP-Eligible

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Property ID	Property Name	Address	Municipality	County	NRHP Status
134565	Ca. 1965 dwelling - no streetview	5 E SEASHELL LANE	Long Beach	Ocean	Not NRHP-Eligible
134597	Altered two-story side gable house	6503 OCEAN BLVD	Long Beach	Ocean	Not NRHP-Eligible
134619	Altered two-story side gable dwelling	109 E HOBART AVE	Long Beach	Ocean	Not NRHP-Eligible
134627	Potentially a Modern dwelling - no streetview	7 COAST AVE	Long Beach	Ocean	Not NRHP-Eligible
134667	Late Brutalist dwelling - potentially eligible	15C LONG BEACH BLVD	Long Beach	Ocean	Not NRHP-Eligible
134853	Ca. 1979 altered Shed style dwelling	1051C LONG BEACH BLVD	Long Beach	Ocean	Not NRHP-Eligible
134856	Side gable dwelling - no streetview	175G LONG BEACH BLVD	Long Beach	Ocean	Not NRHP-Eligible
134951	No streetview	75D LONG BEACH BLVD	Long Beach	Ocean	Not NRHP-Eligible
135344	Potentially Modern dwelling - no streetview	93B LONG BEACH BLVD	Long Beach	Ocean	Not NRHP-Eligible
135355	Ca. 1970 dwelling - no streetview	71E LONG BEACH BLVD	Long Beach	Ocean	Not NRHP-Eligible
171937	Resource at NJ Parcel 0115_21_12.01	112 SO 25TH AVE	Longport Borough	Atlantic	Not NRHP-Eligible
171982	Resource at NJ Parcel 0115_13_7	111 SO 17TH AVE	Longport Borough	Atlantic	Not NRHP-Eligible
171987	Resource at NJ Parcel 0115_103_1	105 SO 36TH AV	Longport Borough	Atlantic	Not NRHP-Eligible
172161	Resource at NJ Parcel 0115_24_3	107 SO 25TH AVE	Longport Borough	Atlantic	Not NRHP-Eligible
172170	Resource at NJ Parcel 0115_17_7	105 SO 21ST AVE	Longport Borough	Atlantic	Not NRHP-Eligible
172171	Resource at NJ Parcel 0115_17_12	110 SO 22ND AVE	Longport Borough	Atlantic	Not NRHP-Eligible
172198	Resource at NJ Parcel 0115_6_5.01	109 SO 13TH AVE	Longport Borough	Atlantic	Not NRHP-Eligible
172219	Resource at NJ Parcel 0115_2_6	115 SO 11TH AVE	Longport Borough	Atlantic	Not NRHP-Eligible
3511	111 21st Avenue	111 21st Avenue	Longport Borough	Atlantic	Not NRHP-Eligible
92776	Resource at NJ Parcel 1507_42.04_13	13 OCEAN FRONT TERR	Brick Twp	Ocean	Not NRHP-Eligible
92826	Resource at NJ Parcel 1507_3_19_1	546 OCEAN TERR.	Brick Twp	Ocean	Not NRHP-Eligible
93066	Resource at NJ Parcel 1507_42.04_11	11 OCEAN FRONT TERR.	Brick Twp	Ocean	Not NRHP-Eligible
93092	Resource at NJ Parcel 1507_32_17.01	498 SUNSET BLVD.	Brick Twp	Ocean	Not NRHP-Eligible
93136	Resource at NJ Parcel 1507_37_8	394 Ocean Boulevard	Brick Twp	Ocean	Not NRHP-Eligible
93175	Resource at NJ Parcel 1507_39_6	101 FABER LANE	Brick Twp	Ocean	Not NRHP-Eligible
93300	Resource at NJ Parcel 1507_50.02_1	252 SUNSET LANE SO.	Brick Twp	Ocean	Not NRHP-Eligible
93368	Resource at NJ Parcel 1507_36_10.08	104 LYNDBURST DR.	Brick Twp	Ocean	Not NRHP-Eligible
93438	Resource at NJ Parcel 1507_62_14	166 SUNSET LANE NO.	Brick Twp	Ocean	Not NRHP-Eligible
93553	Resource at NJ Parcel 1507_32_12.01	492 SUNSET BLVD.(13)	Brick Twp	Ocean	Not NRHP-Eligible
93579	Resource at NJ Parcel 1507_42.06_14	14 FALLS RD.	Brick Twp	Ocean	Not NRHP-Eligible
93592	Resource at NJ Parcel 1507_32_21	502 SUNSET BLVD	Brick Twp	Ocean	Not NRHP-Eligible
93687	Resource at NJ Parcel 1507_42.06_11	11 FALLS RD.	Brick Twp	Ocean	Not NRHP-Eligible
93758	Resource at NJ Parcel 1507_42.06_12	12 FALLS RD.	Brick Twp	Ocean	Not NRHP-Eligible

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Property ID	Property Name	Address	Municipality	County	NRHP Status
93939	Resource at NJ Parcel 1507_62_3	142 SUNSET LANE NO.	Brick Twp	Ocean	Not NRHP-Eligible
94152	Resource at NJ Parcel 1507_50.02_4	256 SUNSET LANE SO.	Brick Twp	Ocean	Not NRHP-Eligible
94940	Resource at NJ Parcel 1507_62_5	146 SUNSET LANE NO.	Brick Twp	Ocean	Not NRHP-Eligible
35023	Resource at NJ Parcel 0507_30_4	135 SEAVIEW CT	North Wildwood City	Cape May	Not NRHP-Eligible
35232	Resource at NJ Parcel 0507_222_1	101 E WALNUT AVE	North Wildwood City	Cape May	Not NRHP-Eligible
35262	Resource at NJ Parcel 0507_6.01_5	8 N NEW YORK AVE	North Wildwood City	Cape May	Not NRHP-Eligible
35404	Resource at NJ Parcel 0507_221_11	204 N CENTRAL AVE	North Wildwood City	Cape May	Not NRHP-Eligible
35433	Resource at NJ Parcel 0507_6.03_12	202 HEREFORD AVE	North Wildwood City	Cape May	Not NRHP-Eligible
4993	912 Stenton Place	912 Stenton Place	Ocean City	Cape May	Not NRHP-Eligible
5026	826 North Street	826 North Street	Ocean City	Cape May	Not NRHP-Eligible
5212	Harris House Motor Inn	1200-30 Boardwalk	Ocean City	Cape May	Not NRHP-Eligible
5384	880 Park Place	880-82 Park Place	Ocean City	Cape May	Not NRHP-Eligible
5411	Franconia Apartments	1132 Ocean Avenue	Ocean City	Cape May	Not NRHP-Eligible
5676	830 North Street	830 North Street	Ocean City	Cape May	Not NRHP-Eligible
5726	Andrew's	1320-24 Ocean Avenue	Ocean City	Cape May	Not NRHP-Eligible
5753	850 Stenton Place	850 Stenton Place	Ocean City	Cape May	Not NRHP-Eligible
5767	848 Stenton Place	848 Stenton Place	Ocean City	Cape May	Not NRHP-Eligible
5908	The Gardens Plaza	322 Boardwalk	Ocean City	Cape May	Not NRHP-Eligible
6026	1304-08 Ocean Avenue	1308 Ocean Avenue	Ocean City	Cape May	Not NRHP-Eligible
6080	908 Park Place	908 Park Place	Ocean City	Cape May	Not NRHP-Eligible
6149	852 Stenton Place	852 Stenton Place	Ocean City	Cape May	Not NRHP-Eligible
6244	Days Inn	870 Seventh Street	Ocean City	Cape May	Not NRHP-Eligible
6294	16th Street at Boardwalk	1600 Boardwalk	Ocean City	Cape May	Not NRHP-Eligible
6403	872 North Street	872 North Street	Ocean City	Cape May	Not NRHP-Eligible
6446	1122 Ocean Avenue	1122 Ocean Avenue	Ocean City	Cape May	Not NRHP-Eligible
6662	921 Fifth to Boardwalk	925 Fifth Street	Ocean City	Cape May	Not NRHP-Eligible
6744	608 Chelsea Place	608 Chelsea Place	Ocean City	Cape May	Not NRHP-Eligible
6755	904 North Street	904 North Street	Ocean City	Cape May	Not NRHP-Eligible
6801	900-24 Pennlyn Place	900 Pennlyn Place	Ocean City	Cape May	Not NRHP-Eligible
7140	906 North Street	906 North Street	Ocean City	Cape May	Not NRHP-Eligible
7399	330 Corinthian Avenue	330 Corinthian Avenue	Ocean City	Cape May	Not NRHP-Eligible
8125	Seaview Beach	1619 WESLEY AVE	Ocean City	Cape May	Not NRHP-Eligible
65382	Resource at NJ Parcel 0508_70.53_12	507 SEACLIFF RD	Ocean City	Cape May	Not NRHP-Eligible
65553	Resource at NJ Parcel 0508_70.38_18.01	20 GARDENS RD	Ocean City	Cape May	Not NRHP-Eligible
65554	Resource at NJ Parcel 0508_70.38_19	14 GARDENS RD	Ocean City	Cape May	Not NRHP-Eligible
65555	Resource at NJ Parcel 0508_70.38_20	10 GARDENS RD	Ocean City	Cape May	Not NRHP-Eligible
65556	Resource at NJ Parcel 0508_70.38_22	4 GARDENS RD	Ocean City	Cape May	Not NRHP-Eligible
65908	Resource at NJ Parcel 0508_4_12	828 NORTH ST	Ocean City	Cape May	Not NRHP-Eligible
66030	Resource at NJ Parcel 0508_2300_4_C1	2313-15 WESLEY AVE	Ocean City	Cape May	Not NRHP-Eligible
66034	Resource at NJ Parcel 0508_70.37_8	66 GARDENS RD	Ocean City	Cape May	Not NRHP-Eligible
66035	Resource at NJ Parcel 0508_70.37_9	54 GARDENS RD	Ocean City	Cape May	Not NRHP-Eligible
66037	Resource at NJ Parcel 0508_70.37_10	46 GARDENS RD	Ocean City	Cape May	Not NRHP-Eligible
66038	Resource at NJ Parcel 0508_70.38_14	44 GARDENS RD	Ocean City	Cape May	Not NRHP-Eligible

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Property ID	Property Name	Address	Municipality	County	NRHP Status
66039	Resource at NJ Parcel 0508_70.38_15	38 GARDENS RD	Ocean City	Cape May	Not NRHP-Eligible
66040	Resource at NJ Parcel 0508_70.38_16	30 GARDENS RD	Ocean City	Cape May	Not NRHP-Eligible
66041	Resource at NJ Parcel 0508_70.38_17	28 GARDENS RD	Ocean City	Cape May	Not NRHP-Eligible
66042	Resource at NJ Parcel 0508_70.38_23	829 NORTH ST	Ocean City	Cape May	Not NRHP-Eligible
66058	Resource at NJ Parcel 0508_1902_15	1900 WESLEY AVE	Ocean City	Cape May	Not NRHP-Eligible
66262	Resource at NJ Parcel 0508_2300_7	2321 WESLEY AVE	Ocean City	Cape May	Not NRHP-Eligible
66287	Resource at NJ Parcel 0508_2301_16	2312A&B WESLEY AVE	Ocean City	Cape May	Not NRHP-Eligible
66770	Resource at NJ Parcel 0508_70.40_10	22 BEACH RD	Ocean City	Cape May	Not NRHP-Eligible
66778	Resource at NJ Parcel 0508_70.40_6	29 GARDENS RD	Ocean City	Cape May	Not NRHP-Eligible
66848	Resource at NJ Parcel 0508_2901_19	2908-10 WESLEY AVE	Ocean City	Cape May	Not NRHP-Eligible
66869	Resource at NJ Parcel 0508_70.34_26	26 MORNINGSIDE RD	Ocean City	Cape May	Not NRHP-Eligible
66870	Resource at NJ Parcel 0508_70.34_31	16 MORNINGSIDE RD	Ocean City	Cape May	Not NRHP-Eligible
66871	Resource at NJ Parcel 0508_70.34_27	24 MORNINGSIDE RD	Ocean City	Cape May	Not NRHP-Eligible
66872	Resource at NJ Parcel 0508_70.34_29	20 MORNINGSIDE RD	Ocean City	Cape May	Not NRHP-Eligible
66873	Resource at NJ Parcel 0508_70.42_4.01	233 BEACH RD	Ocean City	Cape May	Not NRHP-Eligible
66875	Resource at NJ Parcel 0508_70.42_5	237 BEACH RD	Ocean City	Cape May	Not NRHP-Eligible
66885	Resource at NJ Parcel 0508_70.34_13	123 E ATLANTIC BLVD	Ocean City	Cape May	Not NRHP-Eligible
66891	Resource at NJ Parcel 0508_70.28_33	200 E ATLANTIC BLVD	Ocean City	Cape May	Not NRHP-Eligible
66894	Resource at NJ Parcel 0508_70.33_32	164 E ATLANTIC BLVD	Ocean City	Cape May	Not NRHP-Eligible
66905	Resource at NJ Parcel 0508_70.29_24	365 E SURF RD	Ocean City	Cape May	Not NRHP-Eligible
66911	Resource at NJ Parcel 0508_70.26_30	334 E SURF RD	Ocean City	Cape May	Not NRHP-Eligible
66914	Resource at NJ Parcel 0508_70.26_29	340 E SURF RD	Ocean City	Cape May	Not NRHP-Eligible
66916	Resource at NJ Parcel 0508_70.26_28	344 E SURF RD	Ocean City	Cape May	Not NRHP-Eligible
66917	Resource at NJ Parcel 0508_70.26_27	350 E SURF RD	Ocean City	Cape May	Not NRHP-Eligible
66920	Resource at NJ Parcel 0508_70.26_26	356 E SURF RD	Ocean City	Cape May	Not NRHP-Eligible
66922	Resource at NJ Parcel 0508_70.26_25	360 E SURF RD	Ocean City	Cape May	Not NRHP-Eligible
66936	Resource at NJ Parcel 0508_70.41_3.01	19 BEACH RD	Ocean City	Cape May	Not NRHP-Eligible
66939	Resource at NJ Parcel 0508_70.39_7	16 NASSAU RD	Ocean City	Cape May	Not NRHP-Eligible
66940-41	Resource at NJ Parcel 0508_70.39_2_C1	3 GARDENS RD	Ocean City	Cape May	Not NRHP-Eligible
66942	Resource at NJ Parcel 0508_70.39_5	15 GARDENS RD	Ocean City	Cape May	Not NRHP-Eligible
66943	Resource at NJ Parcel 0508_70.39_4	11 GARDENS RD	Ocean City	Cape May	Not NRHP-Eligible
66944	Resource at NJ Parcel 0508_70.39_3	7 GARDENS RD	Ocean City	Cape May	Not NRHP-Eligible

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Property ID	Property Name	Address	Municipality	County	NRHP Status
66945	Resource at NJ Parcel 0508_70.39_1	1 GARDENS RD	Ocean City	Cape May	Not NRHP-Eligible
66946	Resource at NJ Parcel 0508_70.38_21	8 GARDENS RD	Ocean City	Cape May	Not NRHP-Eligible
66947	Resource at NJ Parcel 0508_70.37_5	79 MORNINGSIDE RD	Ocean City	Cape May	Not NRHP-Eligible
66948	Resource at NJ Parcel 0508_70.37_4	71 MORNINGSIDE RD	Ocean City	Cape May	Not NRHP-Eligible
66949	Resource at NJ Parcel 0508_70.37_3	65 MORNINGSIDE RD	Ocean City	Cape May	Not NRHP-Eligible
66950	Resource at NJ Parcel 0508_70.37_2	61 MORNINGSIDE RD	Ocean City	Cape May	Not NRHP-Eligible
66951	Resource at NJ Parcel 0508_70.38_13	53 MORNINGSIDE RD	Ocean City	Cape May	Not NRHP-Eligible
66953	Resource at NJ Parcel 0508_70.38_11	45 MORNINGSIDE RD	Ocean City	Cape May	Not NRHP-Eligible
66954	Resource at NJ Parcel 0508_70.38_9	33 MORNINGSIDE RD	Ocean City	Cape May	Not NRHP-Eligible
66955	Resource at NJ Parcel 0508_70.38_3	9 MORNINGSIDE RD	Ocean City	Cape May	Not NRHP-Eligible
66956	Resource at NJ Parcel 0508_70.38_4	15 MORNINGSIDE RD	Ocean City	Cape May	Not NRHP-Eligible
66957	Resource at NJ Parcel 0508_70.38_8	29 MORNINGSIDE RD	Ocean City	Cape May	Not NRHP-Eligible
66958	Resource at NJ Parcel 0508_70.38_5	19 MORNINGSIDE RD	Ocean City	Cape May	Not NRHP-Eligible
66959	Resource at NJ Parcel 0508_70.38_6	23 MORNINGSIDE RD	Ocean City	Cape May	Not NRHP-Eligible
66962	Resource at NJ Parcel 0508_70.34_38	2 MORNINGSIDE RD	Ocean City	Cape May	Not NRHP-Eligible
66964	Resource at NJ Parcel 0508_70.35_11	58 MORNINGSIDE RD	Ocean City	Cape May	Not NRHP-Eligible
66965	Resource at NJ Parcel 0508_70.35_12	56 MORNINGSIDE RD	Ocean City	Cape May	Not NRHP-Eligible
66968	Resource at NJ Parcel 0508_70.34_19	42 MORNINGSIDE RD	Ocean City	Cape May	Not NRHP-Eligible
66969	Resource at NJ Parcel 0508_70.34_20	40 MORNINGSIDE RD	Ocean City	Cape May	Not NRHP-Eligible
66970	Resource at NJ Parcel 0508_70.34_21	36 MORNINGSIDE RD	Ocean City	Cape May	Not NRHP-Eligible
66971	Resource at NJ Parcel 0508_70.34_34	10 MORNINGSIDE RD	Ocean City	Cape May	Not NRHP-Eligible
66972	Resource at NJ Parcel 0508_70.34_22_C1	34 MORNINGSIDE RD	Ocean City	Cape May	Not NRHP-Eligible
66974	Resource at NJ Parcel 0508_70.34_23	32 MORNINGSIDE RD	Ocean City	Cape May	Not NRHP-Eligible
67069	Resource at NJ Parcel 0508_70.28_16	401 E SURF RD	Ocean City	Cape May	Not NRHP-Eligible
67070	Resource at NJ Parcel 0508_70.26_24	364 E SURF RD	Ocean City	Cape May	Not NRHP-Eligible
67071	Resource at NJ Parcel 0508_70.26_23	368 E SURF RD	Ocean City	Cape May	Not NRHP-Eligible
67072	Resource at NJ Parcel 0508_70.26_22	372 E SURF RD	Ocean City	Cape May	Not NRHP-Eligible
67076	Resource at NJ Parcel 0508_70.26_21	376 E SURF RD	Ocean City	Cape May	Not NRHP-Eligible
67741	Resource at NJ Parcel 0508_3001_9	3000 WESLEY AVE	Ocean City	Cape May	Not NRHP-Eligible
68319	Resource at NJ Parcel 0508_901_21	974 BOARDWALK	Ocean City	Cape May	Not NRHP-Eligible
68985	Resource at NJ Parcel 0508_5802_10	5815 ASBURY AVE	Ocean City	Cape May	Not NRHP-Eligible
69109	Resource at NJ Parcel 0508_4702.02_5	4712 CENTRAL AVE	Ocean City	Cape May	Not NRHP-Eligible

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Property ID	Property Name	Address	Municipality	County	NRHP Status
69456	Resource at NJ Parcel 0508_5802_25_C3	5848 CENTRAL AVE	Ocean City	Cape May	Not NRHP-Eligible
69593	Resource at NJ Parcel 0508_3701_13.01_C2	3704-06 WESLEY AVE	Ocean City	Cape May	Not NRHP-Eligible
69601	Resource at NJ Parcel 0508_5802_24_C5842	5840-42 CENTRAL AVE	Ocean City	Cape May	Not NRHP-Eligible
69808	Resource at NJ Parcel 0508_5902_5_C1	5912-14 CENTRAL AVE	Ocean City	Cape May	Not NRHP-Eligible
70021	Resource at NJ Parcel 0508_3601_14_C2	3620-22 WESLEY AVE	Ocean City	Cape May	Not NRHP-Eligible
71248	Resource at NJ Parcel 0508_70.41_7.01	113 BEACH RD	Ocean City	Cape May	Not NRHP-Eligible
73031	Resource at NJ Parcel 0508_70.28_9.01	239 OCEAN RD	Ocean City	Cape May	Not NRHP-Eligible
4288	17 34th Street	3305 Pleasure Avenue South	Sea Isle City	Cape May	Not NRHP-Eligible
5088	12 44th Street	12 44th Street	Sea Isle City	Cape May	Not NRHP-Eligible
5803	20 53rd Street	20 53rd Street	Sea Isle City	Cape May	Not NRHP-Eligible
5838	14 48th Street	14 48th Street	Sea Isle City	Cape May	Not NRHP-Eligible
6546	20 51st Street	20 51st Street	Sea Isle City	Cape May	Not NRHP-Eligible
6880	21 36th Street	21 36th Street	Sea Isle City	Cape May	Not NRHP-Eligible
7306	4606 Pleasure Avenue	4606 Pleasure Avenue	Sea Isle City	Cape May	Not NRHP-Eligible
71337	3-story shingled Modern residence	4 84TH ST	Sea Isle City	Cape May	Not NRHP-Eligible
71377	Resource at NJ Parcel 0509_74.01_671.02	7401 PLEASURE AVE	Sea Isle City	Cape May	Not NRHP-Eligible
71379	Resource at NJ Parcel 0509_74.01_670	7407 PLEASURE AVE	Sea Isle City	Cape May	Not NRHP-Eligible
71546	Resource at NJ Parcel 0509_72.01_2.02	7201 PLEASURE AVE	Sea Isle City	Cape May	Not NRHP-Eligible
71857	Resource at NJ Parcel 0509_50.02_11	20 50TH ST	Sea Isle City	Cape May	Not NRHP-Eligible
72091	Resource at NJ Parcel 0509_39.01_5.02_C-208	3901 PLEASURE AVE	Sea Isle City	Cape May	Not NRHP-Eligible
72412	Resource at NJ Parcel 0509_52.01_14_C-3	12 52ND ST 1ST FLR REAR	Sea Isle City	Cape May	Not NRHP-Eligible
146485	Two-story buildings with arcade games at ground level and mini golf upper level	819 BOARDWALK CENTER	Seaside Heights	Ocean	Not NRHP-Eligible
146616	Altered one-story concrete block commercial building	1103 OCEAN TERRACE	Seaside Heights	Ocean	Not NRHP-Eligible
146691	Beach Paradise	1005-07 OCEAN TERRACE	Seaside Heights	Ocean	Not NRHP-Eligible
146768	Midway Steakhouse - ca. 1970 one-story commercial building	405 BOARDWALK	Seaside Heights	Ocean	Not NRHP-Eligible
146785	Altered one-story concrete block commercial building	1107 OCEAN TERRACE	Seaside Heights	Ocean	Not NRHP-Eligible
147105	TLC's Polish Water Ice	201 OCEAN TERRACE	Seaside Heights	Ocean	Not NRHP-Eligible
147164	EJ's Tap House - heavily altered one-story commercial building	919 OCEAN TERRACE	Seaside Heights	Ocean	Not NRHP-Eligible
147199	Two-story concrete block with rear apartments	211 OCEAN TERRACE	Seaside Heights	Ocean	Not NRHP-Eligible
147236	Steaks Unlimited	16 DUPONT AVE	Seaside Heights	Ocean	Not NRHP-Eligible
147622	Regent and Co - ca. 1950 one-story conc blk commercial building	401-07 OCEAN TERRACE	Seaside Heights	Ocean	Not NRHP-Eligible
92752	Mobile Home	83 CENTRAL AVE	Seaside Park	Ocean	Not NRHP-Eligible
92753	Mobile Home	81 CENTRAL AVE	Seaside Park	Ocean	Not NRHP-Eligible
92754	Mobile Home	84 CENTRAL AVE	Seaside Park	Ocean	Not NRHP-Eligible
92755	Mobile Home	82 CENTRAL AVE	Seaside Park	Ocean	Not NRHP-Eligible

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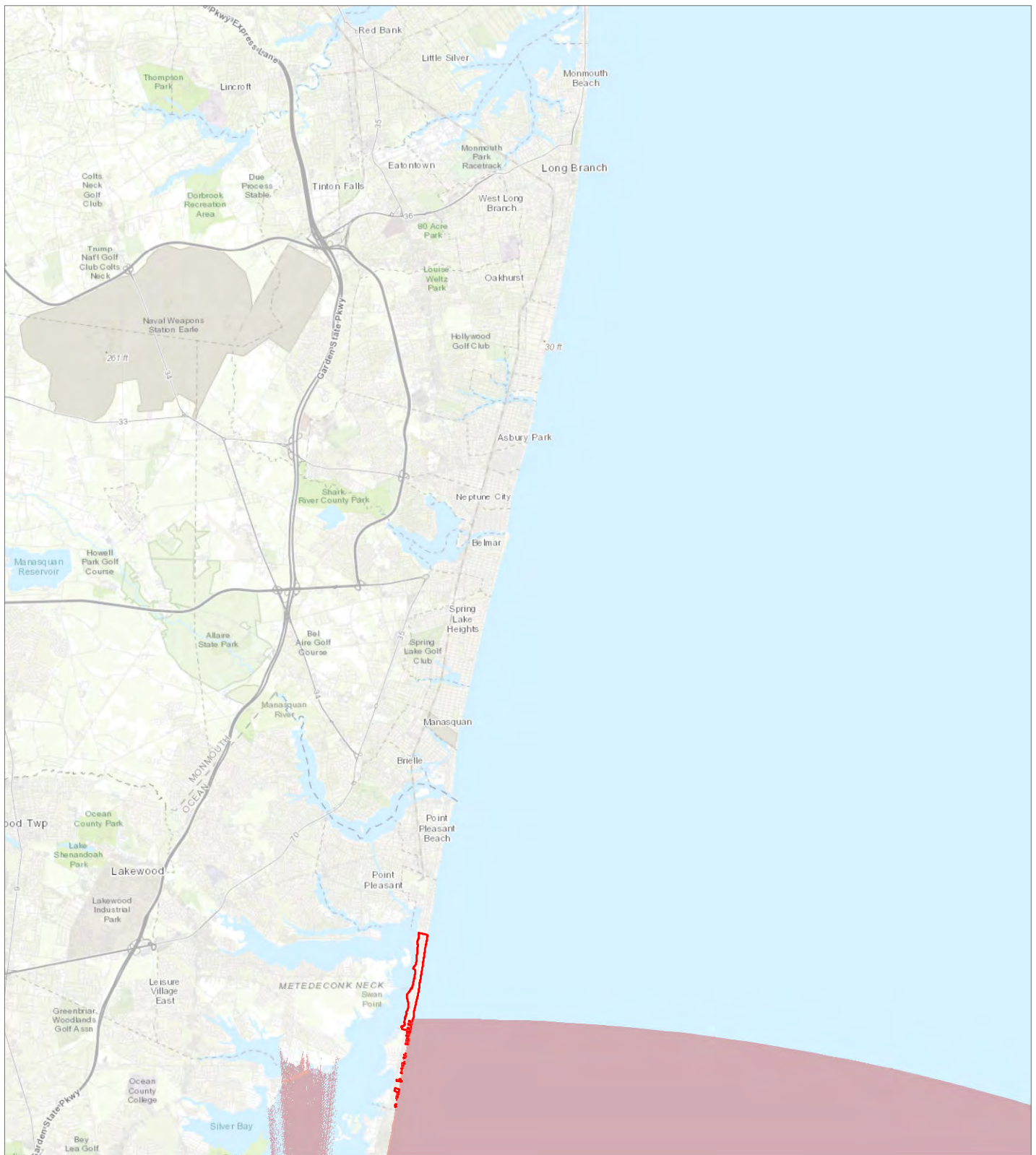
Property ID	Property Name	Address	Municipality	County	NRHP Status
221165	One-story altered minimal Ranch	198 Central Avenue (NJ Rt. 35)	Seaside Park	Ocean	Not NRHP-Eligible
221166	194 Central Avenue (NJ Rt. 35)	194 Central Avenue (NJ Rt. 35)	Seaside Park	Ocean	Not NRHP-Eligible
221167	190 Central Avenue (NJ Rt. 35)	190 Central Avenue (NJ Rt. 35)	Seaside Park	Ocean	Not NRHP-Eligible
221168	180 Central Avenue (NJ Rt. 35)	180 Central Avenue (NJ Rt. 35)	Seaside Park	Ocean	Not NRHP-Eligible
221169	178 Central Avenue (NJ Rt. 35)	178 Central Avenue (NJ Rt. 35)	Seaside Park	Ocean	Not NRHP-Eligible
221170	168 Central Avenue (NJ Rt. 35)	168 Central Avenue (NJ Rt. 35)	Seaside Park	Ocean	Not NRHP-Eligible
221171	160 Central Avenue (NJ Rt. 35)	160 Central Avenue (NJ Rt. 35)	Seaside Park	Ocean	Not NRHP-Eligible
221172	158A Central Avenue (NJ Rt. 35)	158A Central Avenue (NJ Rt. 35)	Seaside Park	Ocean	Not NRHP-Eligible
221173	158 Central Avenue (NJ Rt. 35)	158 Central Avenue (NJ Rt. 35)	Seaside Park	Ocean	Not NRHP-Eligible
221174	188B Central Avenue (NJ Rt. 35)	188B Central Avenue (NJ Rt. 35)	Seaside Park	Ocean	Not NRHP-Eligible
221175	188A Central Avenue (NJ Rt. 35)	188A Central Avenue (NJ Rt. 35)	Seaside Park	Ocean	Not NRHP-Eligible
221176	188 Central Avenue (NJ Rt. 35)	188 Central Avenue (NJ Rt. 35)	Seaside Park	Ocean	Not NRHP-Eligible
221177	186 Central Avenue (NJ Rt. 35)	186 Central Avenue (NJ Rt. 35)	Seaside Park	Ocean	Not NRHP-Eligible
221178	184 Central Avenue (NJ Rt. 35)	184 Central Avenue (NJ Rt. 35)	Seaside Park	Ocean	Not NRHP-Eligible
221179	182 Central Avenue (NJ Rt. 35)	182 Central Avenue (NJ Rt. 35)	Seaside Park	Ocean	Not NRHP-Eligible
6117	Altered 2 1/2 story Dutch Colonial Revival	1015 South Ocean Avenue	Seaside Park Borough	Ocean	Not NRHP-Eligible
6869	3-story altered Craftsman	905-907 South Ocean Avenue	Seaside Park Borough	Ocean	Not NRHP-Eligible
149091	No streetview	2609 OCEAN AVE	Ship Bottom	Ocean	Not NRHP-Eligible
149397	No streetview	305 OCEAN AVE	Ship Bottom	Ocean	Not NRHP-Eligible
149467	Heavily altered ca. 1940 Craftsman	135 E 27TH ST	Ship Bottom	Ocean	Not NRHP-Eligible
149630	Ca. 1981 Modern dwelling with wood shingle	2601 OCEAN AVE	Ship Bottom	Ocean	Not NRHP-Eligible
149679	Heavily altered ca. 1970 Front Gable	130 E 7TH ST	Ship Bottom	Ocean	Not NRHP-Eligible
149697	Altered two-story side gable with double porches	126 E 7TH ST	Ship Bottom	Ocean	Not NRHP-Eligible
149704	Ca. 1965 two-story Front Gable dwelling	131 E 19TH ST	Ship Bottom	Ocean	Not NRHP-Eligible
149705	No streetview	1817 OCEAN AVE	Ship Bottom	Ocean	Not NRHP-Eligible
149803	Heavily altered ca. 1954 two-story dwelling with hipped roofs	2113 OCEAN AVE	Ship Bottom	Ocean	Not NRHP-Eligible
150002	No streetview - ca. 1974 dwelling	1307 OCEAN AVE	Ship Bottom	Ocean	Not NRHP-Eligible
150051	Altered ca. 1975 Shed style dwelling	148 E 24TH ST	Ship Bottom	Ocean	Not NRHP-Eligible
62532	Women's Civic Club of Stone Harbor	12 96TH ST	Stone Harbor	Cape May	Not NRHP-Eligible
62545	2-story modern residence	100 114TH ST	Stone Harbor	Cape May	Not NRHP-Eligible
63128	2-story, flat roof, modern residence	2 102ND ST	Stone Harbor	Cape May	Not NRHP-Eligible
63180	Resource at NJ Parcel 0510_98.01_10.02	5 98TH ST	Stone Harbor	Cape May	Not NRHP-Eligible

Attachment B:
All Properties Surveyed – WTA PAPE

Property ID	Property Name	Address	Municipality	County	NRHP Status
63627	2-story modern residence	1 92ND ST	Stone Harbor	Cape May	Not NRHP-Eligible
157076	Ca. 1955 altered Cape Cod style dwelling	601 N OCEAN AVE	Surf City	Ocean	Not NRHP-Eligible
56231	Resource at NJ Parcel 0511_857_8.02	30 E SEACLIFF AVE	Upper Township	Cape May	Not NRHP-Eligible
57384	Resource at NJ Parcel 0511_862_1	1 E SEAVIEW AVE	Upper Township	Cape May	Not NRHP-Eligible
57475	Resource at NJ Parcel 0511_834_7	26 E SUMNER AVE	Upper Township	Cape May	Not NRHP-Eligible
185270	Resource at NJ Parcel 0122_9_1	5200 BOARDWALK	Ventnor City	Atlantic	Not NRHP-Eligible
185274	Resource at NJ Parcel 0122_8_10	110 S AMHERST AVE	Ventnor City	Atlantic	Not NRHP-Eligible
185371	Resource at NJ Parcel 0122_19_11	6003 BOARDWALK	Ventnor City	Atlantic	Not NRHP-Eligible
185620	Resource at NJ Parcel 0122_37_8	110 S PHILADELPHIA AVE	Ventnor City	Atlantic	Not NRHP-Eligible
185637	Resource at NJ Parcel 0122_25_11	110 S PRINCETON AVE	Ventnor City	Atlantic	Not NRHP-Eligible
187183	Resource at NJ Parcel 0122_11_9	108 S LITTLE ROCK AVE	Ventnor City	Atlantic	Not NRHP-Eligible
187268	Resource at NJ Parcel 0122_58_4	5515 ATLANTIC AVE	Ventnor City	Atlantic	Not NRHP-Eligible
187273	Resource at NJ Parcel 0122_12_1	111 S SURREY AVE	Ventnor City	Atlantic	Not NRHP-Eligible
188091	Resource at NJ Parcel 0122_23_13	110 S HARVARD AVE	Ventnor City	Atlantic	Not NRHP-Eligible
188479	Resource at NJ Parcel 0122_34_9	104 S WISSAHICKON AVE	Ventnor City	Atlantic	Not NRHP-Eligible
188508	Resource at NJ Parcel 0122_34_12	110 S WISSAHICKON AVE	Ventnor City	Atlantic	Not NRHP-Eligible
221108	5301 Atlantic Avenue 5301 Atlantic Avenue	5301 Atlantic Avenue	Ventnor City	Atlantic	Not NRHP-Eligible
59311	Resource at NJ Parcel 0515_169_2_C9001	9000A BEACH AVE	Wildwood Crest	Cape May	Not NRHP-Eligible
95773	Ca. 1970 Modern dwelling	15 E BURLINGTON AVE	Harvey Cedars	Ocean	Not NRHP-Eligible

ATTACHMENT C

Map of Properties Surveyed – WTA PAPE

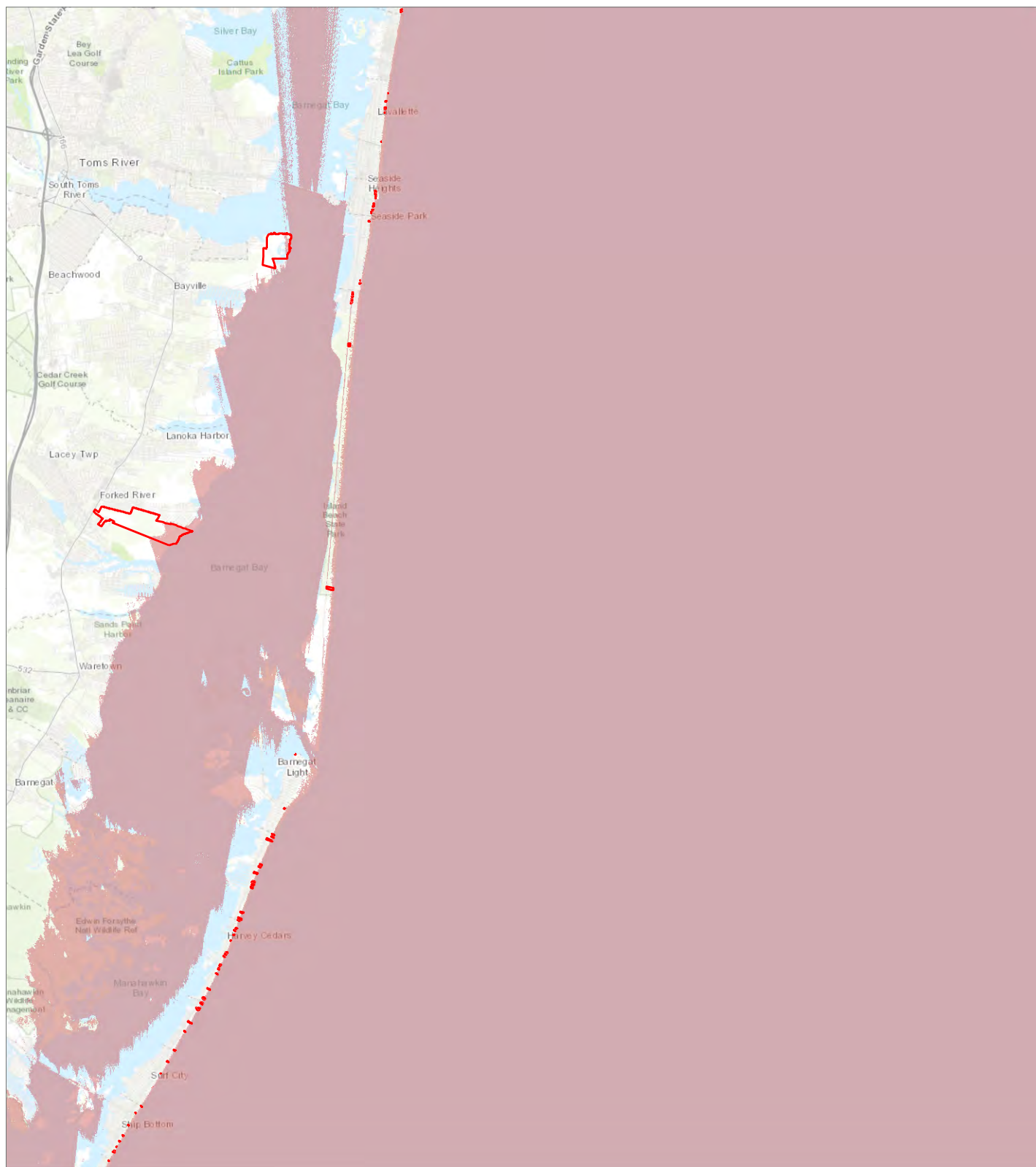


Atlantic Shores Offshore Wind Project

Outer Continental Shelf

- Properties Surveyed
- Preliminary Area of Potential Effects (PAPE)



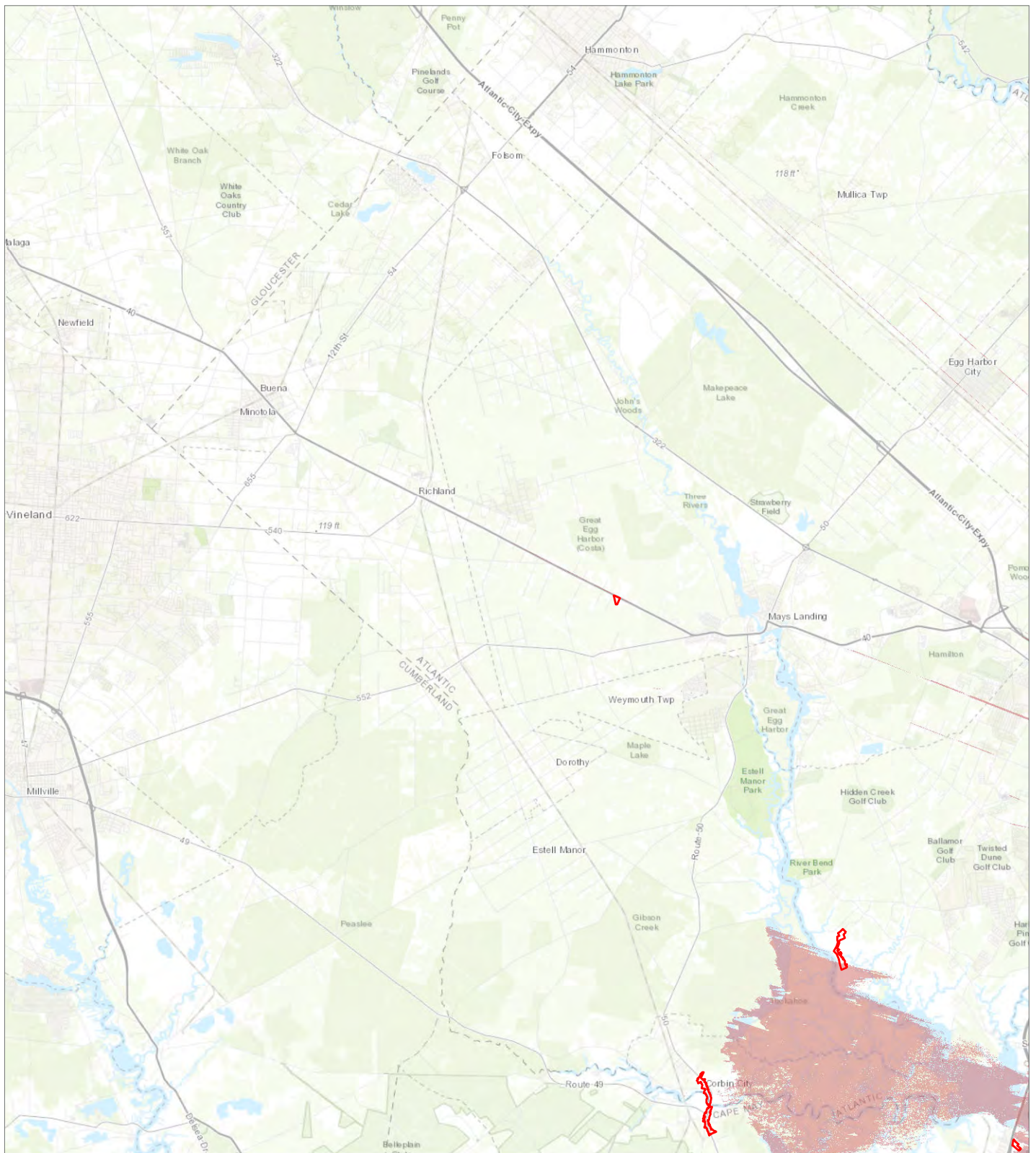


Atlantic Shores Offshore Wind Project

Outer Continental Shelf

- Properties Surveyed
- Preliminary Area of Potential Effects (PAPE)



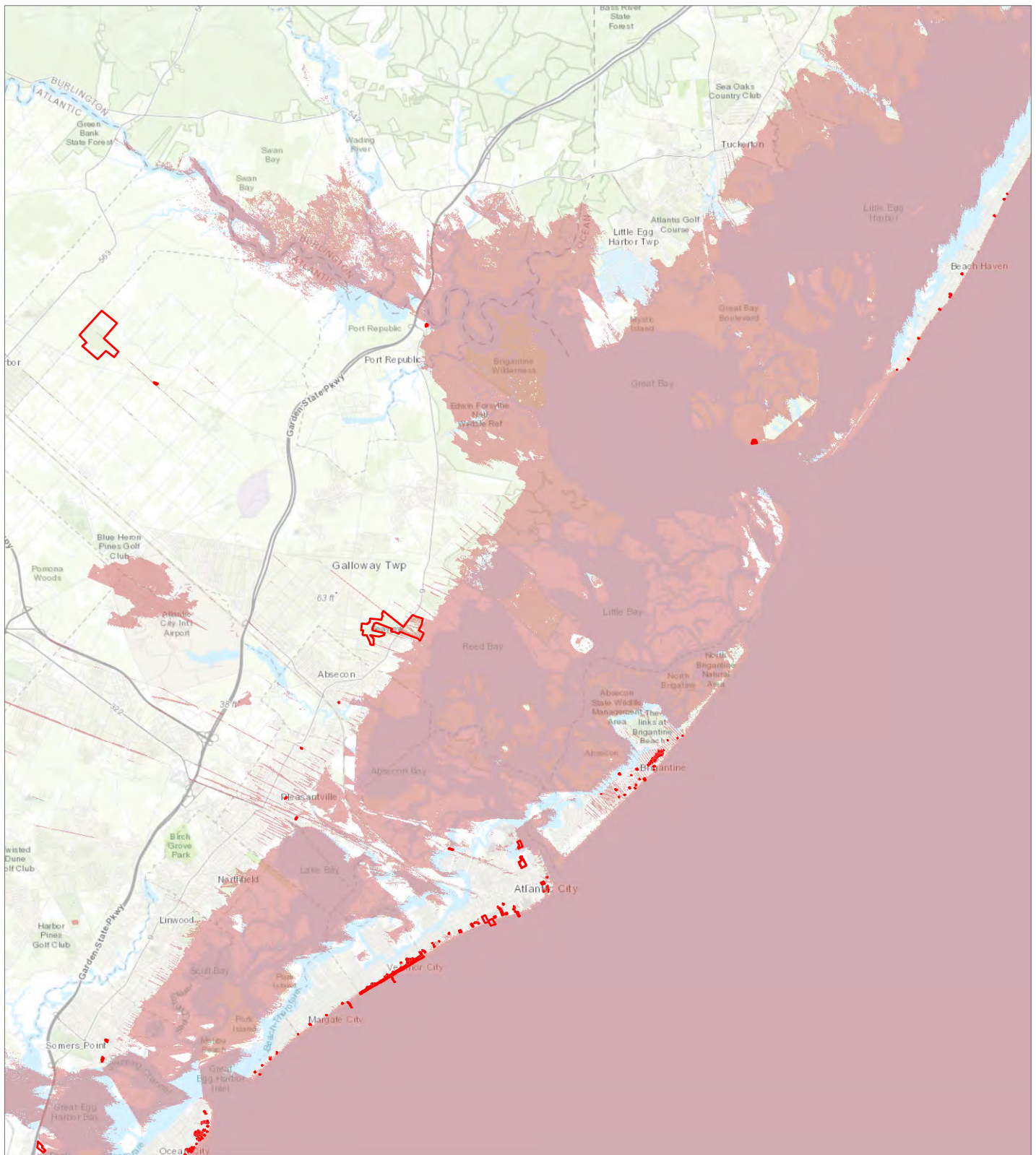


Atlantic Shores Offshore Wind Project

Outer Continental Shelf

- Properties Surveyed
- Preliminary Area of Potential Effects (PAPE)



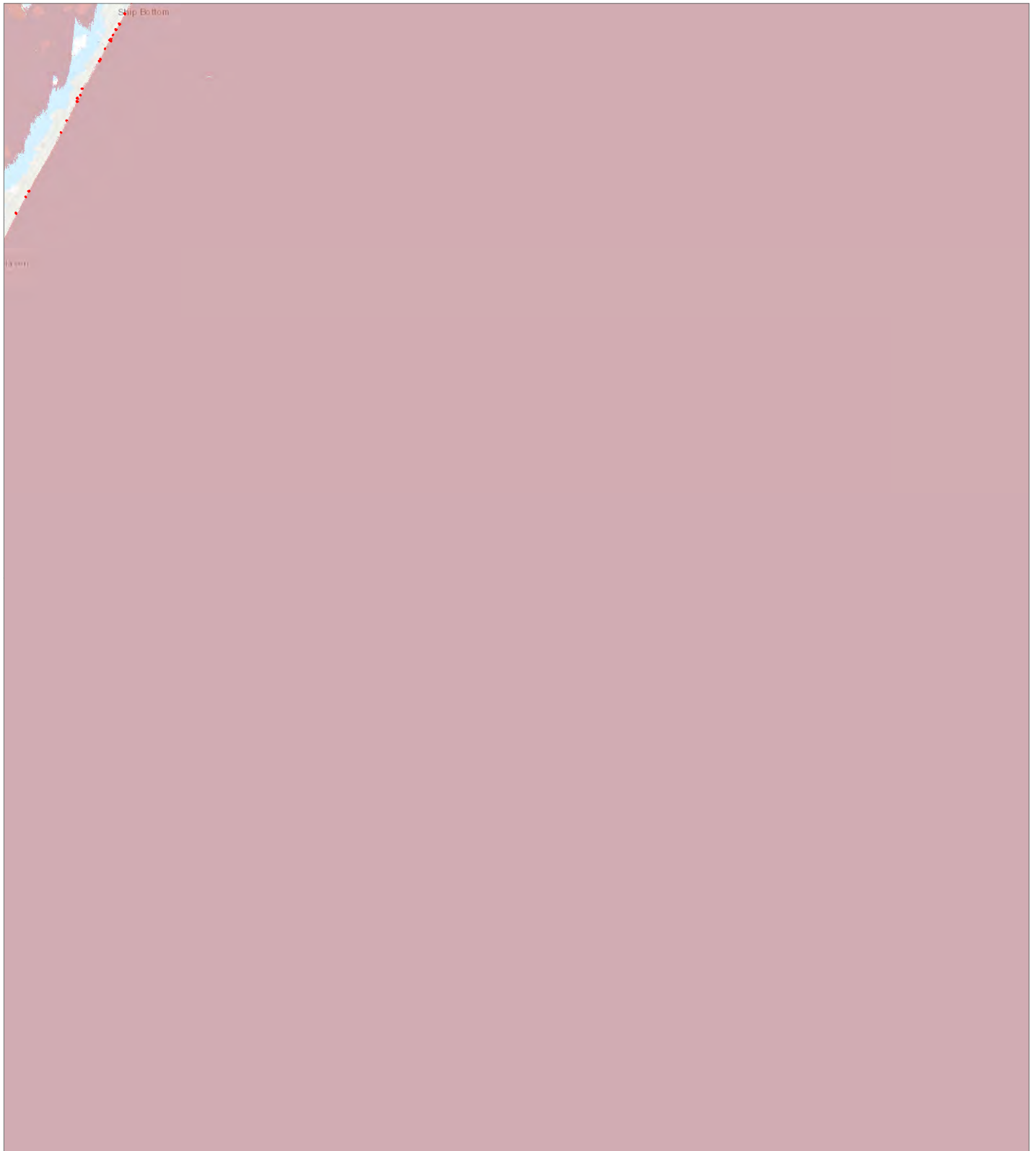


Atlantic Shores Offshore Wind Project

Outer Continental Shelf

- Properties Surveyed
- Preliminary Area of Potential Effects (PAPE)





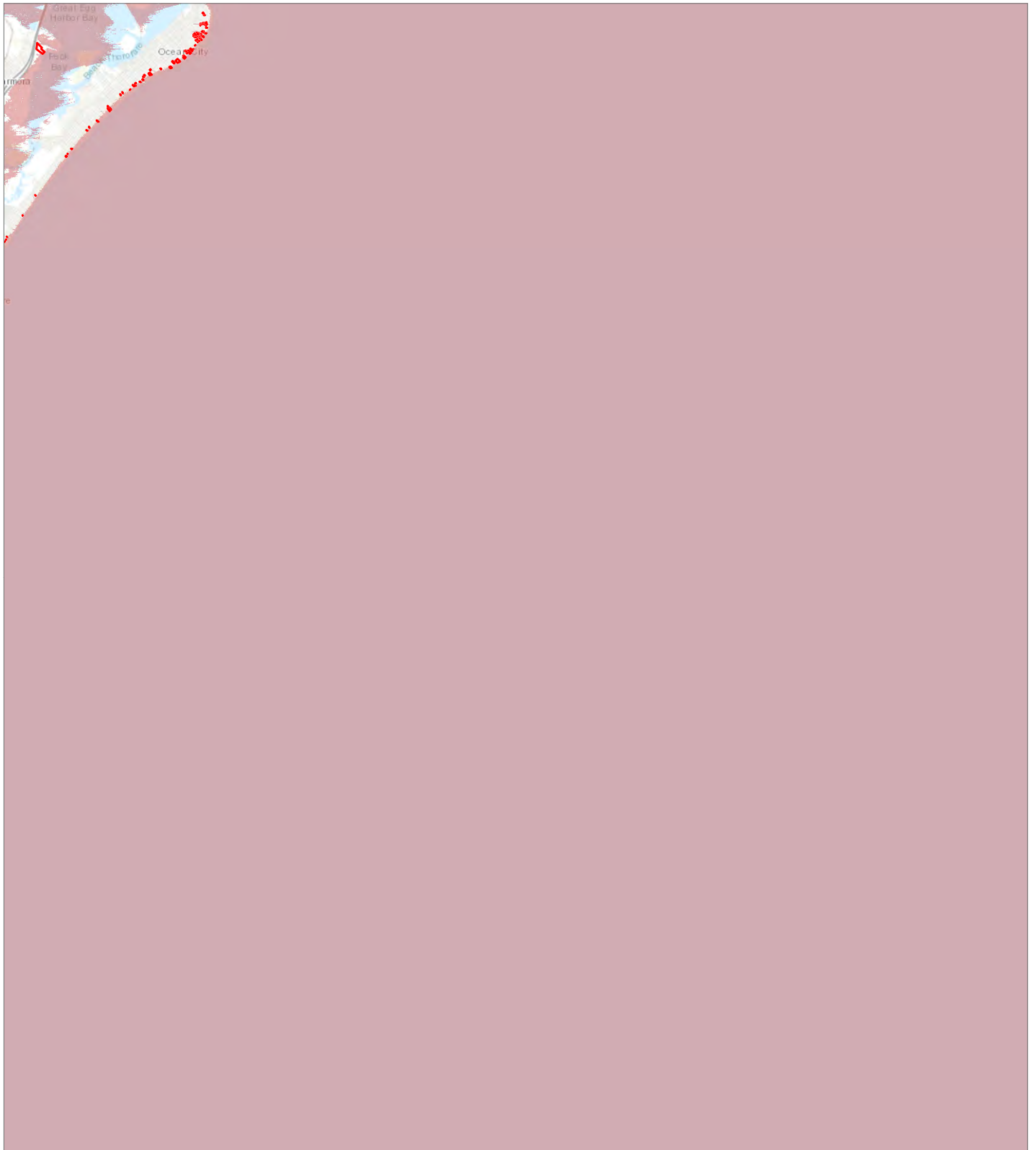
Atlantic Shores Offshore Wind Project

Outer Continental Shelf

- Properties Surveyed
- Preliminary Area of Potential Effects (PAPE)







Atlantic Shores Offshore Wind Project

Outer Continental Shelf

- Properties Surveyed
- Preliminary Area of Potential Effects (PAPE)



ATTACHMENT D

All Properties in the Onshore Facilities PAPes

Attachment D:
All Properties in the Onshore Facilities PAPE

Survey ID	Property Name	Address	Municipality	County
9336	Garden State Parkway Historic District	Garden State Parkway	Bergen, Passaic, Essex, Union, Middlesex, Monmouth, Ocean, Atlantic and Cape May	Atlantic, Burlington, Cape May, Ocean
663	6704 Tilton Road	6704 Tilton Road	Egg Harbor Township	Atlantic
665	Pleasantville Mobile Home Court	6737 Black Horse Pike	Egg Harbor Township	Atlantic
7570	Bennett Chevrolet	6740 BLACK HORSE PIKE	Egg Harbor Township	Atlantic
7749	Mount Calvary Cemetery	6804 Black Horse Pike	Egg Harbor Township	Atlantic
7804	84 Lumber Company	6738 BLACK HORSE PIKE	Egg Harbor Township	Atlantic
8305	Searstown Mall	6725 BLACK HORSE PIKE	Egg Harbor Township	Atlantic
8365	Rickels Shopping Center	6701 BLACK HORSE PIKE	Egg Harbor Township	Atlantic
191324	Resource at NJ Parcel 0108_2117_1	16 DELANCY AVENUE	Egg Harbor Township	Atlantic
193501	Resource at NJ Parcel 0108_2204_13	109 PLEASANT HEIGHTS AVE	Egg Harbor Township	Atlantic
193703	Resource at NJ Parcel 0108_2101_12	6767 WASHINGTON AVENUE	Egg Harbor Township	Atlantic
193754	Resource at NJ Parcel 0108_2303_9	3137 FIRE ROAD	Egg Harbor Township	Atlantic
194868	Resource at NJ Parcel 0108_2117_3	5 STEELMANS LANE	Egg Harbor Township	Atlantic
195452	Resource at NJ Parcel 0108_1118_11	101 ELDERBERRY AVENUE	Egg Harbor Township	Atlantic
195525	Resource at NJ Parcel 0108_2101_17	6781 WASHINGTON AVENUE	Egg Harbor Township	Atlantic
197359	Resource at NJ Parcel 0108_1118_12	103 ELDERBERRY AVENUE	Egg Harbor Township	Atlantic
197400	Resource at NJ Parcel 0108_2008_4	11 LINCOLN AVENUE	Egg Harbor Township	Atlantic
9281	West Jersey and Atlantic Railroad Historic District	N/A	Hamilton Township and Egg Harbor Township	Atlantic and Mercer Counties
329646	Resource at NJ Parcel_1321_26_34.01	111 LANES POND ROAD	Howell	Monmouth
332958	Resource at NJ Parcel_1321_29_32	337 LANES MILL RD	Howell	Monmouth
333097	Resource at NJ Parcel_1321_5_4	34 Randolph Road	Howell	Monmouth
333251	Resource at NJ Parcel_1321_26_39.04	165 LANES POND RD	Howell	Monmouth
333355	Resource at NJ Parcel_1321_38_7.01	1139 Lakewood Farmingdale	Howell	Monmouth
329646	Resource at NJ Parcel_1321_26_34.01	111 LANES POND ROAD	Howell	Monmouth
329877	Resource at NJ Parcel_1321_38_2	79 RANDOLPH ROAD	Howell	Monmouth
332958	Resource at NJ Parcel_1321_29_32	337 LANES MILL RD	Howell	Monmouth
333120	Resource at NJ Parcel_1321_38_4	41 Randolph Road	Howell	Monmouth
333166	Resource at NJ Parcel_1321_38_23	662 Oak Glen Road	Howell	Monmouth
333167	Resource at NJ Parcel_1321_38_22	668 OAK GLEN ROAD	Howell	Monmouth
333251	Resource at NJ Parcel_1321_26_39.04	165 LANES POND RD	Howell	Monmouth
333333	Resource at NJ Parcel_1321_37_68	1016 LAKEWOOD FARMINGDALE	Howell	Monmouth
333394	Resource at NJ Parcel_1321_38_8.02	1117 LAKEWOOD FARMINGDALE	Howell	Monmouth
333122	Resource at NJ Parcel_1321_14_20	278 ALEXANDER AVENUE	Howell	Monmouth
333151	Resource at NJ Parcel_1321_39_3	122 PORTER RD	Howell	Monmouth
333152	Resource at NJ Parcel_1321_39_2.02	3039 LAKEWOOD ALLENWOOD	Howell	Monmouth
333153	Resource at NJ Parcel_1321_4_10.02	730 RIDGE AVE	Howell	Monmouth
333156	Resource at NJ Parcel_1321_38_10.01	768 OAK GLEN RD	Howell	Monmouth

Attachment D:
All Properties in the Onshore Facilities PAPE

Survey ID	Property Name	Address	Municipality	County
333157	Resource at NJ Parcel_1321_38_10.02	798 JOE PARKER RD	Howell	Monmouth
333158	Resource at NJ Parcel_1321_38_11.01	754 OAK GLEN RD	Howell	Monmouth
333159	Resource at NJ Parcel_1321_38_11.02	748 OAK GLEN RD	Howell	Monmouth
333160	Resource at NJ Parcel_1321_38_13	730 OAK GLEN RD	Howell	Monmouth
333161	Resource at NJ Parcel_1321_38_14	726 OAK GLEN ROAD	Howell	Monmouth
333162	Resource at NJ Parcel_1321_38_15	722 OAK GLEN RD	Howell	Monmouth
333163	Resource at NJ Parcel_1321_38_16	714 OAK GLEN RD	Howell	Monmouth
333164	Resource at NJ Parcel_1321_38_17	710 OAK GLEN RD	Howell	Monmouth
333165	Resource at NJ Parcel_1321_38_18	698 OAK GLEN RD	Howell	Monmouth
333167	Resource at NJ Parcel_1321_38_22	668 OAK GLEN ROAD	Howell	Monmouth
333168	Resource at NJ Parcel_1321_38_20	680 OAK GLEN RD	Howell	Monmouth
333184	Resource at NJ Parcel_1321_26_22	381 Alexander Avenue	Howell	Monmouth
333207	Resource at NJ Parcel_1321_2.15_21	411 RAMTOWN GREENVILLE RD	Howell	Monmouth
333252	Resource at NJ Parcel_1321_23_3	442 ALEXANDER AVENUE	Howell	Monmouth
333318	Resource at NJ Parcel_1321_4_7.01	4 Arnold Blvd	Howell	Monmouth
333319	Resource at NJ Parcel_1321_4_7	12 Arnold Blvd	Howell	Monmouth
333370	Resource at NJ Parcel_1321_3_4	2880 Lakeview-Allenwood Road	Howell	Monmouth
333371	Resource at NJ Parcel_1321_42_21	663 OAK GLEN RD	Howell	Monmouth
333372	Resource at NJ Parcel_1321_42_20	671 OAK GLEN RD	Howell	Monmouth
333389	Resource at NJ Parcel_1321_40_1.01	695 OAK GLEN RD	Howell	Monmouth
333391	Resource at NJ Parcel_1321_39_11.01	773 OAK GLEN RD	Howell	Monmouth
333425	Resource at NJ Parcel_1321_26_29.01	411 ALEXANDER AVENUE	Howell	Monmouth
333426	Resource at NJ Parcel_1321_26_29	403 ALEXANDER AVE	Howell	Monmouth
396233	Resource at NJ Parcel_1515_175_7	1084 BROOK ROAD	Howell	Monmouth
396822	Resource at NJ Parcel_1515_174.02_9	1093 BROOK RD	Howell	Monmouth
394814	Resource at NJ Parcel_1515_172_9	685 Squankum Road	Lakewood	Monmouth
396589	Resource at NJ Parcel_1515_172_7	655 Squankum Road	Lakewood	Monmouth
9262	New Jersey Southern Railroad Historic District	N/A	Multiple	Multiple
175917	Resource at NJ Parcel 0118_16.01_45	810 TILTON RD	Northfield City	Atlantic

ATTACHMENT E

All Properties Surveyed – Onshore Facilities PAPes

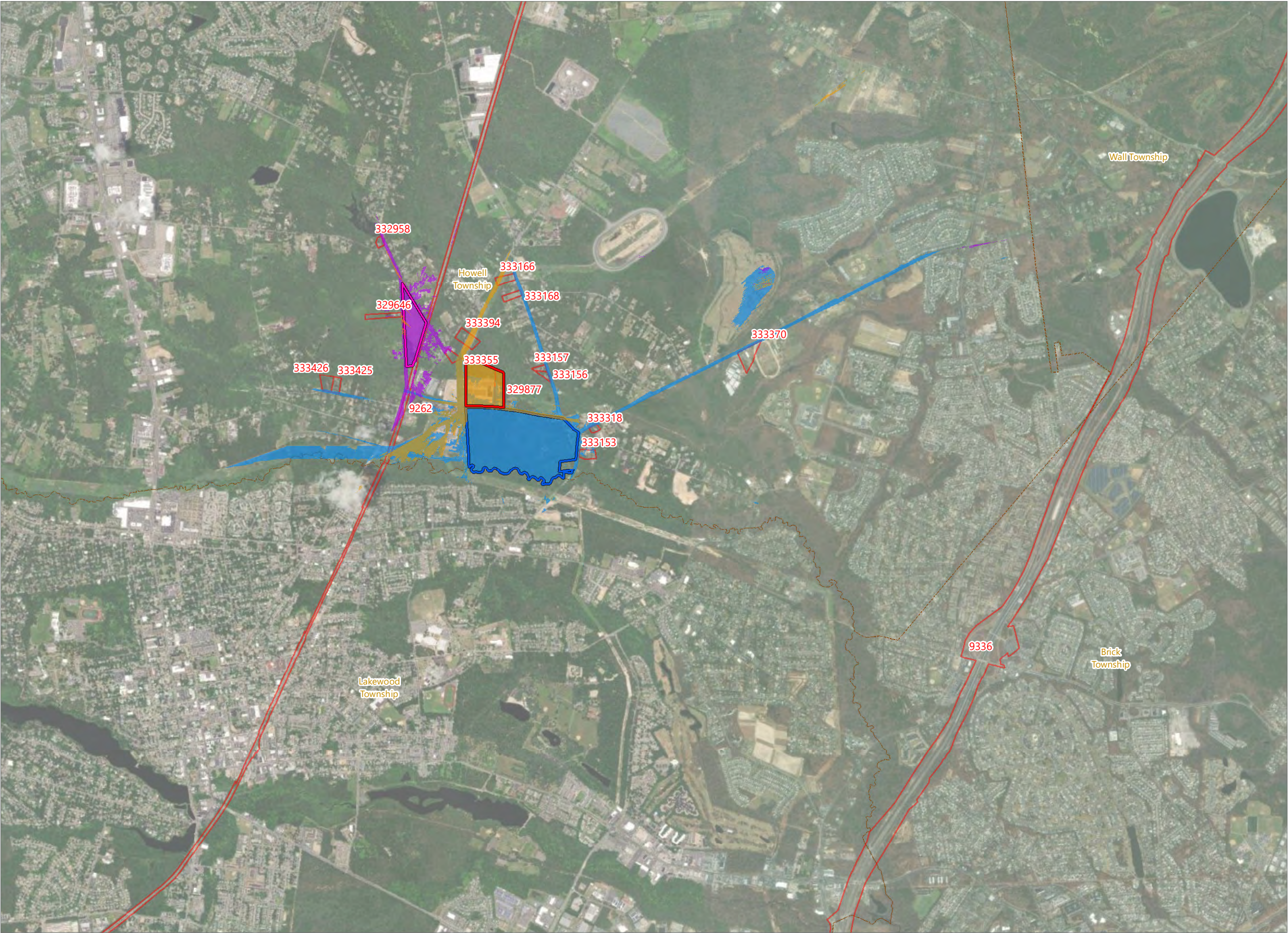
Attachment F - All Properties Surveyed Onshore PAPE

Survey ID	Property Name	Address	Municipality	County	Source	NRHP Status	Full Resource Acres	PAPE Acres	Percent Visible
9336	Garden State Parkway Historic District	Garden State Parkway	Bergen, Passaic, Essex, Union, Middlesex, Monmouth, Ocean,	Atlantic, Burlington, Cape May, Ocean	NJHPO	NRHP-Eligible (NJ HPO-Determined)	12495.84375	7.643012524	0.061164439
665	Pleasantville Mobile Home Court	6737 Black Horse Pike	Egg Harbor Township	Atlantic	NJHPO	Not Eligible (EDR-Recommended)	21.11819649	7.447908878	35.26773071
9281	West Jersey and Atlantic Railroad Historic District	N/A	Hamilton Township and Egg Harbor Township	Atlantic and Mercer Counties	NJHPO	NRHP-Eligible (NJ HPO-Determined)	248.3800964	0.332214028	0.133752272
329646	Resource at NJ Parcel_1321_26_34.01	111 LANES POND ROAD	Howell	Monmouth	EDR-Identified NJ Parcel Pre 1982	Not Eligible (EDR-Recommended)	2.65416503	0.19106257	7.198594093
332958	Resource at NJ Parcel_1321_29_32	337 LANES MILL RD	Howell	Monmouth	EDR-Identified NJ Parcel Pre 1982	Not Eligible (EDR-Recommended)	0.957414746	0.108602338	11.34329033
333355	Resource at NJ Parcel_1321_38_7.01	1139 Lakewood Farmingdale	Howell	Monmouth	EDR-Identified NJ Parcel Pre 1982	Not Eligible (EDR-Recommended)	1.648395419	0.168026865	10.19335938
329877	Resource at NJ Parcel_1321_38_2	79 RANDOLPH ROAD	Howell	Monmouth	EDR-Identified NJ Parcel Pre 1982	Not Eligible (EDR-Recommended)	5.11041832	5.11041832	100
333166	Resource at NJ Parcel_1321_38_23	662 Oak Glen Road	Howell	Monmouth	EDR-Identified NJ Parcel Pre 1982	Not Eligible (EDR-Recommended)	2.200028181	0.543587744	24.70821762
333394	Resource at NJ Parcel_1321_38_8.02	1117 LAKEWOOD FARMINGDALE	Howell	Monmouth	EDR-Identified NJ Parcel Pre 1982	Not Eligible (EDR-Recommended)	4.065202713	1.130444646	27.8078289
333153	Resource at NJ Parcel_1321_4_10.02	730 RIDGE AVE	Howell	Monmouth	EDR-Identified NJ Parcel Pre 1982	Not Eligible (EDR-Recommended)	2.298217058	0.517252803	22.50669861
333156	Resource at NJ Parcel_1321_38_10.01	768 OAK GLEN RD	Howell	Monmouth	EDR-Identified NJ Parcel Pre 1982	Not Eligible (EDR-Recommended)	1.077756166	0.079593793	7.385138988
333157	Resource at NJ Parcel_1321_38_10.02	798 JOE PARKER RD	Howell	Monmouth	EDR-Identified NJ Parcel Pre 1982	Not Eligible (EDR-Recommended)	1.046318412	0.058797754	5.61948967
333168	Resource at NJ Parcel_1321_38_20	680 OAK GLEN RD	Howell	Monmouth	EDR-Identified NJ Parcel Pre 1982	Not Eligible (EDR-Recommended)	1.750781417	0.095404223	5.44923687
333318	Resource at NJ Parcel_1321_4_7.01	4 Arnold Blvd	Howell	Monmouth	EDR-Identified NJ Parcel Pre 1982	Not Eligible (EDR-Recommended)	0.901633739	0.150557205	16.69826698
333370	Resource at NJ Parcel_1321_3_4	2880 Lakeview-Allenwood Road	Howell	Monmouth	EDR-Identified NJ Parcel Pre 1982	Not Eligible (EDR-Recommended)	4.721848965	0.494844437	10.47988701
333425	Resource at NJ Parcel_1321_26_29.01	411 ALEXANDER AVENUE	Howell	Monmouth	EDR-Identified NJ Parcel Pre 1982	Not Eligible (EDR-Recommended)	1.892123342	0.118746698	6.27584362
333426	Resource at NJ Parcel_1321_26_29	403 ALEXANDER AVE	Howell	Monmouth	EDR-Identified NJ Parcel Pre 1982	Not Eligible (EDR-Recommended)	2.825047731	0.146005392	5.168245316
9262	New Jersey Southern Railroad Historic District	N/A	Multiple	Multiple	NJHPO	NRHP-Eligible (NJ HPO-Determined)	293.6923523	3.981356859	1.355621576

ATTACHMENT F

Maps of Properties Surveyed – Onshore Facilities PAPs

Atlantic Shores
Offshore Wind Project
Outer Continental Shelf



- Randolph Road Site
- Randolph Road Site PAPE
- Lanes Pond Road Site
- Lanes Pond Road Site PAPE
- Brook Road Site
- Brook Road Site PAPE
- Aboveground Historic Property
- Municipal Boundary

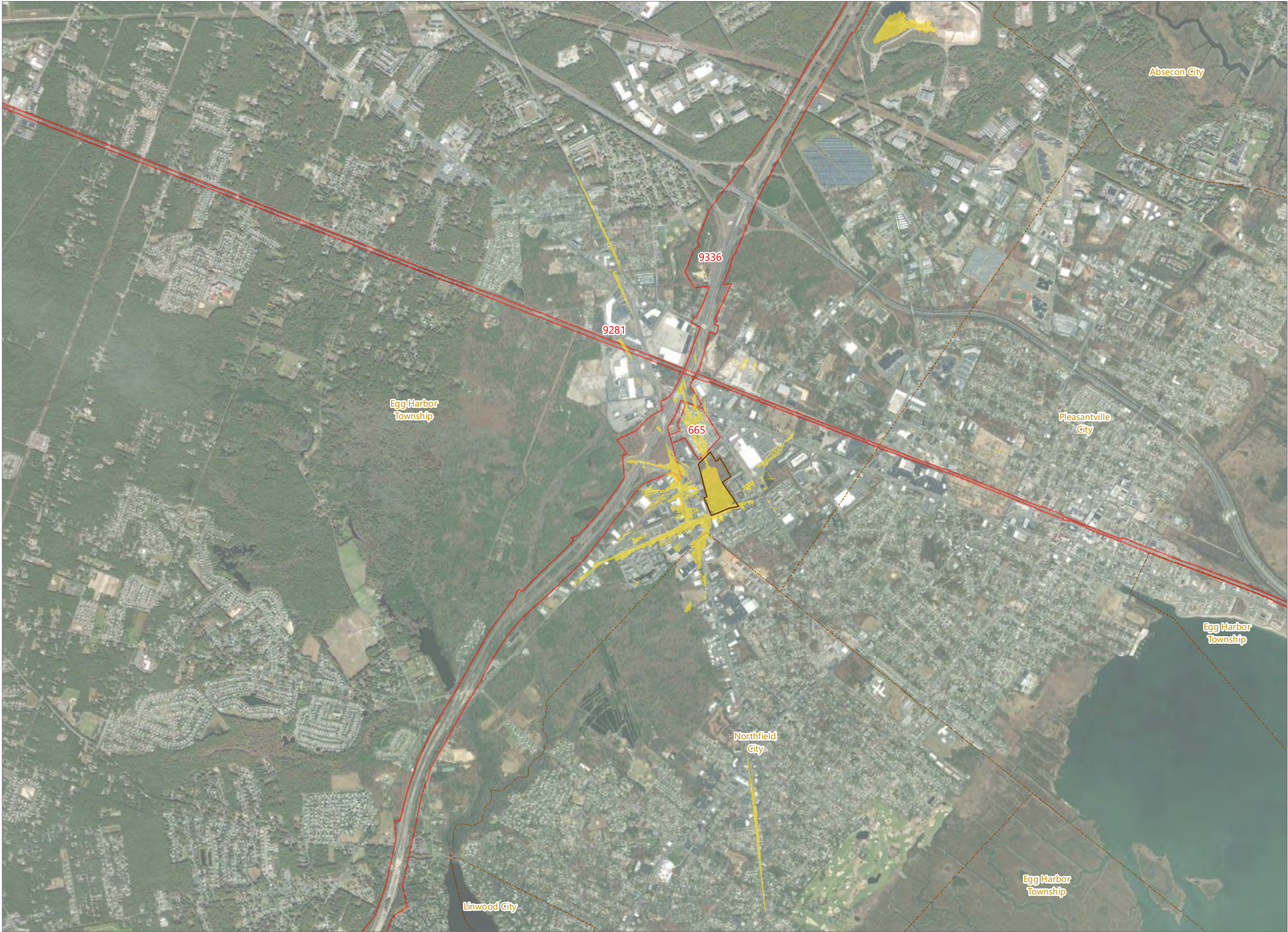


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Miles

Prepared April 7, 2023
Basemap: Esri ArcGIS Online "World Imagery" map service



Atlantic Shores
Offshore Wind Project
Outer Continental Shelf



- Fire Road Site
- Fire Road Site PAPE
- Aboveground Historic Property
- Municipal Boundary



0 0.125 0.25 0.5
Miles

Prepared April 7, 2023
Basemap: Esri ArcGIS Online "World Imagery" map service

ATLANTIC SHORES
offshore wind

EDR

ATTACHMENT G

All Properties in the O&M Facility PAPE

Attachment G - All Properties in the Operations and Maintenance PAPE

OBJECT ID	Survey ID	Property Name	Address	Source	NRHP Status	Acres	Acres in PAPE	Percent Visible
57	162356	Resource at NJ Parcel 0102_117_2	414 MADISON AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.028408302	0.000568312	2.000513315
218	165123	Resource at NJ Parcel 0102_613_5	800 N DR MARTIN LUTHER K	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.094153345	0.001975425	2.098093033
256	165584	Resource at NJ Parcel 0102_672_3	1300 N OHIO AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.086045437	0.001805394	2.098187208
266	165408	Resource at NJ Parcel 0102_677_2	1450 ABSECON BLVD	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.17260772	0.003799971	2.20150733
51	161006	Resource at NJ Parcel 0102_104_2	510 N RHODE ISLAND AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.149141312	0.002002432	1.342640638
52	161009	Resource at NJ Parcel 0102_104_5	438 N RHODE ISLAND AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.458870143	0.001482626	0.323103666
53	161010	Resource at NJ Parcel 0102_104_6	434 N RHODE ISLAND AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.045910235	0.000494209	1.076467514
54	161011	Resource at NJ Parcel 0102_104_7	432 N RHODE ISLAND AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.05737577	0.000147126	0.256425261
55	161012	Resource at NJ Parcel 0102_104_8	428 N RHODE ISLAND AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.080279551	0.001582605	1.971367359
56	161013	Resource at NJ Parcel 0102_104_9	428 N RHODE ISLAND AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.103287138	0.000247104	0.239240229
49	161014	Resource at NJ Parcel 0102_104_10	410 N RHODE ISLAND AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.227409407	0.002300628	1.011668086
148	161302	Resource at NJ Parcel 0102_554_12	512 N NEW JERSEY AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.091196589	0.002020936	2.216021776
34	623	Absecon Lighthouse	301 Pacific Avenue	NJHPO	NRHP-Listed	2.036257505	0.047728218	2.343918562
270	165494	Resource at NJ Parcel 0102_681_10	1400 N OHIO AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.17209518	0.004067569	2.363557816
158	161291	Resource at NJ Parcel 0102_555_2	634 SEWELL AVE	NJ Parcel coded to contain building constructed at least 40 years ago	contributing to the Atlantic City Beautiful	0.093248248	0.005861078	6.285456181

Attachment G - All Properties in the Operations and Maintenance PAPE

OBJECT ID	Survey ID	Property Name	Address	Source	NRHP Status	Acres	Acres in PAPE	Percent Visible
149	164729	Resource at NJ Parcel 0102_554_14	510 N NEW JERSEY AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.045614451	0.001139198	2.49744916
153	161294	Resource at NJ Parcel 0102_555_1	644 SEWELL AVE	NJ Parcel coded to contain building constructed at least 40 years ago	contributing to the Atlantic City Beautiful	0.093183294	0.019945454	21.40453911
154	161299	Resource at NJ Parcel 0102_555_14	619 CASPIAN AVE	NJ Parcel coded to contain building constructed at least 40 years ago	contributing to the Atlantic City Beautiful	0.146272525	0.00022276	0.152291089
205	165096	Resource at NJ Parcel 0102_608_4	808 N KENTUCKY AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.091865949	0.002366413	2.575941563
107	164842	Resource at NJ Parcel 0102_538_8	1101 ADRIATIC AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.04333267	0.001122316	2.590000629
157	161303	Resource at NJ Parcel 0102_555_17	515 N NEW JERSEY AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.103270255	0.001205853	1.167667627
155	161304	Resource at NJ Parcel 0102_555_15	623 CASPIAN AVE	NJ Parcel coded to contain building constructed at least 40 years ago	contributing to the Atlantic City Beautiful	0.177800536	0.008103246	4.557492256
147	161306	Resource at NJ Parcel 0102_554_11	710 SEWELL AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.056067444	0.000156168	0.278535366
243	165018	Resource at NJ Parcel 0102_662_2	1419 MARMORA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.094227627	0.00252804	2.682907581
244	165019	Resource at NJ Parcel 0102_662_3	1417 MARMORA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.073538199	0.002056527	2.796543121
83	163934	Resource at NJ Parcel 0102_417_4	704 LEXINGTON AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.129050836	0.003661428	2.837198019
80	161495	Resource at NJ Parcel 0102_406_10	213 N SOUTH CAROLINA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.053687964	0.000156375	0.29126662
102	164645	Resource at NJ Parcel 0102_526_33	525 N NEW YORK AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.018829338	0.000537093	2.852426529
105	164852	Resource at NJ Parcel 0102_538_12	1109 ADRIATIC AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.024902245	0.000716957	2.879086494

Attachment G - All Properties in the Operations and Maintenance PAPE

OBJECT ID	Survey ID	Property Name	Address	Source	NRHP Status	Acres	Acres in PAPE	Percent Visible
206	165098	Resource at NJ Parcel 0102_608_5	800 N KENTUCKY AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.095832951	0.002764169	2.884362221
82	161848	Resource at NJ Parcel 0102_415_9	807 BALTIC AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.506431818	0.004958615	0.979127824
194	164801	Resource at NJ Parcel 0102_593_1	601-621 N VIRGINIA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	1.495597124	0.043525293	2.910228491
262	165528	Resource at NJ Parcel 0102_673_5	1306 PENROSE AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.126186505	0.003706566	2.937371016
45	8352	Penrose Canal	Penrose Canal	NJHPO	Not Eligible (EDR-Recommended)	5.387903214	0.167165473	3.10260725
79	162167	Resource at NJ Parcel 0102_405_8	214 N SOUTH CAROLINA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.074168272	0.000237183	0.319790572
77	162169	Resource at NJ Parcel 0102_405_10	210 N SOUTH CAROLINA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.074181303	0.000468176	0.631124437
59	162351	Resource at NJ Parcel 0102_117_5.04	400 MADISON AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.049953751	0.000525384	1.051739931
60	162352	Resource at NJ Parcel 0102_118_19	317 BEACH AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.057384942	5.6357E-07	0.000982087
58	162355	Resource at NJ Parcel 0102_117_5.01	406 MADISON AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.039197709	0.000247104	0.630405188
232	165876	Resource at NJ Parcel 0102_628_8	1015 N OHIO AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.029656155	0.00093621	3.15688324
62	162387	Resource at NJ Parcel 0102_124_79	301 ATLANTIC AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.128021941	0.000176606	0.137949407
61	162388	Resource at NJ Parcel 0102_124_51	307 ATLANTIC AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.088846013	0.000266989	0.300507396
208	165097	Resource at NJ Parcel 0102_608_7	813 GREEN ST	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.093075059	0.002965175	3.185789108
247	165668	Resource at NJ Parcel 0102_663_4	1236 N INDIANA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.126188621	0.004033508	3.196412086

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OBJECT ID	Survey ID	Property Name	Address	Source	NRHP Status	Acres	Acres in PAPE	Percent Visible
227	165659	Resource at NJ Parcel 0102_621_1	1812 MARMORA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.328100741	0.010510969	3.203579664
40	550	Bartlett Building	1100 Atlantic Avenue	NJHPO	NRHP-Eligible (EDR-Reommeded)	1.170099854	0.038759738	3.312515497
229	165879	Resource at NJ Parcel 0102_628_10	1009 N OHIO AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.026864693	0.000898617	3.344974041
199	164819	Resource at NJ Parcel 0102_602_1	837 N NEW YORK AVE #A	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	3.191899776	0.109789886	3.43964076
68	162888	Resource at NJ Parcel 0102_308_11	120 N CONGRESS AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.037282374	0.000241913	0.648867428
25	3250	325 Atlantic Avenue	325 Atlantic Avenue	NJHPO	Not Eligible (EDR-Recommended)	0.045944702	0.001607284	3.498301268
117	164324	Resource at NJ Parcel 0102_543_10	415 DELTA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.05335677	0.001942215	3.640052795
69	163205	Resource at NJ Parcel 0102_309_21	111 N NEW JERSEY AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.023046056	0.00013503	0.585914552
200	164665	Resource at NJ Parcel 0102_602_7	705 N NEW YORK AVE RR	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.050472099	0.001879996	3.72482276
71	163215	Resource at NJ Parcel 0102_311_9	124 N DELAWARE AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.063074835	0.000410157	0.650269806
66	163225	Resource at NJ Parcel 0102_303_1	18 N NEW JERSEY AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	2.713466883	0.001504968	0.055462908
64	163236	Resource at NJ Parcel 0102_301_21	36 N MARYLAND AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.048762411	8.58661E-05	0.176090851
124	164111	Resource at NJ Parcel 0102_544_8	821 WABASH AVENUE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.037298821	0.001395555	3.741551876
250	163525	Resource at NJ Parcel 0102_663_9	1200 N INDIANA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.143407956	0.002287322	1.594975471
89	164050	Resource at NJ Parcel 0102_442_1	335 N PENNSYLVANIA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	1.096999288	0.041266434	3.761755705

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OBJECT ID	Survey ID	Property Name	Address	Source	NRHP Status	Acres	Acres in PAPE	Percent Visible
95	163789	Resource at NJ Parcel 0102_451_5	1214 ADRIATIC AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.188475445	0.002644351	1.403021336
170	159343	Resource at NJ Parcel 0102_560_2.02	819 N MASSACHUSETTS AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.165177286	0.006586638	3.987617493
84	163932	Resource at NJ Parcel 0102_417_5	702 LEXINGTON AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.064543188	0.000989845	1.533616066
63	161427	Resource at NJ Parcel 0102_128_13	33 S METROPOLITAN AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.02471713	0.000988923	4.00096035
212	165102	Resource at NJ Parcel 0102_610_6	1633 READING AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.09232194	0.003767519	4.080848694
86	163963	Resource at NJ Parcel 0102_432_4	305 N DELAWARE AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.018938202	3.0299E-05	0.159988537
88	163967	Resource at NJ Parcel 0102_435_2	814 ADRIATIC AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.043034066	0.00068753	1.597640991
91	163996	Resource at NJ Parcel 0102_451_11	1225 DREXEL AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.411257267	0.000247104	0.06008511
76	163496	Resource at NJ Parcel 0102_405_1	1330 MEDITERRANEAN AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	1.302042842	0.053207025	4.086426735
190	164818	Resource at NJ Parcel 0102_591_3	1004 SEWELL AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.383989125	0.01724593	4.491254807
65	161606	Resource at NJ Parcel 0102_302_1	815 ATLANTIC AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	4.011184692	0.183322951	4.57029438
240	165021	Resource at NJ Parcel 0102_660_3	1008 N KENTUCKY AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.103238583	0.004905718	4.751826763
99	164129	Resource at NJ Parcel 0102_504_4	1814 LINCOLN AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.020595634	3.08324E-08	0.000149704
98	164131	Resource at NJ Parcel 0102_504_3	1816 LINCOLN AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.023154609	0.000400495	1.729653597

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97	164133	Resource at NJ Parcel 0102_504_2	1818 LINCOLN AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.063105062	0.000494209	0.783152342
241	165802	Resource at NJ Parcel 0102_660_4	1601 MARMORA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.103268243	0.004935666	4.779461384
192	164310	Resource at NJ Parcel 0102_591_7	610 N VIRGINIA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.110907428	0.000360328	0.324890435
50	161015	Resource at NJ Parcel 0102_104_11	332 N RHODE ISLAND AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.308280766	0.015109898	4.901342869
119	164312	Resource at NJ Parcel 0102_543_3	420 N DELAWARE AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.091191679	0.001687313	1.850292683
92	162788	Resource at NJ Parcel 0102_451_2	1226 ADRIATIC AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.032910623	0.001700137	5.165921688
48	161005	Resource at NJ Parcel 0102_104_1	700 N RHODE ISLAND AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.745722294	0.038760037	5.197650433
96	159635	Resource at NJ Parcel 0102_476_19	912 N ARKANSAS AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	2.202350378	0.115691908	5.253110886
115	164318	Resource at NJ Parcel 0102_541_8	446 N MARYLAND AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.043152507	0.002272263	5.265656471
193	164319	Resource at NJ Parcel 0102_591_8	1001 CASPIAN AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.110926114	0.000639333	0.57635951
114	164315	Resource at NJ Parcel 0102_541_7	448 N MARYLAND AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.043153107	0.002307733	5.347780228
186	164321	Resource at NJ Parcel 0102_591_10	1023 CASPIAN AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.13165313	0.001521113	1.155394077
36	581	Atlantic City Armory	1008 Absecon Boulevard [Atlantic Boulevard and New York Avenue]	NJHPO	NRHP-Eligible (NJHPO-Determined)	4.002794743	0.220621929	5.511697292
265	165526	Resource at NJ Parcel 0102_674_6	1300 N INDIANA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.114707172	0.00650616	5.671973228
221	165133	Resource at NJ Parcel 0102_617_3	1720 GRANT AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.131118238	0.007444554	5.677741051

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116	164320	Resource at NJ Parcel 0102_541_9	444 N MARYLAND AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.043155558	0.002467647	5.718029022
140	164719	Resource at NJ Parcel 0102_553_3	732 MAGELLAN AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.046343971	0.002668218	5.75742197
101	164599	Resource at NJ Parcel 0102_510_7	1713 REV JJ WALTERS	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.083737023	0.000246281	0.294112384
111	164326	Resource at NJ Parcel 0102_541_17	436 N MARYLAND AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.043139581	0.002535194	5.876723289
134	164702	Resource at NJ Parcel 0102_553_11	712 MAGELLAN AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.058524299	0.003515444	6.006811619
165	164636	Resource at NJ Parcel 0102_558_1	518 MAGELLAN AVE	NJ Parcel coded to contain building constructed at least 40 years ago	contributing to the Atlantic City Beautiful	0.069163576	0.004264794	6.166242599
166	164638	Resource at NJ Parcel 0102_558_15	553 N CONNECTICUT AVE	NJ Parcel coded to contain building constructed at least 40 years ago	contributing to the Atlantic City Beautiful	0.050833415	0.005142875	10.11711502
113	164313	Resource at NJ Parcel 0102_541_6	450 N MARYLAND AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.043137036	0.002653338	6.150949955
257	165566	Resource at NJ Parcel 0102_672_4	1915 HURON AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.143518299	0.008861073	6.174176693
225	165657	Resource at NJ Parcel 0102_620_3	910 N INDIANA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.064622715	0.004008275	6.202578545
203	164663	Resource at NJ Parcel 0102_604_3	820 N NEW YORK AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.518362761	0.000126237	0.02435297
204	164664	Resource at NJ Parcel 0102_604_7	800 N NEW YORK AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.3273727	0.000376604	0.115038306
35	557	All Wars Memorial	814 Pacific Avenue	NJHPO	Nonextant	0.321218967	0.020109588	6.260398865
202	164666	Resource at NJ Parcel 0102_604_10	801 N KENTUCKY AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.377833694	0.001482626	0.392401814
188	164325	Resource at NJ Parcel 0102_591_12	1037 CASPIAN AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.119443908	0.007921289	6.631806374

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70	163213	Resource at NJ Parcel 0102_310_10	711 ARCTIC AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.246684268	0.0165448	6.70687294
177	164669	Resource at NJ Parcel 0102_566_12	431 CARSON AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.073402688	0.000272648	0.37144208
189	164309	Resource at NJ Parcel 0102_591_2	1030 SEWELL AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.136498898	0.009376965	6.869626522
224	165650	Resource at NJ Parcel 0102_620_2	912 N INDIANA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.064623453	0.004448487	6.883703709
120	164824	Resource at NJ Parcel 0102_543_9	413 DELTA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.053344816	0.003999815	7.498038769
242	165017	Resource at NJ Parcel 0102_662_1	1001 N NEW YORK AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.226396546	0.017779239	7.853140354
93	162787	Resource at NJ Parcel 0102_451_3	1224 ADRIATIC AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.030710729	0.00243631	7.93309164
160	164692	Resource at NJ Parcel 0102_556_21	611 SEWELL AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.050209269	0.000801852	1.59702003
185	164788	Resource at NJ Parcel 0102_590_1	700 N VIRGINIA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	1.706567526	0.146094382	8.560714722
179	164667	Resource at NJ Parcel 0102_566_15	423 CARSON AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.078351207	0.006786977	8.662249565
168	164701	Resource at NJ Parcel 0102_559_22	509 N CONNECTICUT AVE	NJ Parcel coded to contain building constructed at least 40 years ago	contributing to the Atlantic City Beautiful	0.068832152	0.004446954	6.460577011
173	164630	Resource at NJ Parcel 0102_564_2	614 N NEW JERSEY AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.220831901	0.019207919	8.697981834
215	165118	Resource at NJ Parcel 0102_611_1	725 N DR MARTIN LUTHER K	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.098245002	0.008698918	8.854310989
167	164708	Resource at NJ Parcel 0102_559_21	507 N CONNECTICUT AVE	NJ Parcel coded to contain building constructed at least 40 years ago	contributing to the Atlantic City Beautiful	0.068827361	0.000475425	0.690749884

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94	163791	Resource at NJ Parcel 0102_451_4	1222 ADRIATIC AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.036726039	0.003370229	9.176674843
81	161853	Resource at NJ Parcel 0102_415_1	822 LEXINGTON AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.293947399	0.027445206	9.336774826
135	164694	Resource at NJ Parcel 0102_553_12	560 N NEW JERSEY AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.086045474	0.008108409	9.423399925
126	164816	Resource at NJ Parcel 0102_545_17	743 WABASH AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.09208747	0.008998292	9.771461487
249	165694	Resource at NJ Parcel 0102_663_6	1222 N INDIANA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.119325452	0.011665089	9.775859833
164	164681	Resource at NJ Parcel 0102_556_32	537 N NEW JERSEY AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.067129098	0.00666678	9.931282997
159	164724	Resource at NJ Parcel 0102_555_3	626 SEWELL AVE	NJ Parcel coded to contain building constructed at least 40 years ago	contributing to the Atlantic City Beautiful	0.146246701	0.000271449	0.185610175
136	164726	Resource at NJ Parcel 0102_553_2	734 MAGELLAN AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.058505021	0.005833015	9.97010994
146	164728	Resource at NJ Parcel 0102_554_10	712 SEWELL AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.046802267	0.000637369	1.361832976
110	164323	Resource at NJ Parcel 0102_541_16	438 N MARYLAND AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.022160208	0.002305578	10.40413284
152	164732	Resource at NJ Parcel 0102_554_8	716 SEWELL AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.046915706	1.82237E-05	0.038843583
156	164733	Resource at NJ Parcel 0102_555_16	645 CASPIAN AVE	NJ Parcel coded to contain building constructed at least 40 years ago	contributing to the Atlantic City Beautiful	0.093234673	0.009411626	10.09455585
151	164735	Resource at NJ Parcel 0102_554_7	720 SEWELL AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.047069643	0.000723089	1.536211848
118	164316	Resource at NJ Parcel 0102_543_2	806 WABASH AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.045589954	0.004784623	10.49490643

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142	164714	Resource at NJ Parcel 0102_553_5	726 MAGELLAN AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.046341687	0.005069012	10.93834114
162	164691	Resource at NJ Parcel 0102_556_29	531 N NEW JERSEY AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.10323853	0.011293716	10.93943882
141	164717	Resource at NJ Parcel 0102_553_4	728 MAGELLAN AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.0463272	0.005125055	11.0627346
131	164774	Resource at NJ Parcel 0102_547_21	443 N NEW JERSEY AVE	NJ Parcel coded to contain building constructed at least 40 years ago	contributing to the Atlantic City Beautiful	0.068837762	6.48081E-05	0.094146192
209	161315	Resource at NJ Parcel 0102_609_1	919 N DR MARTIN LUTHER K	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.224201366	0.025412865	11.33483982
143	164712	Resource at NJ Parcel 0102_553_6	724 MAGELLAN AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.046258908	0.005248406	11.34571838
183	162851	Resource at NJ Parcel 0102_589_5	1062 BRIGANTINE BLVD	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	11.08144283	1.290267706	11.64349937
130	164311	Resource at NJ Parcel 0102_546_17	403 N DELAWARE AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.172936812	0.020560749	11.88916874
127	164815	Resource at NJ Parcel 0102_545_18	447 N DELAWARE AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.132499501	0.015795784	11.92139149
268	165419	Resource at NJ Parcel 0102_677_8	1400 ABSECON BLVD	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.34399578	0.04146437	12.05374336
74	162890	Resource at NJ Parcel 0102_312_6	121 N MARYLAND AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.045879725	0.00580007	12.64190292
90	163775	Resource at NJ Parcel 0102_443_14	362 N PENNSYLVANIA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.022167457	0.002812295	12.6865921
128	164820	Resource at NJ Parcel 0102_546_1	419 N DELAWARE AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.094632372	0.001112734	1.175848961
191	164821	Resource at NJ Parcel 0102_591_6	618 N VIRGINIA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.110926434	0.000603602	0.544146121

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OBJECT ID	Survey ID	Property Name	Address	Source	NRHP Status	Acres	Acres in PAPE	Percent Visible
175	164634	Resource at NJ Parcel 0102_565_8	555 N NEW JERSEY AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.061373346	0.007846819	12.78538609
238	165746	Resource at NJ Parcel 0102_657_1	1142 N INDIANA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.160634771	0.020587716	12.81647587
245	165020	Resource at NJ Parcel 0102_662_4	1415 MARMORA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.099801719	0.012822091	12.8475647
72	162112	Resource at NJ Parcel 0102_312_1	129 N MARYLAND AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.051602274	0.006637228	12.86227798
197	164829	Resource at NJ Parcel 0102_595_1	501 N TENNESSEE AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	1.689229846	0.026384454	1.561922073
201	164831	Resource at NJ Parcel 0102_603_1	710 N NEW YORK AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	1.712523818	0.000494209	0.028858505
109	164837	Resource at NJ Parcel 0102_539_1	401 N PENNSYLVANIA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.361901134	0.004088413	1.129704356
67	162889	Resource at NJ Parcel 0102_307_18	113 N CONGRESS AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.047331896	0.006095114	12.87739277
108	164847	Resource at NJ Parcel 0102_538_9	1103 ADRIATIC AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.02570409	1.76714E-05	0.068749227
103	164850	Resource at NJ Parcel 0102_535_1	420 N SOUTH CAROLINA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	1.081350923	0.000988418	0.091405809
104	164851	Resource at NJ Parcel 0102_538_11	1107 ADRIATIC AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.025530769	0.000264304	1.035235763
144	164711	Resource at NJ Parcel 0102_553_7	722 MAGELLAN AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.046342727	0.005969911	12.88208771
106	164855	Resource at NJ Parcel 0102_538_13	1111 ADRIATIC AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.026012938	7.15676E-06	0.027512314
271	164906	Resource at NJ Parcel 0102_681_11	1401 MADISON AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.120513178	0.002238777	1.857703209

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264	164914	Resource at NJ Parcel 0102_674_5	1308 N INDIANA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.229421601	0.000947455	0.412975371
254	164920	Resource at NJ Parcel 0102_670_13	1906 E RIVERSIDE DR	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.104083024	0.001304128	1.252969265
75	161800	Resource at NJ Parcel 0102_312_9	117 N MARYLAND AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.055067532	0.007184057	13.04590225
169	162853	Resource at NJ Parcel 0102_560_1	827 N MASSACHUSETTS AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.18351838	0.024059385	13.11006832
73	162114	Resource at NJ Parcel 0102_312_2	127 N MARYLAND AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.068825193	0.009094884	13.21446896
210	165831	Resource at NJ Parcel 0102_609_4	1616 MARMORA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.118782684	0.015924796	13.40666485
112	164823	Resource at NJ Parcel 0102_541_20	434 N MARYLAND AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.023965372	0.003235951	13.50261116
100	165058	Resource at NJ Parcel 0102_508_10	504 N INDIANA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.080315873	0.000247104	0.307665676
233	165877	Resource at NJ Parcel 0102_628_9	1011 N OHIO AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.026877861	0.003906611	14.53468037
176	164670	Resource at NJ Parcel 0102_566_10	477 CARSON AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.5748685	0.084274963	14.65986824
129	161286	Resource at NJ Parcel 0102_546_15	401 N DELAWARE AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.046463266	0.007053008	15.1797514
207	165099	Resource at NJ Parcel 0102_608_6	1615 READING AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.097085126	0.001294209	1.333066463
211	165100	Resource at NJ Parcel 0102_610_5	810 GREEN ST	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.091883309	0.001668778	1.816192746
214	165101	Resource at NJ Parcel 0102_610_8	811 N DR MARTIN LUTHER K	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.095292628	0.000138033	0.144851193

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178	164668	Resource at NJ Parcel 0102_566_13	427 CARSON AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.158053443	0.024235804	15.33393002
213	165104	Resource at NJ Parcel 0102_610_7	803 N DR MARTIN LUTHER K	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.094868153	0.000356176	0.375443459
78	161496	Resource at NJ Parcel 0102_405_6	218 N SOUTH CAROLINA AVE.	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.066533968	0.010322789	15.51506519
163	164686	Resource at NJ Parcel 0102_556_30	535 N NEW JERSEY AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.051633552	0.008065944	15.62151623
187	164322	Resource at NJ Parcel 0102_591_11	1029 CASPIAN AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.124349207	0.020959727	16.85553741
172	164639	Resource at NJ Parcel 0102_563_2	610 N NEW JERSEY AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.30077675	0.052120809	17.32873535
217	165136	Resource at NJ Parcel 0102_612_4	710 N DR MARTIN LUTHER K	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.097420804	0.000247104	0.253646433
222	165139	Resource at NJ Parcel 0102_617_9	1713 LINCOLN AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.045913015	3.60286E-07	0.000784713
219	165140	Resource at NJ Parcel 0102_617_12	1731 LINCOLN AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.045907158	0.000247104	0.538269818
220	165141	Resource at NJ Parcel 0102_617_13	1739 LINCOLN AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.13767013	0.000247104	0.179490194
258	165255	Resource at NJ Parcel 0102_673_1	1824 HORACE BRYANT JR DR	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.123764396	0.001698348	1.372243166
259	165256	Resource at NJ Parcel 0102_673_2	1336 PENROSE AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.095500827	0.000741313	0.776237428
260	165258	Resource at NJ Parcel 0102_673_3	1328 PENROSE AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.10601791	0.000928236	0.875546575
261	165260	Resource at NJ Parcel 0102_673_4	1322 PENROSE AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.116839752	0.000307286	0.262997657

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216	165131	Resource at NJ Parcel 0102_612_1	736 N DR MARTIN LUTHER K	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.097412571	0.016939608	17.38955116
184	164696	Resource at NJ Parcel 0102_589_6	814 N VIRGINIA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	4.496922016	0.793037772	17.63512421
122	164817	Resource at NJ Parcel 0102_544_3	449 N MARYLAND AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.175479338	0.030998176	17.66485786
269	165422	Resource at NJ Parcel 0102_680_5	1420 PENROSE AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.206460014	0.000247104	0.119686313
87	164023	Resource at NJ Parcel 0102_434_1	728 ADRIATIC AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.189309537	0.035645418	18.82917213
248	165678	Resource at NJ Parcel 0102_663_5	1230 N INDIANA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.121623218	0.023920069	19.66735458
263	165504	Resource at NJ Parcel 0102_674_4	1322 N INDIANA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.114718407	0.000535172	0.466508955
272	165521	Resource at NJ Parcel 0102_684_11	1410 MADISON AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.10323815	0.000247104	0.239353746
46	7782	Penrose Canal Bridge	U.S. Route 30 (Absecon Boulevard)	NJHPO	Nonextant	0.523894608	0.103433959	19.7432766
174	159344	Resource at NJ Parcel 0102_565_5	628 CARSON AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.091759935	0.018823527	20.51388359
273	165532	Resource at NJ Parcel 0102_684_13	1404 MADISON AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.051592659	0.000247104	0.478952616
274	165550	Resource at NJ Parcel 0102_684_16	1403 N MICHIGAN AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.051621608	1.75516E-06	0.00340004
123	164822	Resource at NJ Parcel 0102_544_5	441 N MARYLAND AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.154882312	0.031837918	20.55620003
246	165572	Resource at NJ Parcel 0102_663_2	1256 N INDIANA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.17208904	0.000610669	0.354856461
275	165576	Resource at NJ Parcel 0102_685_6	1408 N MICHIGAN AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.103233337	0.000494209	0.478729814

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125	164799	Resource at NJ Parcel 0102_545_1	451 N DELAWARE AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.141138151	0.029925395	21.20290947
198	164826	Resource at NJ Parcel 0102_596_1	501 N SOUTH CAROLINA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	1.528709769	0.324829012	21.2485733
150	164771	Resource at NJ Parcel 0102_554_26	507 N DELAWARE AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.091221638	0.019979268	21.90189552
133	164704	Resource at NJ Parcel 0102_553_10	714 MAGELLAN AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.046326645	0.010766095	23.23953247
30	645	419 CARSON AVE	419 CARSON AVE	NJHPO	NRHP-Eligible (NJHPO-Determined)	0.199119404	0.047757253	23.98422813
182	164640	Resource at NJ Parcel 0102_589_3	732 N MARYLAND AVE #A	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	4.543119431	1.144857883	25.19981956
138	161301	Resource at NJ Parcel 0102_553_22	545 N DELAWARE AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.091227628	0.023759313	26.04398918
251	165687	Resource at NJ Parcel 0102_664_5	1238 PENROSE AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.136507571	0.00173072	1.267856479
137	161307	Resource at NJ Parcel 0102_553_21	745 SEWELL AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.092062958	0.024070274	26.14544868
255	165706	Resource at NJ Parcel 0102_670_4	2024 E RIVERSIDE DR	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.156066358	0.000988418	0.633331597
85	163960	Resource at NJ Parcel 0102_432_1	311 N DELAWARE AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.019499345	0.005183437	26.58262062
237	165760	Resource at NJ Parcel 0102_655_2	1822 ERIE AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.229446158	0.00085496	0.372618854
236	165772	Resource at NJ Parcel 0102_655_1	1161 N OHIO AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.13767013	1.6156E-05	0.011735316
145	164753	Resource at NJ Parcel 0102_554_1	740 SEWELL AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.091203906	0.025262224	27.69861984
252	165822	Resource at NJ Parcel 0102_667_6	2027 ERIE AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.113997534	1.06511E-05	0.009343258

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181	162850	Resource at NJ Parcel 0102_589_2	818 N MARYLAND AVE #K	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	5.52722311	1.608877778	29.10824776
235	165833	Resource at NJ Parcel 0102_650_4	1160 N MICHIGAN AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.152979121	0.000247104	0.16152817
253	165837	Resource at NJ Parcel 0102_667_7	2037 ERIE AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.151675418	0.002506759	1.65271306
226	165843	Resource at NJ Parcel 0102_620_4	908 N INDIANA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.064642444	0.000216611	0.335091293
230	165860	Resource at NJ Parcel 0102_628_3	1025 N OHIO AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.029407801	0.000247104	0.840268135
234	165869	Resource at NJ Parcel 0102_629_1	1902 MARMORA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.092905402	0.001284498	1.382586956
228	165873	Resource at NJ Parcel 0102_622_1	1827 MCKINLEY AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.119279958	0.000247104	0.207163379
231	165874	Resource at NJ Parcel 0102_628_7	1017 N OHIO AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.02902603	0.000247104	0.851319969
267	165410	Resource at NJ Parcel 0102_677_3	1440 ABSECON BLVD	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.066897564	0.019569587	29.2530632
139	161292	Resource at NJ Parcel 0102_553_23	553 N DELAWARE AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.096376665	0.029087028	30.1805706
161	164710	Resource at NJ Parcel 0102_556_27	627 SEWELL AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.100394025	0.03109112	30.96909332
23	2759	324 Atlantic Avenue	324 Atlantic Avenue	NJHPO	Nonextant	0.073270097	0.001331073	1.81666722
3	2810	117 N Congress Avenue	117 N Congress Avenue	NJHPO	Nonextant	0.043041885	0.00577882	13.42603874
1	3116	115 N Congress Avenue	115 N Congress Avenue	NJHPO	Nonextant	0.043017432	0.008338715	19.38450241
121	164110	Resource at NJ Parcel 0102_544_13	809 WABASH AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.103252865	0.035824791	34.69617081
4	3301	117 S. Massachusetts Avenue	117 S. Massachusetts Avenue	NJHPO	Nonextant	0.043615859	0.000325108	0.745388329
5	3917	129 S Virginia Avenue	129 S Virginia Avenue	NJHPO	Not Eligible (EDR-Recommended)	1.279786944	0.011360028	0.887649894

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2	3953	115 S. Massachusetts Avenue	115 S. Massachusetts Avenue	NJHPO	Nonextant	0.043589737	0.005418154	12.42988586
41	511	Beth Kehillah Synagogue Building (H.G. Rosin Senior Center)	901 Pacific Avenue	NJHPO	Nonextant	0.216362253	0.002785353	1.287356019
6	7835	1808 E RIVERSIDE DR	1808 E RIVERSIDE DR	NJHPO	Not Eligible (EDR-Recommended)	0.104101598	0.038030576	36.53217316
44	551	Lafayette Hotel	111 North Carolina Avenue	NJHPO	Nonextant	0.929786384	0.003459461	0.372070581
47	556	Rescue Hook and Ladder Company (Engine Co. 2 & 3)	901 Arctic Avenue	NJHPO	Not Eligible (EDR-Recommended)	0.416458696	0.006385354	1.533250213
223	165645	Resource at NJ Parcel 0102_620_1	914 N INDIANA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.058531035	0.02167077	37.02441025
39	560	Atlantic City Fire Department	409 Melrose Avenue	NJHPO	Nonextant	0.278206557	0.127304181	45.75887299
195	164756	Resource at NJ Parcel 0102_594_5	555 N MARYLAND AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.103244185	0.040688053	39.40953445
239	165475	Resource at NJ Parcel 0102_659_1	1600 ABSECON BLVD	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.798291266	0.32751736	41.02730179
196	164762	Resource at NJ Parcel 0102_594_7	501 N MARYLAND AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.516297162	0.227804855	44.12281799
42	624	Fire Station #9	734 North Indiana Avenue	NJHPO	NRHP-Eligible (NJHPO-Determined)	0.235207662	0.000514588	0.218780503
132	161288	Resource at NJ Parcel 0102_553_1	559 N DELAWARE AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.086033143	0.045473997	52.85636902
24	7572	324 Parkside Avenue	324 Parkside Avenue	NJHPO	Nonextant	0.018382849	0.006701834	36.4569931
13	7619	232 Parkside Avenue	232 Parkside Avenue	NJHPO	Nonextant	0.01702231	0.003404201	19.99846649
14	7628	304 Parkside Avenue	304 Parkside Avenue	NJHPO	Nonextant	0.018413214	0.000894011	4.855270386
9	7633	213 Parkside Avenue	213 Parkside Avenue	NJHPO	Nonextant	0.018875105	0.005023712	26.61554337
22	7667	322 Parkside Avenue	322 Parkside Avenue	NJHPO	Nonextant	0.017073656	0.003519553	20.61393738
26	7732	346 Parkside Avenue	346 Parkside Avenue	NJHPO	Nonextant	0.014936826	0.009826949	65.79006958

Attachment G - All Properties in the Operations and Maintenance PAPE

OBJECT ID	Survey ID	Property Name	Address	Source	NRHP Status	Acres	Acres in PAPE	Percent Visible
27	7741	401 Rhode Island Avenue	401 Rhode Island Avenue	NJHPO	Nonextant	0.032652687	2.82509E-05	0.086519517
8	7771	1826 E RIVERSIDE DR	1826 E RIVERSIDE DR	NJHPO	Not Eligible (EDR-Recommended)	0.081170171	0.000615666	0.758487523
276	579	USCG Station Atlantic City	900 Beach Thorofare	NJHPO	NRHP-Eligible (NJHPO-Determined)	7.379956245	4.492599964	60.87569809
10	7805	226 Parkside Avenue	226 Parkside Avenue	NJHPO	Nonextant	0.021570181	0.001724023	7.992619991
19	7806	316 Parkside Avenue	316 Parkside Avenue	NJHPO	Nonextant	0.015850095	0.004265103	26.90900803
29	7829	409 Rhode Island Avenue	409 Rhode Island Avenue	NJHPO	Nonextant	0.036368538	0.000247104	0.679445505
28	7831	407 Rhode Island Avenue	407 Rhode Island Avenue	NJHPO	Nonextant	0.040279105	0.001482626	3.680881977
180	162852	Resource at NJ Parcel 0102_567_1	701 N MARYLAND AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	3.491726398	2.952938557	84.56958771
15	7859	306 Parkside Avenue	306 Parkside Avenue	NJHPO	Nonextant	0.016419914	0.002774661	16.89814758
18	7874	314 Parkside Avenue	314 Parkside Avenue	NJHPO	Nonextant	0.018337362	0.005543021	30.22802162
16	7989	308 Parkside Avenue	308 Parkside Avenue	NJHPO	Nonextant	0.016834719	0.004207262	24.99157715
17	8005	310 Parkside Avenue	310 Parkside Avenue	NJHPO	Nonextant	0.016622817	0.004016993	24.16553497
20	8038	318 Parkside Avenue	318 Parkside Avenue	NJHPO	Nonextant	0.018086826	0.003366744	18.61434364
12	8047	230 Parkside Avenue	230 Parkside Avenue	NJHPO	Nonextant	0.020075852	0.004870143	24.25871277
21	8075	320 Parkside Avenue	320 Parkside Avenue	NJHPO	Nonextant	0.016665142	0.002239594	13.43879032
31	8095	433 Rhode Island Avenue	433 Rhode Island Avenue	NJHPO	Nonextant	0.017707674	0.001754106	9.905905724
11	8232	228 Parkside Avenue	228 Parkside Avenue	NJHPO	Nonextant	0.017879367	0.004469958	25.0006485
33	8283	511 Rhode Island Avenue	511 Rhode Island Avenue	NJHPO	Nonextant	0.033647474	0.003440019	10.22370815
7	8287	1812 E RIVERSIDE DR	1812 E RIVERSIDE DR	NJHPO	Not Eligible (EDR-Recommended)	0.072850436	0.001335845	1.833680868

Attachment G - All Properties in the Operations and Maintenance PAPE

OBJECT ID	Survey ID	Property Name	Address	Source	NRHP Status	Acres	Acres in PAPE	Percent Visible
171	164672	Resource at NJ Parcel 0102_563_1	600 N NEW JERSEY AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	1.405765057	1.302960038	92.68689728
32	8360	435 Rhode Island Avenue	435 Rhode Island Avenue	NJHPO	Nonextant	0.019640142	0.00045481	2.315716743
38	8911	Atlantic City Electric, Lewis to Higbee Transmission Line	2121 BACHARACH BLVD	NJHPO	Nonextant	7.315918446	0.019697877	0.269246817
37	9284	Atlantic City Beautiful Historic District		NJHPO	NRHP-Eligible (NJHPO-Determined)	13.15858078	0.103582257	0.787184119

ATTACHMENT H

All Properties Surveyed – O&M Facility PAPE

Attachment H - All Properties Surveyed - Operations and Maintenance PAPE

OBJECTID	Survey ID	Property Name	Address	Source	Recommended Designation	Total # Acres	# Acres in PAPE	% Property w/ Visibility
6	7835	1808 E RIVERSIDE DR	1808 E RIVERSIDE DR	NJHPO	Not Eligible (EDR-Recommended)	0.104101598	0.038030576	36.53217316
30	645	419 CARSON AVE	419 CARSON AVE	NJHPO	NRHP-Eligible (NJHPO-Determined)	0.199119404	0.047757253	23.98422813
34	623	Absecon Lighthouse	301 Pacific Avenue	NJHPO	NRHP-Listed	2.036257505	0.047728218	2.343918562
35	557	All Wars Memorial	814 Pacific Avenue	NJHPO	Not Eligible (EDR-Recommended)	0.321218967	0.020109588	6.260398865
36	581	Atlantic City Armory	1008 Absecon Boulevard [Atlantic Boulevard and New York Avenue]	NJHPO	NRHP-Eligible (NJHPO-Determined)	4.002794743	0.220621929	5.511697292
37	9284	Atlantic City Beautiful Historic District		NJHPO	NRHP-Eligible (NJHPO-Determined)	13.15858078	0.103582257	0.787184119
40	550	Bartlett Building	1100 Atlantic Avenue	NJHPO	NRHP-Eligible (EDR-Recommended)	1.170099854	0.038759738	3.312515497
42	624	Fire Station #9	734 North Indiana Avenue	NJHPO	NRHP-Eligible (NJHPO-Determined)	0.235207662	0.000514588	0.218780503
46	7782	Penrose Canal Bridge	U.S. Route 30 (Absecon Boulevard)	NJHPO	Not Eligible (EDR-Recommended)	0.523894608	0.103433959	19.7432766
48	161005	Resource at NJ Parcel 0102_104_1	700 N RHODE ISLAND AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.745722294	0.038760037	5.197650433
67	162889	Resource at NJ Parcel 0102_307_18	113 N CONGRESS AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.047331896	0.006095114	12.87739277
70	163213	Resource at NJ Parcel 0102_310_10	711 ARCTIC AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.246684268	0.0165448	6.70687294
72	162112	Resource at NJ Parcel 0102_312_1	129 N MARYLAND AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.051602274	0.006637228	12.86227798
73	162114	Resource at NJ Parcel 0102_312_2	127 N MARYLAND AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.068825193	0.009094884	13.21446896

Attachment H - All Properties Surveyed - Operations and Maintenance PAPE

OBJECTID	Survey ID	Property Name	Address	Source	Recommended Designation	Total # Acres	# Acres in PAPE	% Property w/ Visibility
74	162890	Resource at NJ Parcel 0102_312_6	121 N MARYLAND AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.045879725	0.00580007	12.64190292
75	161800	Resource at NJ Parcel 0102_312_9	117 N MARYLAND AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.055067532	0.007184057	13.04590225
78	161496	Resource at NJ Parcel 0102_405_6	218 N SOUTH CAROLINA AVE.	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.066533968	0.010322789	15.51506519
81	161853	Resource at NJ Parcel 0102_415_1	822 LEXINGTON AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.293947399	0.027445206	9.336774826
85	163960	Resource at NJ Parcel 0102_432_1	311 N DELAWARE AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.019499345	0.005183437	26.58262062
87	164023	Resource at NJ Parcel 0102_434_1	728 ADRIATIC AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.189309537	0.035645418	18.82917213
90	163775	Resource at NJ Parcel 0102_443_14	362 N PENNSYLVANIA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.022167457	0.002812295	12.6865921
92	162788	Resource at NJ Parcel 0102_451_2	1226 ADRIATIC AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.032910623	0.001700137	5.165921688
93	162787	Resource at NJ Parcel 0102_451_3	1224 ADRIATIC AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.030710729	0.00243631	7.93309164
94	163791	Resource at NJ Parcel 0102_451_4	1222 ADRIATIC AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.036726039	0.003370229	9.176674843

Attachment H - All Properties Surveyed - Operations and Maintenance PAPE

OBJECTID	Survey ID	Property Name	Address	Source	Recommended Designation	Total # Acres	# Acres in PAPE	% Property w/ Visibility
96	159635	Resource at NJ Parcel 0102_476_19	912 N ARKANSAS AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	2.202350378	0.115691908	5.253110886
110	164323	Resource at NJ Parcel 0102_541_16	438 N MARYLAND AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.022160208	0.002305578	10.40413284
111	164326	Resource at NJ Parcel 0102_541_17	436 N MARYLAND AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.043139581	0.002535194	5.876723289
112	164823	Resource at NJ Parcel 0102_541_20	434 N MARYLAND AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.023965372	0.003235951	13.50261116
113	164313	Resource at NJ Parcel 0102_541_6	450 N MARYLAND AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.043137036	0.002653338	6.150949955
114	164315	Resource at NJ Parcel 0102_541_7	448 N MARYLAND AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.043153107	0.002307733	5.347780228
115	164318	Resource at NJ Parcel 0102_541_8	446 N MARYLAND AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.043152507	0.002272263	5.265656471
116	164320	Resource at NJ Parcel 0102_541_9	444 N MARYLAND AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.043155558	0.002467647	5.718029022
118	164316	Resource at NJ Parcel 0102_543_2	806 WABASH AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.045589954	0.004784623	10.49490643
120	164824	Resource at NJ Parcel 0102_543_9	413 DELTA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.053344816	0.003999815	7.498038769

Attachment H - All Properties Surveyed - Operations and Maintenance PAPE

OBJECTID	Survey ID	Property Name	Address	Source	Recommended Designation	Total # Acres	# Acres in PAPE	% Property w/ Visibility
121	164110	Resource at NJ Parcel 0102_544_13	809 WABASH AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.103252865	0.035824791	34.69617081
122	164817	Resource at NJ Parcel 0102_544_3	449 N MARYLAND AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.175479338	0.030998176	17.66485786
123	164822	Resource at NJ Parcel 0102_544_5	441 N MARYLAND AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.154882312	0.031837918	20.55620003
125	164799	Resource at NJ Parcel 0102_545_1	451 N DELAWARE AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.141138151	0.029925395	21.20290947
126	164816	Resource at NJ Parcel 0102_545_17	743 WABASH AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.09208747	0.008998292	9.771461487
127	164815	Resource at NJ Parcel 0102_545_18	447 N DELAWARE AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.132499501	0.015795784	11.92139149
129	161286	Resource at NJ Parcel 0102_546_15	401 N DELAWARE AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.046463266	0.007053008	15.1797514
130	164311	Resource at NJ Parcel 0102_546_17	403 N DELAWARE AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.172936812	0.020560749	11.88916874
132	161288	Resource at NJ Parcel 0102_553_1	559 N DELAWARE AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.086033143	0.045473997	52.85636902
133	164704	Resource at NJ Parcel 0102_553_10	714 MAGELLAN AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.046326645	0.010766095	23.23953247

Attachment H - All Properties Surveyed - Operations and Maintenance PAPE

OBJECTID	Survey ID	Property Name	Address	Source	Recommended Designation	Total # Acres	# Acres in PAPE	% Property w/ Visibility
134	164702	Resource at NJ Parcel 0102_553_11	712 MAGELLAN AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.058524299	0.003515444	6.006811619
135	164694	Resource at NJ Parcel 0102_553_12	560 N NEW JERSEY AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.086045474	0.008108409	9.423399925
136	164726	Resource at NJ Parcel 0102_553_2	734 MAGELLAN AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.058505021	0.005833015	9.97010994
137	161307	Resource at NJ Parcel 0102_553_21	745 SEWELL AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.092062958	0.024070274	26.14544868
138	161301	Resource at NJ Parcel 0102_553_22	545 N DELAWARE AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.091227628	0.023759313	26.04398918
139	161292	Resource at NJ Parcel 0102_553_23	553 N DELAWARE AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.096376665	0.029087028	30.1805706
140	164719	Resource at NJ Parcel 0102_553_3	732 MAGELLAN AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.046343971	0.002668218	5.75742197
141	164717	Resource at NJ Parcel 0102_553_4	728 MAGELLAN AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.0463272	0.005125055	11.0627346
142	164714	Resource at NJ Parcel 0102_553_5	726 MAGELLAN AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.046341687	0.005069012	10.93834114
143	164712	Resource at NJ Parcel 0102_553_6	724 MAGELLAN AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.046258908	0.005248406	11.34571838

Attachment H - All Properties Surveyed - Operations and Maintenance PAPE

OBJECTID	Survey ID	Property Name	Address	Source	Recommended Designation	Total # Acres	# Acres in PAPE	% Property w/ Visibility
144	164711	Resource at NJ Parcel 0102_553_7	722 MAGELLAN AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.046342727	0.005969911	12.88208771
145	164753	Resource at NJ Parcel 0102_554_1	740 SEWELL AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.091203906	0.025262224	27.69861984
150	164771	Resource at NJ Parcel 0102_554_26	507 N DELAWARE AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.091221638	0.019979268	21.90189552
161	164710	Resource at NJ Parcel 0102_556_27	627 SEWELL AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.100394025	0.03109112	30.96909332
162	164691	Resource at NJ Parcel 0102_556_29	531 N NEW JERSEY AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.10323853	0.011293716	10.93943882
163	164686	Resource at NJ Parcel 0102_556_30	535 N NEW JERSEY AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.051633552	0.008065944	15.62151623
164	164681	Resource at NJ Parcel 0102_556_32	537 N NEW JERSEY AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.067129098	0.00666678	9.931282997
169	162853	Resource at NJ Parcel 0102_560_1	827 N MASSACHUSETTS AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.18351838	0.024059385	13.11006832
171	164672	Resource at NJ Parcel 0102_563_1	600 N NEW JERSEY AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	1.405765057	1.302960038	92.68689728
172	164639	Resource at NJ Parcel 0102_563_2	610 N NEW JERSEY AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.30077675	0.052120809	17.32873535

Attachment H - All Properties Surveyed - Operations and Maintenance PAPE

OBJECTID	Survey ID	Property Name	Address	Source	Recommended Designation	Total # Acres	# Acres in PAPE	% Property w/ Visibility
173	164630	Resource at NJ Parcel 0102_564_2	614 N NEW JERSEY AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.220831901	0.019207919	8.697981834
174	159344	Resource at NJ Parcel 0102_565_5	628 CARSON AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.091759935	0.018823527	20.51388359
175	164634	Resource at NJ Parcel 0102_565_8	555 N NEW JERSEY AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.061373346	0.007846819	12.78538609
176	164670	Resource at NJ Parcel 0102_566_10	477 CARSON AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.5748685	0.084274963	14.65986824
178	164668	Resource at NJ Parcel 0102_566_13	427 CARSON AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.158053443	0.024235804	15.33393002
179	164667	Resource at NJ Parcel 0102_566_15	423 CARSON AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.078351207	0.006786977	8.662249565
180	162852	Resource at NJ Parcel 0102_567_1	701 N MARYLAND AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	3.491726398	2.952938557	84.56958771
181	162850	Resource at NJ Parcel 0102_589_2	818 N MARYLAND AVE #K	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	5.52722311	1.608877778	29.10824776
182	164640	Resource at NJ Parcel 0102_589_3	732 N MARYLAND AVE #A	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	4.543119431	1.144857883	25.19981956
183	162851	Resource at NJ Parcel 0102_589_5	1062 BRIGANTINE BLVD	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	11.08144283	1.290267706	11.64349937

Attachment H - All Properties Surveyed - Operations and Maintenance PAPE

OBJECTID	Survey ID	Property Name	Address	Source	Recommended Designation	Total # Acres	# Acres in PAPE	% Property w/ Visibility
184	164696	Resource at NJ Parcel 0102_589_6	814 N VIRGINIA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	4.496922016	0.793037772	17.63512421
185	164788	Resource at NJ Parcel 0102_590_1	700 N VIRGINIA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	1.706567526	0.146094382	8.560714722
187	164322	Resource at NJ Parcel 0102_591_11	1029 CASPIAN AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.124349207	0.020959727	16.85553741
188	164325	Resource at NJ Parcel 0102_591_12	1037 CASPIAN AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.119443908	0.007921289	6.631806374
189	164309	Resource at NJ Parcel 0102_591_2	1030 SEWELL AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.136498898	0.009376965	6.869626522
195	164756	Resource at NJ Parcel 0102_594_5	555 N MARYLAND AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.103244185	0.040688053	39.40953445
196	164762	Resource at NJ Parcel 0102_594_7	501 N MARYLAND AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.516297162	0.227804855	44.12281799
198	164826	Resource at NJ Parcel 0102_596_1	501 N SOUTH CAROLINA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	1.528709769	0.324829012	21.2485733
209	161315	Resource at NJ Parcel 0102_609_1	919 N DR MARTIN LUTHER K	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.224201366	0.025412865	11.33483982
210	165831	Resource at NJ Parcel 0102_609_4	1616 MARMORA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.118782684	0.015924796	13.40666485

Attachment H - All Properties Surveyed - Operations and Maintenance PAPE

OBJECTID	Survey ID	Property Name	Address	Source	Recommended Designation	Total # Acres	# Acres in PAPE	% Property w/ Visibility
215	165118	Resource at NJ Parcel 0102_611_1	725 N DR MARTIN LUTHER K	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.098245002	0.008698918	8.854310989
216	165131	Resource at NJ Parcel 0102_612_1	736 N DR MARTIN LUTHER K	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.097412571	0.016939608	17.38955116
221	165133	Resource at NJ Parcel 0102_617_3	1720 GRANT AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.131118238	0.007444554	5.677741051
223	165645	Resource at NJ Parcel 0102_620_1	914 N INDIANA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.058531035	0.02167077	37.02441025
224	165650	Resource at NJ Parcel 0102_620_2	912 N INDIANA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.064623453	0.004448487	6.883703709
225	165657	Resource at NJ Parcel 0102_620_3	910 N INDIANA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.064622715	0.004008275	6.202578545
233	165877	Resource at NJ Parcel 0102_628_9	1011 N OHIO AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.026877861	0.003906611	14.53468037
238	165746	Resource at NJ Parcel 0102_657_1	1142 N INDIANA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.160634771	0.020587716	12.81647587
239	165475	Resource at NJ Parcel 0102_659_1	1600 ABSECON BLVD	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.798291266	0.32751736	41.02730179
242	165017	Resource at NJ Parcel 0102_662_1	1001 N NEW YORK AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.226396546	0.017779239	7.853140354

Attachment H - All Properties Surveyed - Operations and Maintenance PAPE

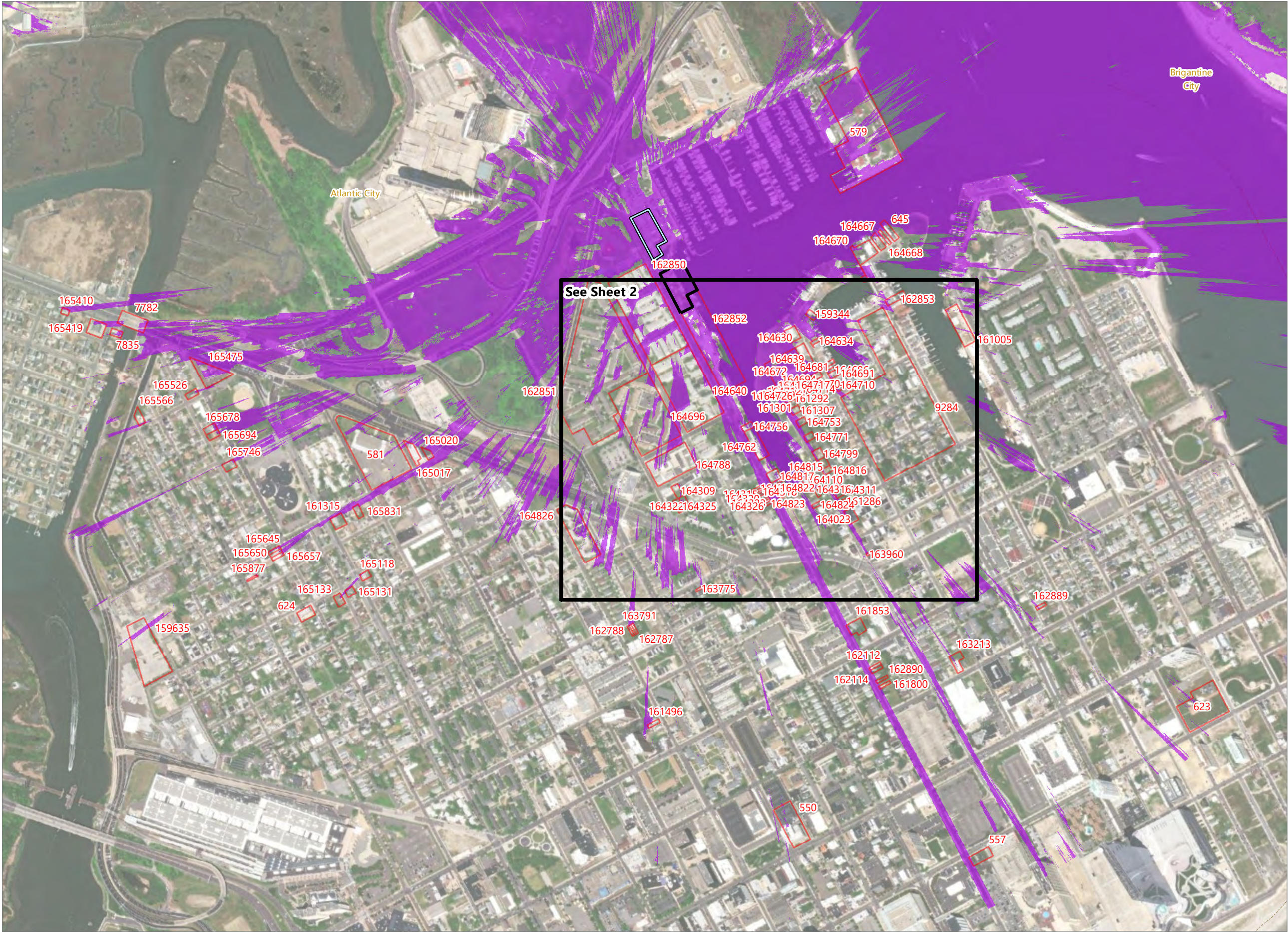
OBJECTID	Survey ID	Property Name	Address	Source	Recommended Designation	Total # Acres	# Acres in PAPE	% Property w/ Visibility
245	165020	Resource at NJ Parcel 0102_662_4	1415 MARMORA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.099801719	0.012822091	12.8475647
248	165678	Resource at NJ Parcel 0102_663_5	1230 N INDIANA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.121623218	0.023920069	19.66735458
249	165694	Resource at NJ Parcel 0102_663_6	1222 N INDIANA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.119325452	0.011665089	9.775859833
257	165566	Resource at NJ Parcel 0102_672_4	1915 HURON AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.143518299	0.008861073	6.174176693
265	165526	Resource at NJ Parcel 0102_674_6	1300 N INDIANA AVE	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.114707172	0.00650616	5.671973228
267	165410	Resource at NJ Parcel 0102_677_3	1440 ABSECON BLVD	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.066897564	0.019569587	29.2530632
268	165419	Resource at NJ Parcel 0102_677_8	1400 ABSECON BLVD	NJ Parcel coded to contain building constructed at least 40 years ago	Not Eligible (EDR-Recommended)	0.34399578	0.04146437	12.05374336
276	579	USCG Station Atlantic City	900 Beach Thorofare	NJHPO	NRHP-Eligible (NJHPO-Determined)	7.379956245	4.492599964	60.87569809

ATTACHMENT I

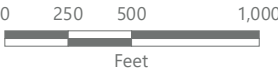
Map of Properties Surveyed – O&M Facility PAPE

Atlantic Shores Offshore Wind Project

Outer Continental Shelf



- Proposed Operations and Maintenance Facility Parking Structure
- O&M Facility
- Aboveground Historic
- O&M Facility PAPE
- Municipal Boundary

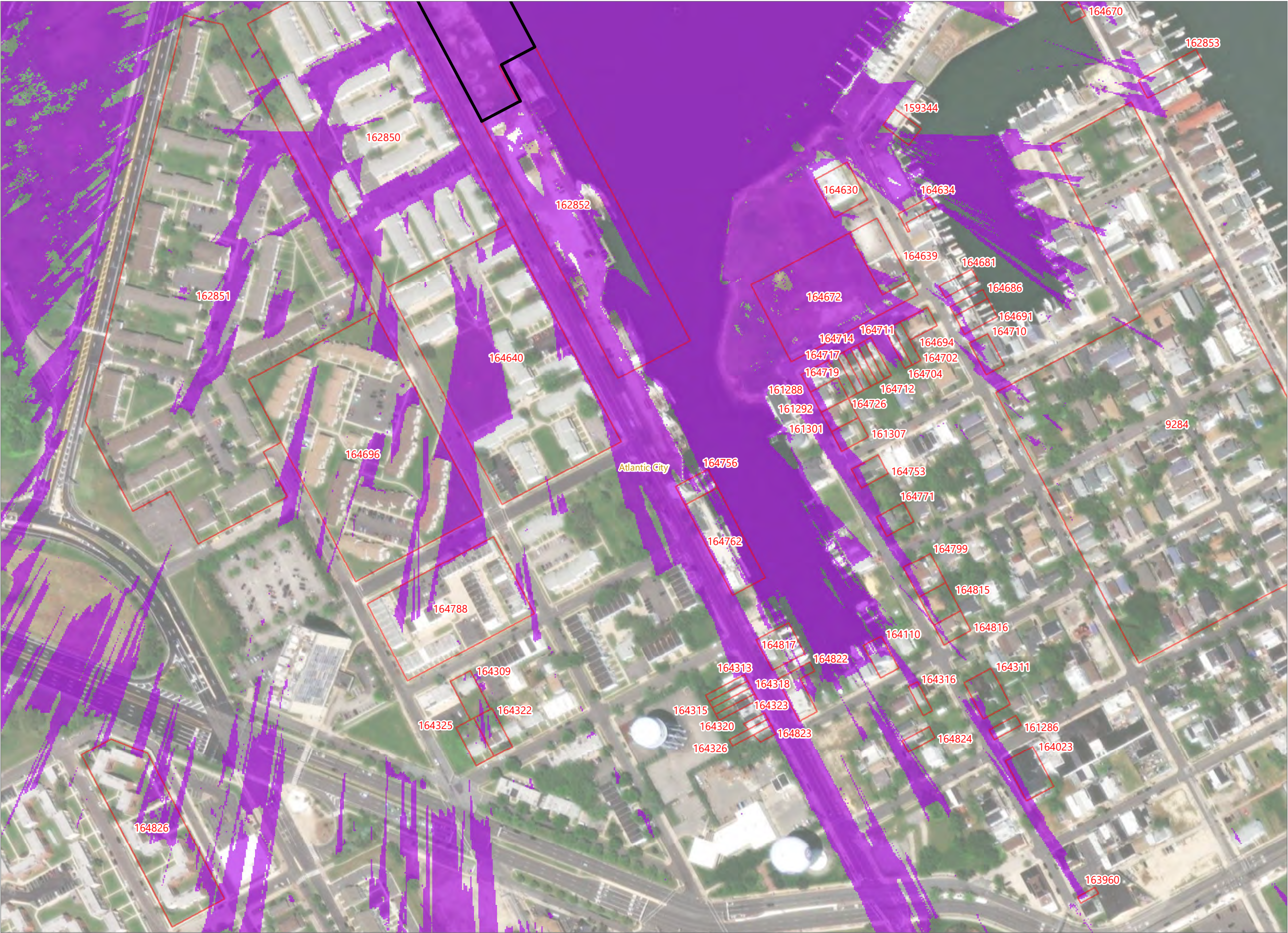


Prepared April 7, 2023
Basemap: Esri ArcGIS Online "World Imagery" map service

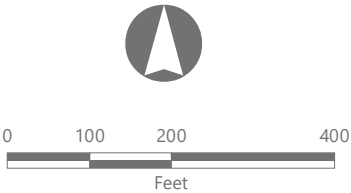
ATLANTIC SHORES
offshore wind

EDR

Atlantic Shores
Offshore Wind Project
Outer Continental Shelf



- O&M Facility
- Aboveground Historic Property
- O&M Facility PAPE
- Municipal Boundary



Prepared April 7, 2023
Basemap: Esri ArcGIS Online "World Imagery" map service

ATTACHMENT J

Architectural Survey Forms: NRHP-Eligible and NRHP-Listed Properties

Attachment J:
Architectural Survey Forms: NRHP-Eligible and NRHP-Listed Properties

Survey ID	Property Name	Address	Municipality	PAPE	Page Number
1	Dr. Jonathan Pitney House	57 North Shore Road	Absecon City	WTA	114
3	North Shore Road Historic District	N. Shore Road roughly bounded by Creek Road to the south and the town line to the north	Absecon City	WTA	8
2	South Shore Road Historic District	S. Shore Road roughly bounded by Nevada Avenue, and Statton Avenue	Absecon City	WTA	5
23	Absecon Lighthouse	Pacific and Rhode Island Avenues	Atlantic City	WTA/O &M	172
14	Administration Building for the Board of Education	1809 Pacific Avenue	Atlantic City	WTA	144
17	Atlantic City Beautiful Historic District	N. Connecticut Avenue roughly bounded by N. Massachusetts, N. New Jersey, Barret, and Adriatic Avenues	Atlantic City	WTA/O &M	11
24	Atlantic City Boardwalk Historic District	Boardwalk roughly bounded by S. Georgia Avenue to the southwest and Garden Pier to the northeast	Atlantic City	WTA	14
13	Atlantic City Convention Hall	Boardwalk between Pacific, Mississippi, and Florida Avenues	Atlantic City	WTA	1
550	Bartlett Building	1100 Atlantic Avenue	Atlantic City	O&M	362
18	Brighton Park	1801 Boardwalk	Atlantic City	WTA	152
16	Carnegie Library (Atlantic City Public Library)	35 South Dr. Martin Luther King Jr. Boulevard	Atlantic City	WTA	148
119	Central Pier	1400 Boardwalk	Atlantic City	WTA	342
118	Clairidge Hotel	120 South Indiana Avenue	Atlantic City	WTA	340
22	Colonial Revival Residence at 120 Atlantic Avenue	120 Atlantic Avenue	Atlantic City	WTA	168
20	Commercial Building at 1425 Boardwalk	1425 Boardwalk	Atlantic City	WTA	160
624	Fire Station #9	734 North Indiana Avenue	Atlantic City	O&M	366
114	Missouri Avenue Beach (Chicken Bone Beach)	N/A	Atlantic City	WTA	333
7	Residence at 125 S Montgomery Avenue	125 S Montgomery Avenue	Atlantic City	WTA	126
645	Residence at 419 Carson Avenue	419 Carson Avenue	Atlantic City	O&M	360
11	Ritz Carlton Hotel	2715 Boardwalk	Atlantic City	WTA	140
115	Riviera Apartments	116 S. Raleigh Avenue	Atlantic City	WTA	336
581	The Atlantic City Armory	1008 Absecon Boulevard.	Atlantic City	O&M	358
19	The Inn of the Irish Pub	164 St. James Place	Atlantic City	WTA	156
10	The Knife and Fork Inn	3600 Atlantic Avenue	Atlantic City	WTA	138
6	Two-and-a-half-story Residence at 104 S. Montgomery Avenue	104 S. Montgomery Avenue	Atlantic City	WTA	122
9	Two-and-a-half-story Residence at 116 S. Ridgeway Avenue	116 S. Ridgeway Avenue	Atlantic City	WTA	134
21	Two-and-a-half-story Residence at 124 Atlantic Avenue	124 Atlantic Avenue	Atlantic City	WTA	164
5	Two-and-a-half-story Residence at 4700 Atlantic Avenue	4700 Atlantic Avenue	Atlantic City	WTA	118
8	Two-story Residence at 108 S. Raleigh Avenue	108 S. Raleigh Avenue	Atlantic City	WTA	130
4	U.S. Route 30 Bridge (SI&A # 0103-152)	U.S. Route 30 (Absecon Boulevard) over Beach Thorofare	Atlantic City	WTA	116

Attachment J:
Architectural Survey Forms: NRHP-Eligible and NRHP-Listed Properties

Survey ID	Property Name	Address	Municipality	PAPE	Page Number
12	USCG Station Atlantic City	900 Beach Thorofare	Atlantic City	WTA/O &M	142
15	Warner Theatre (façade)	Atlantic City Boardwalk between Michigan and Arkansas Avenues	Atlantic City	WTA	146
25	Camden and Atlantic Railroad Historic District	Within the former railroad grade that traveled from Camden in Camden County to Atlantic City in Atlantic County.	Atlantic City, Winslow Township, Waterford Township, Chesilhurst Borough, Absecon City, Pleasantville City, Egg Harbor Township, Egg Harbor City, Hammonton Town, Mullica Township, and Galloway Township	WTA	20
26	Townsend Inlet Bridge (SI&A # 3100003)	Ocean Highway over Townsend Inlet	Avalon Borough, Middle Township, and Sea Isle City	WTA	174
27	Barnegat Lighthouse	Northern end of Long Beach Island	Barnegat Light Borough	WTA	176
28	Bass River State Forest Historic District	Stage Road	Bass River Township	WTA	22
29	Beach Haven Historic District	Roughly bounded on the north by 3rd Street, on the east by South Atlantic Avenue, on the south by Pearl Street, on the west by properties to the west of South Beach Avenue.	Beach Haven Borough	WTA	24
30	Beach Haven Historic District (Boundary Increase and Additional Documentation)	Roughly bounded by Atlantic, Bay, Fifth, and Chatsworth Avenues	Beach Haven Borough	WTA	27
31	Greater Beach Haven Historic District	Roughly the west side of Atlantic Avenue to Chatsworth Avenue to the south, Bay Avenue to the west and the north side of Fifth Street.	Beach Haven Borough	WTA	30
32	Residence at 101 Dolphin Avenue	101 Dolphin Avenue	Beach Haven Borough	WTA	178
33	Garden State Parkway Historic District	Garden State Parkway	Bergen, Passaic, Essex, Union, Middlesex, Monmouth, Ocean, Atlantic and Cape May	WTA/O nshore	33
34	AT&T Transmitter Building and Antenna Field	83 Bayview Avenue (Ocean County Route 617)	Berkeley Township	WTA	182
36	Island Beach State Park Historic District	Central Avenue	Berkeley Township	WTA	39
35	Midway Camps Historic District	Bounded on the north by 14th Avenue, on the east by Ocean Avenue, on the south by 20th Avenue, and on the west by Central Avenue	Berkeley Township	WTA	36
37	The Judge's Shack	Central Avenue	Berkeley Township	WTA	184
112	U.S. Life Saving Station No. 14	Central Avenue	Berkeley Township	WTA	331
44	Brigantine Hotel	1400 Ocean Avenue	Brigantine City	WTA	208
38	Brigantine Lighthouse	Brigantine Boulevard (County Route 638)	Brigantine City	WTA	186

Attachment J:
Architectural Survey Forms: NRHP-Eligible and NRHP-Listed Properties

Survey ID	Property Name	Address	Municipality	PAPE	Page Number
43	Central School / Brigantine Library	201 15th Street S	Brigantine City	WTA	204
41	Chateausque House at 2807 Ocean Avenue	2807 Ocean Avenue	Brigantine City	WTA	196
42	Residence at 200 18th Street South	200 18th Street South	Brigantine City	WTA	200
39	Residence at 2201 Bayshore Avenue	2201 Bayshore Avenue	Brigantine City	WTA	188
40	Residence at 2707 West Brigantine Avenue	2707 West Brigantine Avenue	Brigantine City	WTA	192
45	St. Thomas the Apostle Church	331 8th Street South	Brigantine City	WTA	212
46	North and South Tuckahoe Historic District	Main Street and NJ 50 from 303 NJ 50 to 2057 NJ 50	Corbin City and Upper Township	WTA	42
47	Isaac and Keziah (Abbott) Smith House	152 Lee's Lane	Egg Harbor Township	WTA	216
48	Studebaker Showroom	7006 Black Horse Pike	Egg Harbor Township	WTA	220
51	Conoverstown Historic District	North Shore Road roughly bounded by Old Shore Road to the north and the town line to the south	Galloway Township	WTA	45
50	Germania Gunning Club	722 West Moss Mill Road	Galloway Township	WTA	224
49	L.N. Renault and Sons Winery	72 North Breman Avenue	Galloway Township	WTA	222
53	Oceanville / Leeds Point / Moss Mill Historic District	S. Leeds Point Road roughly bounded by E. Moss Road to the north and E. Somerstown Lane to the south.	Galloway Township	WTA	48
52	Seaview Golf Club (historic), Clarence Geist Pavilion	401 South New York Road	Galloway Township	WTA	228
54	Abbott's Modern Cabins	217 NJ Route 40	Hamilton Township	WTA	233
55	West Jersey and Atlantic Railroad Historic District	N/A	Hamilton Township and Egg Harbor Township	WTA/O nshore	51
56	Woodmansee Estate	1 Game Farm Road	Lacey Township	WTA	235
57	Ocean Beach Historic District (Units 1, 2, and 3)	The district comprises three separate dense residential areas in Lavallette Borough, each bisected by State Route 35 North and containing orderly east-west streets. Each district is bounded on the east by the beaches at Dover Beaches North (in the northern most district), Chadwick Beach (in the central district), and Island Beach (in the southern-most district).	Lavallette Borough	WTA	54
58	Stevens House	1 Brown Avenue	Lavallette Borough	WTA	237
59	Linwood Historic District	Roughly Shore Road from Royal Avenue to Sterling Avenue	Linwood	WTA	57
60	Little Egg Harbor US Life Saving Station #23	800 Great Bay Boulevard	Little Egg Harbor Township	WTA	241
61	Cape May Lighthouse	Cape May Point	Lower Township	WTA	243
62	Mantoloking Historic District	Bounded on the north by the municipal line with Bay Head Borough, the municipal boundary with Brick Township to the south, the beaches at Mantoloking to the east, and Barnegat Bay to the west	Mantoloking Borough	WTA	60
63	Lucy, the Margate Elephant	Decatur and Atlantic Avenues	Margate City	WTA	3
66	Margate Fishing Pier	121 S. Exeter Avenue	Margate City	WTA	249

Attachment J:
Architectural Survey Forms: NRHP-Eligible and NRHP-Listed Properties

Survey ID	Property Name	Address	Municipality	PAPE	Page Number
65	Two-Story Residence at 108 South Gladstone Avenue	108 South Gladstone Avenue	Margate City	WTA	247
64	Two-Story Residence at 114 South Osborne Avenue	114 South Osborne Avenue	Margate City	WTA	245
67	Grassy Sound Historic District	Houses along the East and West Bank of Grassy Sound north of Route 147	Middle Township	WTA	63
9262	New Jersey Southern Railroad Historic District	N/A	multiple	WTA/O nshore	17
70	Aloha Motel	210 John F Kennedy Boulevard	North Wildwood City	WTA	259
69	American Inn (Lou Booth Motel)	510 East 13th Avenue	North Wildwood City	WTA	257
125	Athens II Motor Inn	201 Ocean Avenue	North Wildwood City	WTA	350
71	Hereford Lighthouse	111 North Central Avenue	North Wildwood City	WTA	263
72	North Wildwood Life Saving Station	113 North Central Avenue	North Wildwood City	WTA	265
68	Sahara Motel	510 East 18th Avenue	North Wildwood City	WTA	253
73	Shore Road Historic District	Shore Road roughly bounded by E. Oakcrest Avenue to the south and the town line to the north	Northfield	WTA	66
74	Folk Victorian Residence at 5231-5229 Central Avenue	5231-5229 Central Avenue	Ocean City	WTA	267
77	Gillian's Wonderland Pier	600 Boardwalk	Ocean City	WTA	277
76	Music Pier	825 Boardwalk	Ocean City	WTA	275
113	Ocean City Boardwalk	N/A	Ocean City	WTA	111
75	St. Augustine Rectory	1310 Ocean Avenue	Ocean City	WTA	271
78	Residence at 319 W. Leeds Avenue	319 W Leeds Avenue	Pleasantville City	WTA	279
79	Wesley Methodist Episcopal Church (historic)	102-110 Linden Avenue	Pleasantville City	WTA	283
80	Chestnut Neck Boat Yard	758 Old New York Road	Port Republic City	WTA	287
87	Braca Cafe	18 JFK Boulevard	Sea Isle City	WTA	301
83	Folk Victorian Residence at 12 50th Street	12 50th Street	Sea Isle City	WTA	293
86	Folk Victorian Residence at 13 47th Street	13 47th Street	Sea Isle City	WTA	299
85	Residence at 20 46th Street	20 46th Street	Sea Isle City	WTA	297
81	Residence at 22 54th Street	22 54th Street	Sea Isle City	WTA	289
82	Residence at 24 53rd Street	24 53rd Street	Sea Isle City	WTA	291
84	Second Empire Residence at 26 46th Street	26 46th Street	Sea Isle City	WTA	295
88	U.S. Life Saving Station No. 13	1701 North Ocean Avenue	Seaside Park Borough	WTA	303
93	Bay Front Historic District	Roughly bounded by Decatur Ave., Egg Harbor Bay, George Ave., and Shore Rd	Somers Point	WTA	75
91	Bay Front Historic District Extension	745-900 Shore Road	Somers Point	WTA	69

Attachment J:
Architectural Survey Forms: NRHP-Eligible and NRHP-Listed Properties

Survey ID	Property Name	Address	Municipality	PAPE	Page Number
90	New York Avenue School	121 W New York Avenue	Somers Point	WTA	307
92	Shore Road Historic District	Shore Road roughly bounded by Goll Avenue, Pleasant Avenue, and Center Street	Somers Point	WTA	72
89	Somers Mansion	1000 Shore Road	Somers Point	WTA	305
95	Tuckerton Historic District	U.S. Route 9 and County Route 539, roughly between Parkers Landing and Pohatcong Lake.	Tuckerton Borough	WTA	81
94	Tuckerton Historic District (Local)	The district comprises select blocks on the north and south sides of U.S. Route 9 between Locust Street in the eastern extent and Taylor Street in the western extent.	Tuckerton Borough	WTA	78
98	Corson's Inlet Bridge (SI&A # 3100002)	Ocean Drive, Bay Avenue (County Rte. 619) over Strathmere Bay	Upper Township	WTA	311
96	Marshallville Historic District	Roughly between 286 and 375 Marshallville Road	Upper Township	WTA	84
99	Residence at 25 North Bayview Drive	25 North Bayview Drive	Upper Township	WTA	313
97	South Tuckahoe Historic District	Roughly NJ 557 and NJ 50 from the Tuckahoe River to Kendall Lane	Upper Township	WTA	87
100	Two Residences at 1 Cove Road		Upper Township	WTA	317
104	John Stafford Historic District	100 blocks of Vassar Square, Baton Rouge, Marion and Austin Avenues	Ventnor City	WTA	93
101	Residence at 114 South Harvard Avenue	114 South Harvard Avenue	Ventnor City	WTA	321
103	Saint Leonard's Tract Historic District	Ventnor and Atlantic Avenues roughly bounded by the shoreline, S. Surrey Avenue, N. Cambridge Avenue and the Intercoastal Waterway	Ventnor City	WTA	90
105	Vassar Square Condominiums	4800 Boardwalk	Ventnor City	WTA	327
102	Ventnor City Fishing Pier	Cambridge Avenue at the Ventnor City Boardwalk	Ventnor City	WTA	323
106	Green Bank Historic District	East and west of the intersection of County Routes 542 and 561.	Washington Township	WTA	96
123	Beach Hugger Motel (ex Al Sann)	210 Ocean Avenue	Wildwood City	WTA	348
122	European Motel	300 Ocean Avenue	Wildwood City	WTA	346
107	George A. Redding Bridge (SI&A # 0506150)	NJ Route 47 over Grassy Sound	Wildwood City	WTA	329
121	Le Sabre Condominiums	510 East 8th Avenue	Wildwood City	WTA	344
117	Trylon Motel	1200 JFK Drive	Wildwood City	WTA	338
109	Wildwood Amusement Piers	3401 Boardwalk	Wildwood City	WTA	102
108	Wildwoods Shore Resort Historic District	Roughly Atlantic Avenue and Ocean Avenue between East Andrews and East Pittsburgh Avenues	Wildwood City	WTA	99
126	Acacia Beachfront Resort	9101 Atlantic Avenue	Wildwood Crest Borough	WTA	354

BASE FORM

Historic Sites #:

Property Name: Atlantic City Convention Hall

Street Address: Street #: 2301 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Boardwalk Suffix: N/A Type: N/A

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 38

Local Place Name(s): N/A **Lot(s):** 3

Ownership: Public **USGS Quad(s)** Atlantic City

Photograph:



Description: The Atlantic City Convention Hall, constructed in 1926-1929 by Lockwood- Greene and Co., exhibits Beaux-Arts and Romanesque style elements and features a cut limestone façade and curved arcade fronting the beach. The arcade features a covered double row of columns anchored by public bathhouses on each end. The facade of the building features massive columns supporting Romanesque arches, and the recessed entrances feature large arched windows. Decorative motifs include elements popular on the Atlantic City Boardwalk in the 1920s and include cut stone ocean flora and fauna.

Registration and Status Dates: National Historic Landmark: February 27, 1987 SHPO Opinion: September 30, 1983
National Register: February 27, 1987 Local Designation: _____
New Jersey Register: March 2, 1993 Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

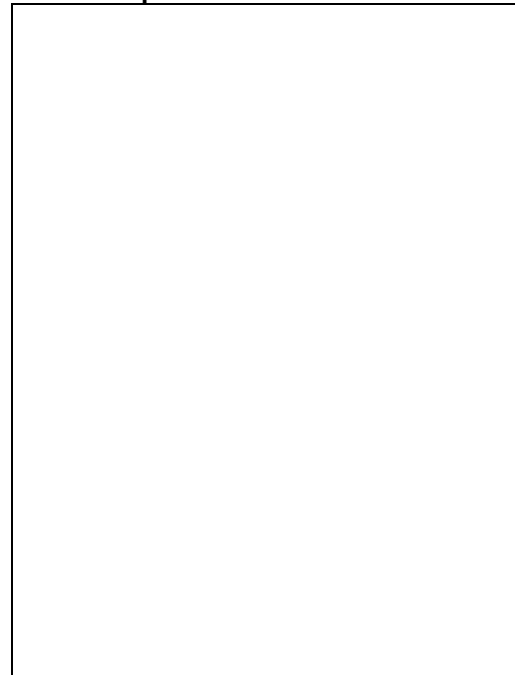
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: Lucy, the Margate Elephant

Street Address: Street #: N/A (Low) N/A (High) Apartment #: N/A (Low) N/A (High)

Prefix: N/A Street Name: Decatur Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08402

Municipality(s): Margate City **Block(s):** 26

Local Place Name(s): N/A **Lot(s):** 2

Ownership: Public **USGS Quad(s)** Ocean City

Photograph:



Description: Lucy, the Margate Elephant was built in 1881 as a real estate marketing gimmick by James Lafferty, who patented zoomorphic architecture. His “Elephant Bazaar” (dubbed “Lucy” by subsequent owners) had a wood frame and tin-clad wood sheathing; the frame has since been reinforced with steel and the sheathing is currently being restored. At 65 ft tall and 60 ft long, it is one of the largest statue-like structures in America and the oldest roadside tourist attraction. In 1970, after threats of demolition, Lucy was moved to a nearby city-owned lot and restored.

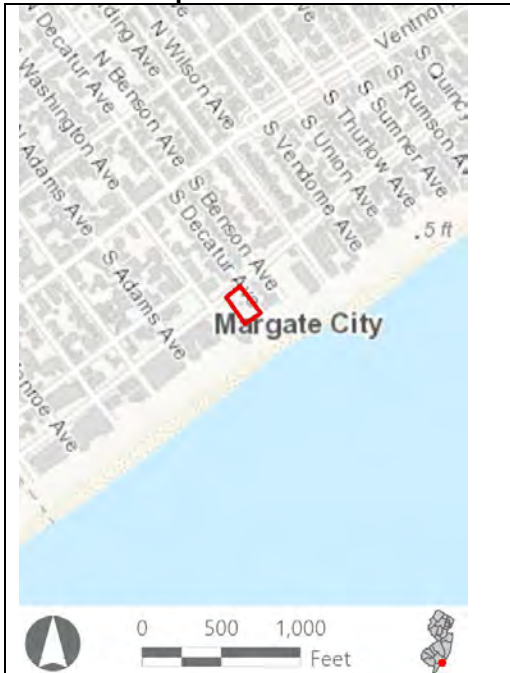
Registration and Status Dates: National Historic Landmark: May 11, 1976 SHPO Opinion: _____
National Register: August 12, 1971 Local Designation: _____
New Jersey Register: April 6, 1971 Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

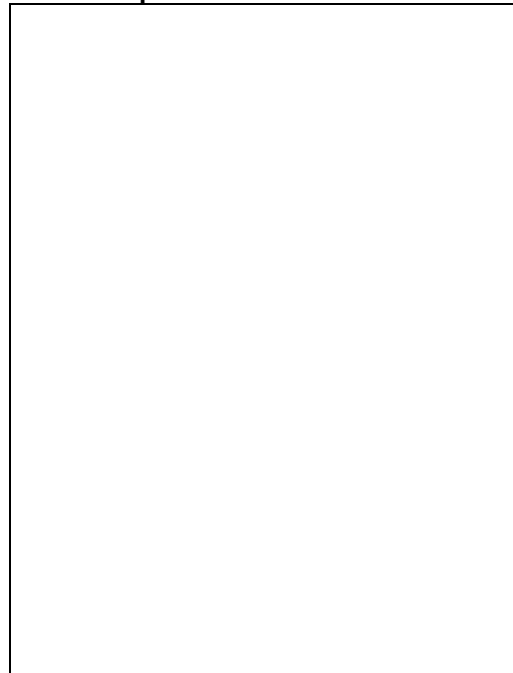
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

HISTORIC DISTRICT FORM

Historic Sites #:

District Name: <u>SOUTH SHORE ROAD HISTORIC DISTRICT</u>	
County(s): <u>Atlantic</u>	District Type: <u>Residential</u>
Municipality(s): <u>Absecon City</u>	USGS Quad(s): <u>Pleasantville</u>
Local Place Name(s): <u>N/A</u>	
Development Period <u>1860</u> To <u>1920</u>	Source: <u>Stylistic evidence; NJHPO</u>
Physical Condition: <u>Good</u>	
Remaining Historic Fabric: <u>High</u>	
Registration and Status Dates:	SHPO Opinion: <u>2/14/96</u>
National Historic Landmark: _____	Local Designation: _____
National Register: _____	Other Designation: _____
New Jersey Register: _____	Other Designation Date: _____
Determination of Eligibility: _____	

Description: The South Shore Road Historic District is primarily a residential district centered along South Shore Road. Residences date from the nineteenth and early-twentieth centuries. The houses along South Shore Road, especially in the northern section of the district, are larger in scale and represent examples of Neoclassical, Italianate, Second Empire, Gothic Revival and vernacular styles of architecture. Along the side streets extending off of South Shore Road, residences are typically smaller in scale representing Craftsman and Colonial Revival architectural styles. The Absecon Inn, a "high-style" Second Empire building anchors the northern end of the district. This resource has been previously determined eligible for the NRHP by the NJHPO.

Setting: The South Shore Road Historic District is located on the mainland in Absecon City, Atlantic County, approximately six miles from the Atlantic Ocean. While the district does contain a small portion of Absecon Creek that flows into Absecon Bay, none of the properties within the district are located on the bay or in a maritime setting.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

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Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

HISTORIC DISTRICT FORM

Historic Sites #:

District Name:	<u>NORTH SHORE ROAD</u>		
County(s):	<u>Atlantic</u>	District Type:	<u>Residential</u>
Municipality(s):	<u>Absecon City</u>	USGS Quad(s):	<u>Oceanville</u>
Local Place Name(s):	<u>N/A</u>		
Development Period	<u>1800</u>	To	<u>1940</u>
Source:	<u>Stylistic evidence; NJHPO</u>		
Physical Condition:	<u>Excellent</u>		
Remaining Historic Fabric:	<u>High</u>		
Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion:	<u>2/14/96</u>
	National Register: _____	Local Designation:	_____
	New Jersey Register: _____	Other Designation:	_____
	Determination of Eligibility: _____	Other Designation Date:	_____

Description: The North Shore Road Historic District is primarily a residential district centered along North Shore Road. Residences date from around the late-eighteenth to the twentieth century. The houses along North Shore Road, especially in the southern section of the district, are larger in scale and represent "high-style" examples of Italianate, Gothic Revival, Queen Anne, Shingle, and vernacular styles of architecture. This resource has been previously determined eligible for the NRHP by the NJHPO.

Setting: The North Shore Road Historic District is located on the mainland in Absecon City, Atlantic County, approximately six miles from the Atlantic Ocean. None of the properties within the district are located on the bay or in a maritime setting. However, views of Absecon Creek, which eventually flows into Absecon Bay, are visible at the end of some roads from limited points in the district.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

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Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

HISTORIC DISTRICT FORM

Historic Sites #:

District Name: <u>Atlantic City Beautiful Historic District</u>	
County(s): <u>Atlantic</u>	District Type: <u>Residential</u>
Municipality(s): <u>Atlantic City</u>	USGS Quad(s): <u>Atlantic City</u>
Local Place Name(s): <u>Bungalow Park</u>	
Development Period <u>1900</u> To <u>1920</u>	Source: <u>Stylistic evidence; Bungalow Park website</u>
Physical Condition: <u>Good</u>	
Remaining Historic Fabric: <u>Medium</u>	
Registration and Status Dates:	SHPO Opinion: <u>10/27/2014</u>
National Historic Landmark: _____	Local Designation: _____
National Register: _____	Other Designation: _____
New Jersey Register: _____	Other Designation Date: _____
Determination of Eligibility: _____	

Description: The Atlantic City Beautiful Historic District was determined to be eligible for listing in the NRHP by NJHPO in 2014 with significance under Criterion C. The district is characterized by Bungalow dwellings located in what was historically known as Bungalow Park.

Setting: The Atlantic City Beautiful Historic District is situated to the southwest of Absecon Channel in the northern extent of Atlantic City. The district's maritime setting is related to its proximity to the channel rather than the Atlantic Ocean and the district does not have direct views to the ocean or beaches in Atlantic City due to the dense residential and commercial development in the surrounding area.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

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Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

HISTORIC DISTRICT FORM

Historic Sites #:

District Name: <u>ATLANTIC CITY BOARDWALK HISTORIC DISTRICT</u>	
County(s): <u>Atlantic</u>	District Type: <u>Commercial; Other</u>
Municipality(s): <u>Atlantic City</u>	USGS Quad(s): <u>Atlantic City</u>
Local Place Name(s): _____	
Development Period <u>1870</u> To <u>present</u>	Source: <u>Atlantic County, NJ</u>
Physical Condition: <u>Good</u>	
Remaining Historic Fabric: <u>Low</u>	
Registration and Status Dates:	SHPO Opinion: <u>January 1, 1979</u>
National Historic Landmark: _____	Local Designation: _____
National Register: _____	Other Designation: _____
New Jersey Register: _____	Other Designation Date: _____
Determination of Eligibility: _____	

Description: The Atlantic City Boardwalk Historic District encompasses approximately 1.4 miles of boardwalk in Atlantic City, stretching from the Atlantic City Convention Hall in the south to the Garden Pier in the north, and contains many of the iconic Atlantic City resorts along the boardwalk. Originally constructed in 1870 the Atlantic City Boardwalk is one of the most famous attractions on the New Jersey shore and boasts the typical attractions seen on boardwalks including amusement park rides, entertainment piers, food and drinks, and the iconic tram cars, in addition to renown hotels and resorts. The Atlantic City Boardwalk Historic District retains sufficient integrity to convey its significance under Criterion A for its association with Entertainment/Recreation and Community Planning and Development in Atlantic City. Despite its fluid construction history, its significance as an enduring vacation destination provides the Atlantic City Historic District Boardwalk with sufficient integrity to convey its eligibility to the NRHP under Criterion A (Entertainment/Recreation).

Setting: The Atlantic City Boardwalk Historic District has a clear maritime setting and is located adjacent to the Atlantic Ocean and overlooks the beaches at Atlantic City.

Survey Name: <u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date: <u>February 24, 2023</u>
Surveyor: <u>Grant Johnson and Laura Mancuso</u>	
Organization: <u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>	

HISTORIC DISTRICT FORM

Historic Sites #:

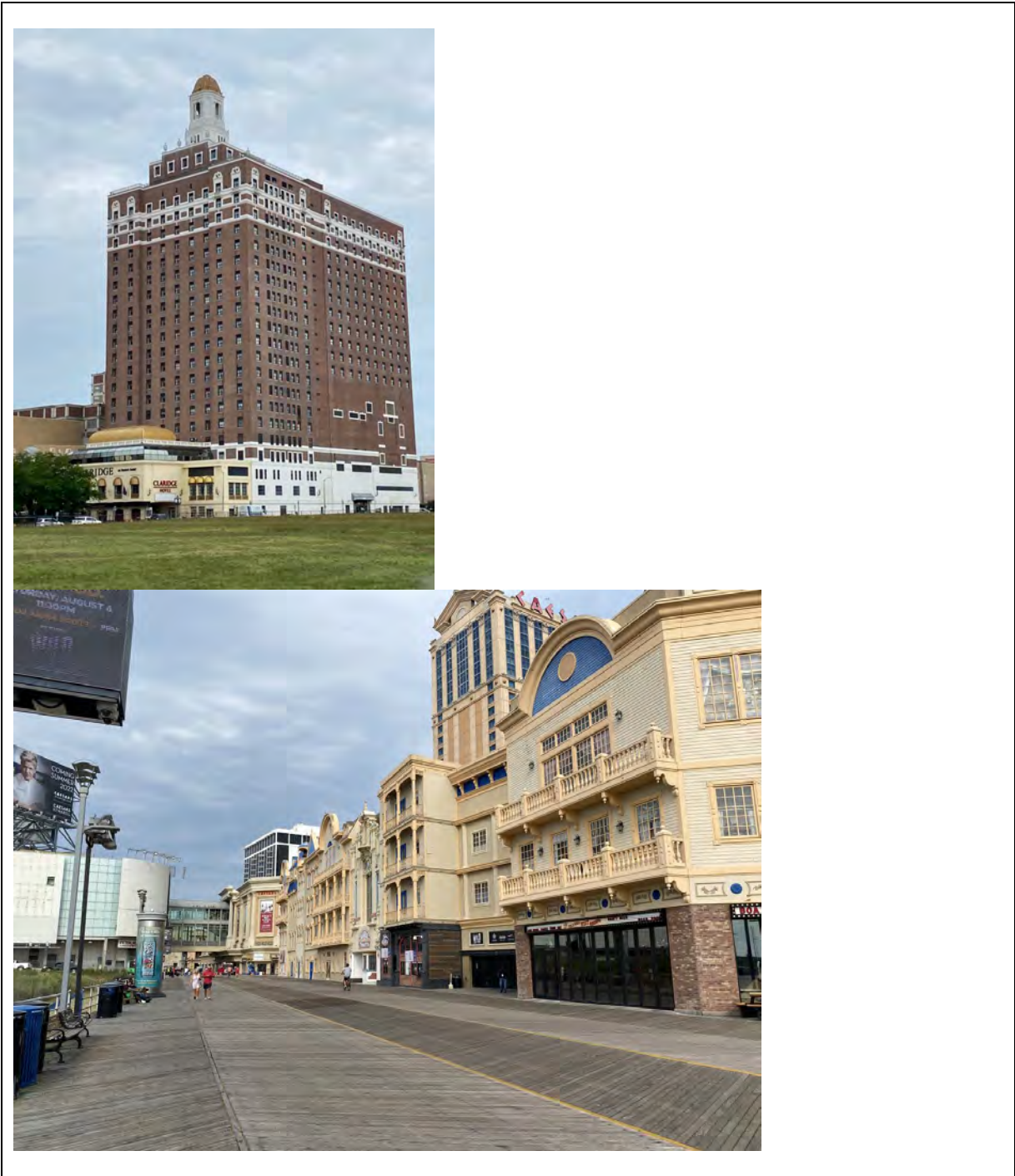


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

Date: February 24,
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Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

HISTORIC DISTRICT FORM

Historic Sites #:

District Name: <u>NEW JERSEY SOUTHERN RAILROAD HISTORIC DISTRICT</u>	
County(s): <u>Monmouth and Ocean</u>	District Type: <u>Transportation</u>
Municipality(s): <u>Multiple</u>	USGS Quad(s): <u>Multiple</u>
Local Place Name(s): <u>N/A</u>	
Development Period <u>1856</u> To <u>1879</u>	Source: <u>Treese, L. 2006. Railroads of New Jersey: Fragments of the Past in the Garden State Landscape. Stockpole Books, Mechanicsburg, PA.</u>
Physical Condition: <u>Good</u>	
Remaining Historic Fabric: <u>Medium</u>	
Registration and Status Dates:	SHPO Opinion: <u>6/30/08</u>
National Historic Landmark: _____	Local Designation: _____
National Register: _____	Other Designation: _____
New Jersey Register: _____	Other Designation Date: _____
Determination of Eligibility: _____	

Description: Today extending from Red Bank to Lakehurst, the New Jersey Southern Railroad was originally established as the Raritan and Delaware Bay Railroad in 1856 with the intention of creating a North-South route across the state from New York to Philadelphia and eventually down to Virginia. However, the onset of the Civil War and the competition from the Camden and Amboy Railroad prevented this plan from being fully realized with the Raritan and Delaware going bankrupt in 1867. In 1870 the line was absorbed into a new system called the New Jersey Southern Railroad which attempted to complete a connection to the Delaware Bay by way of Vineland, however, New Jersey Southern in turn went bankrupt in 1879 and became part of the Southern Division of the Central Railroad of New Jersey.

Setting: Begins at Red Bank on the Neversink River in Monmouth County and extends inland slightly to the southeast to Lakehurst in Ocean County. The rail line traverses a mixed urban, suburban, and rural landscape with at least some of the railroad crossings at grade. It is still an active rail line. There is no maritime setting.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>April 4, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

HISTORIC DISTRICT FORM

Historic Sites #:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: April 4, 2023

HISTORIC DISTRICT FORM

Historic Sites #:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: April 4, 2023

HISTORIC DISTRICT FORM

Historic Sites #:

District Name:	<u>Camden and Atlantic Railroad Historic District</u>		
County(s):	<u>Camden and Atlantic</u>	District Type:	<u>Transportation</u>
Municipality(s):	<u>Multiple</u>	USGS Quad(s):	<u>Multiple</u>
Local Place Name(s):	<u>N/A</u>		
Development Period	<u>1855</u>	To	<u>1883</u>
Physical Condition:	<u>Good</u>		
Remaining Historic Fabric:	<u>Medium</u>		
Source:	<u>https://digital.librarycompany.org/islandora/object/digitool%3A106746</u>		
Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion:	<u>09/17/01</u>
	National Register: _____	Local Designation:	_____
	New Jersey Register: _____	Other Designation:	_____
	Determination of Eligibility: <u>10/25/12</u>	Other Designation Date:	_____

Description: The Camden and Atlantic Railroad Historic District was determined to be eligible for inclusion in the NRHP by NJHPO in 2012. The district is significant under NRHP Criterion A for its association with the transportation history of Camden and Atlantic Counties.

Setting: Although the rail line crosses bodies of water and connects the barrier island to the mainland, due to its linear nature as a transpiration corridor, the historic district does not have a maritime setting that is sensitive to changes in distant ocean views.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

HISTORIC DISTRICT FORM

Historic Sites #:



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Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

HISTORIC DISTRICT FORM

Historic Sites #:

District Name: <u>BASS RIVER STATE FOREST HISTORIC DISTRICT</u>	
County(s): <u>Ocean</u>	District Type: <u>Other</u>
Municipality(s): <u>Bass River Township</u>	USGS Quad(s): <u>Oswego Lake</u>
Local Place Name(s): <u>Bass River State Forest</u>	
Development Period <u>1905</u> To <u>present</u>	Source: <u>New Jersey State Parks</u>
Physical Condition: <u>Good</u>	
Remaining Historic Fabric: <u>High</u>	
Registration and Status Dates:	SHPO Opinion: <u>9/28/04</u>
National Historic Landmark: _____	Local Designation: _____
National Register: _____	Other Designation: _____
New Jersey Register: _____	Other Designation Date: _____
Determination of Eligibility: _____	

Description: The Bass River State Forest Historic District was determined to be eligible for inclusion in the NRHP by NJHPO in 2004. The district is eligible under NRHP Criterion A for its association with the Civilian Conservation Corp (CCC) which was responsible for planting some of the pine plantations within the district and state forest.

Setting: The areas that comprise the Bass River State Forest Historic District are located inland in Bass River Township, along the Bass River within the Bass River State Forest. The area is characterized by the dense forest that contains some of the tallest growing trees in the New Jersey Pine Barrens region.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

HISTORIC DISTRICT FORM

Historic Sites #:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

HISTORIC DISTRICT FORM

Historic Sites #:

District Name: <u>BEACH HAVEN HISTORIC DISTRICT</u>	
County(s): <u>Ocean County</u>	District Type: <u>Residential</u>
Municipality(s): <u>Beach Haven Borough</u>	USGS Quad(s): <u>Hammonton</u>
Local Place Name(s): <u>N/A</u>	
Development Period <u>1878</u> To <u>1879</u>	Source: <u>NRHP Nomination Form</u>
Physical Condition: <u>Excellent</u>	
Remaining Historic Fabric: <u>High</u>	
Registration and Status Dates:	SHPO Opinion: _____
National Historic Landmark: _____	Local Designation: <u>10/12/04</u>
National Register: <u>7/14/83</u>	Other Designation: _____
New Jersey Register: <u>4/19/83</u>	Other Designation Date: <u>4/9/07</u>
Determination of Eligibility: _____	

Description: The Beach Haven Historic District was listed in the NRHP in 1983 with significance under Criterion C with a period of significance that spans from 1878 to 1879. The district is comprised of late nineteenth and early twentieth century mostly vernacular style homes with some high-style residences inter-mixed.

Setting: Initially conceived as a beach resort in the 1870s, Beach Haven's proximity to the beaches and Atlantic Ocean was an early defining characteristic of the community. The eastern boundary of the district is approximately 500 feet from the beaches at Beach Haven and the Atlantic Ocean.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

HISTORIC DISTRICT FORM

Historic Sites #:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

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Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

HISTORIC DISTRICT FORM

Historic Sites #:

District Name:	<u>Beach Haven Historic District (Boundary Increase and Additional Documentation)</u>		
County(s):	<u>Ocean County</u>	District Type:	<u>Residential</u>
Municipality(s):	<u>Beach Haven Borough</u>	USGS Quad(s):	<u>Hammonton</u>
Local Place Name(s):	<u>N/A</u>		
Development Period	<u>1873</u>	To	<u>1940</u>
Source:	<u>NRHP Nomination Form</u>		
Physical Condition:	<u>Excellent</u>		
Remaining Historic Fabric:	<u>High</u>		
Registration and Status Dates:	National Historic Landmark:	SHPO Opinion: <u></u>	
	National Register:	<u>11/19/2014</u>	
	New Jersey Register:	<u>09/12/14</u>	
	Determination of Eligibility:	Other Designation: <u></u>	
		Other Designation Date: <u></u>	

Description: The Beach Haven Historic District (Boundary Increase and Additional Documentation) constitutes an expansion of the Beach Haven Historic District that was originally listed in the NRHP in 1983. The district was listed on the NRHP in 2014. The addendum expanded the boundary of the original district as well as the period of significance, which spans from 1873 to 1940. Additionally, the boundary increase included the addition of significance under Criterion A for Entertainment/Recreation and Community Planning and Development.

Setting: Initially conceived as a beach resort in the 1870s, Beach Haven's proximity to the beaches and Atlantic Ocean was an early defining characteristic of the community. The eastern boundary of the district is approximately 500 feet from the beaches at Beach Haven and the Atlantic Ocean.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

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HISTORIC DISTRICT FORM

Historic Sites #:

District Name: <u>GREATER BEACH HAVEN HISTORIC DISTRICT</u>	
County(s): <u>Ocean</u>	District Type: <u>Residential</u>
Municipality(s): <u>Beach Haven Borough</u>	USGS Quad(s): <u>Hammonton</u>
Local Place Name(s): <u>N/A</u>	
Development Period <u>1873</u> To <u>1957</u>	Source: <u>Beach Haven Borough, NJ</u>
Physical Condition: <u>Excellent</u>	
Remaining Historic Fabric: <u>High</u>	
Registration and Status Dates:	SHPO Opinion: <u>4/9/07</u>
National Historic Landmark: _____	Local Designation: <u>4/9/07</u>
National Register: _____	Other Designation: _____
New Jersey Register: _____	Other Designation Date: _____
Determination of Eligibility: _____	

Description: The Greater Beach Haven Historic District was locally designated as a district in 2007 by the Beach Haven Historic Preservation Advisory Commission. The district is significant under NRHP Criterion A (Entertainment/ Recreation, Community Planning and Development) and Criterion C (Architecture) with a period of significance from 1873 to 1957. Note: this local historic district overlaps the National Register-listed Beach Haven Historic District described separately.

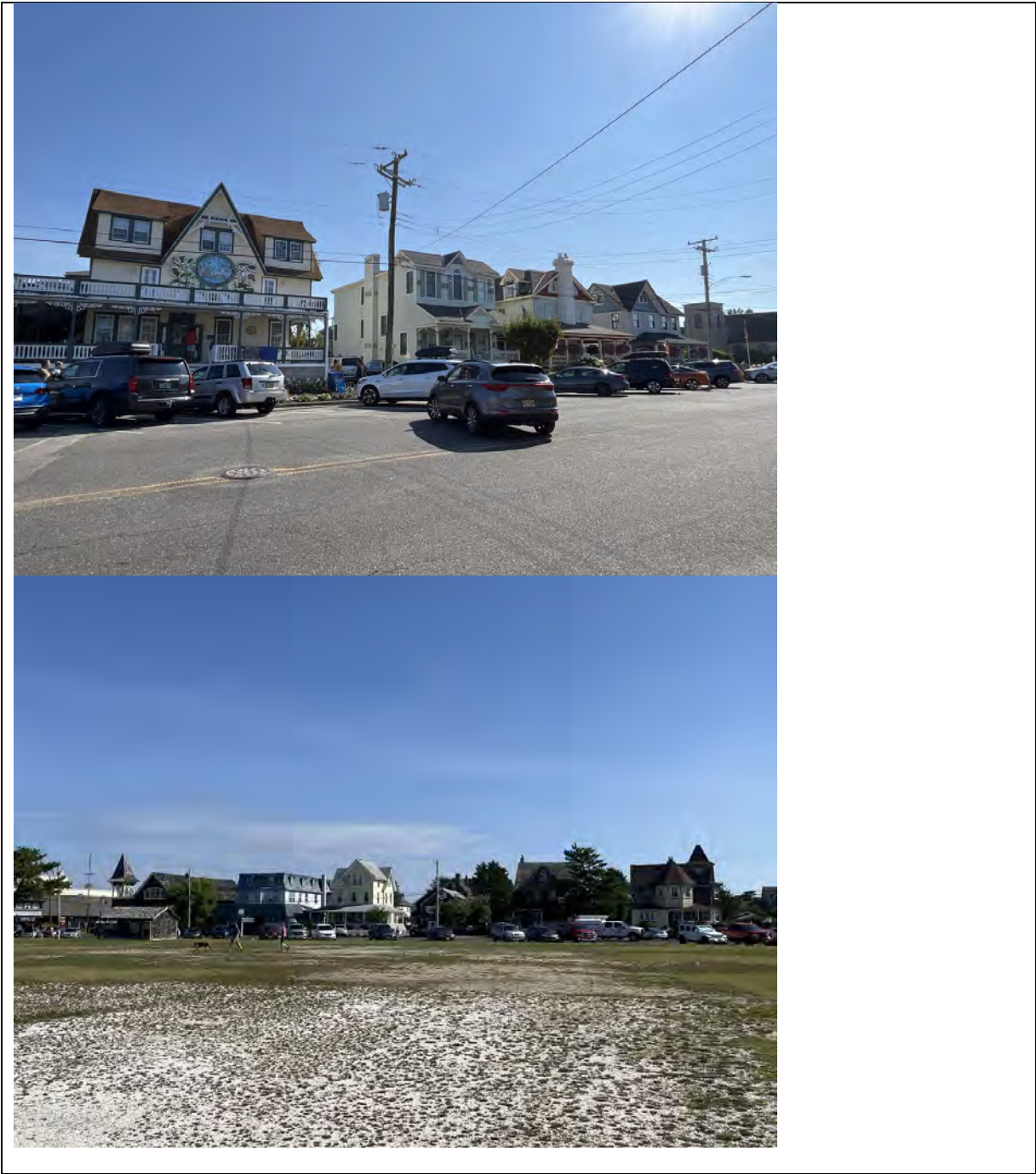
Setting: Initially conceived as a beach resort in the 1870s, Beach Haven's proximity to the beaches and Atlantic Ocean was an early defining characteristic of the community. The eastern boundary of the district is approximately 500 feet from the beaches at Beach Haven and the Atlantic Ocean.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

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Surveyor: Grant Johnson and Laura Mancuso
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Surveyor: Grant Johnson and Laura Mancuso

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HISTORIC DISTRICT FORM

Historic Sites #:

District Name:	GARDEN STATE PARKWAY HISTORIC DISTRICT		
	Bergen, Passaic, Essex, Union, Middlesex, Monmouth, Ocean, Atlantic and Cape May, Atlantic, Burlington, Cape May, Ocean		
County(s):	Multiple	District Type:	Transportation
Municipality(s):	Multiple	USGS Quad(s):	Multiple
Local Place Name(s):	N/A		
Development Period	1946	To	1957
	Source: https://www.njta.com/gsphistory/index.html		
Physical Condition:	Good		
Remaining Historic Fabric:	Medium		
Registration and Status Dates:	National Historic Landmark:	SHPO Opinion:	October 12, 2001
	National Register:	Local Designation:	
	New Jersey Register:	Other Designation:	
	Determination of Eligibility:	Other Designation Date:	

Description: The Garden State Parkway Historic District is a transportation corridor that runs 173 miles from Cape May in southern New Jersey north to the New York border. The Parkway was constructed between 1946 and 1957. The Garden State Parkway Historic District was determined eligible for the NRHP by NJHPO and is significant under Criterion A.

Setting: The Garden State Parkway Historic District is an inland transportation corridor and does not have a maritime setting.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

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Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

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Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

HISTORIC DISTRICT FORM

Historic Sites #:

District Name:	<u>Midway Camps Historic District</u>		
County(s):	<u>Ocean</u>	District Type:	<u>Residential</u>
Municipality(s):	<u>Berkeley Township</u>	USGS Quad(s):	<u>Seaside Park</u>
Local Place Name(s):	<u>N/A</u>		
Development Period	<u>1935</u>	To <u>1960</u>	Source: <u>NJHPO</u>
Physical Condition:	<u>Good</u>		
Remaining Historic Fabric:	<u>High</u>		
Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion:	<u>October 15, 2001</u>
	National Register: _____	Local Designation:	_____
	New Jersey Register: _____	Other Designation:	_____
	Determination of Eligibility: _____	Other Designation Date:	_____

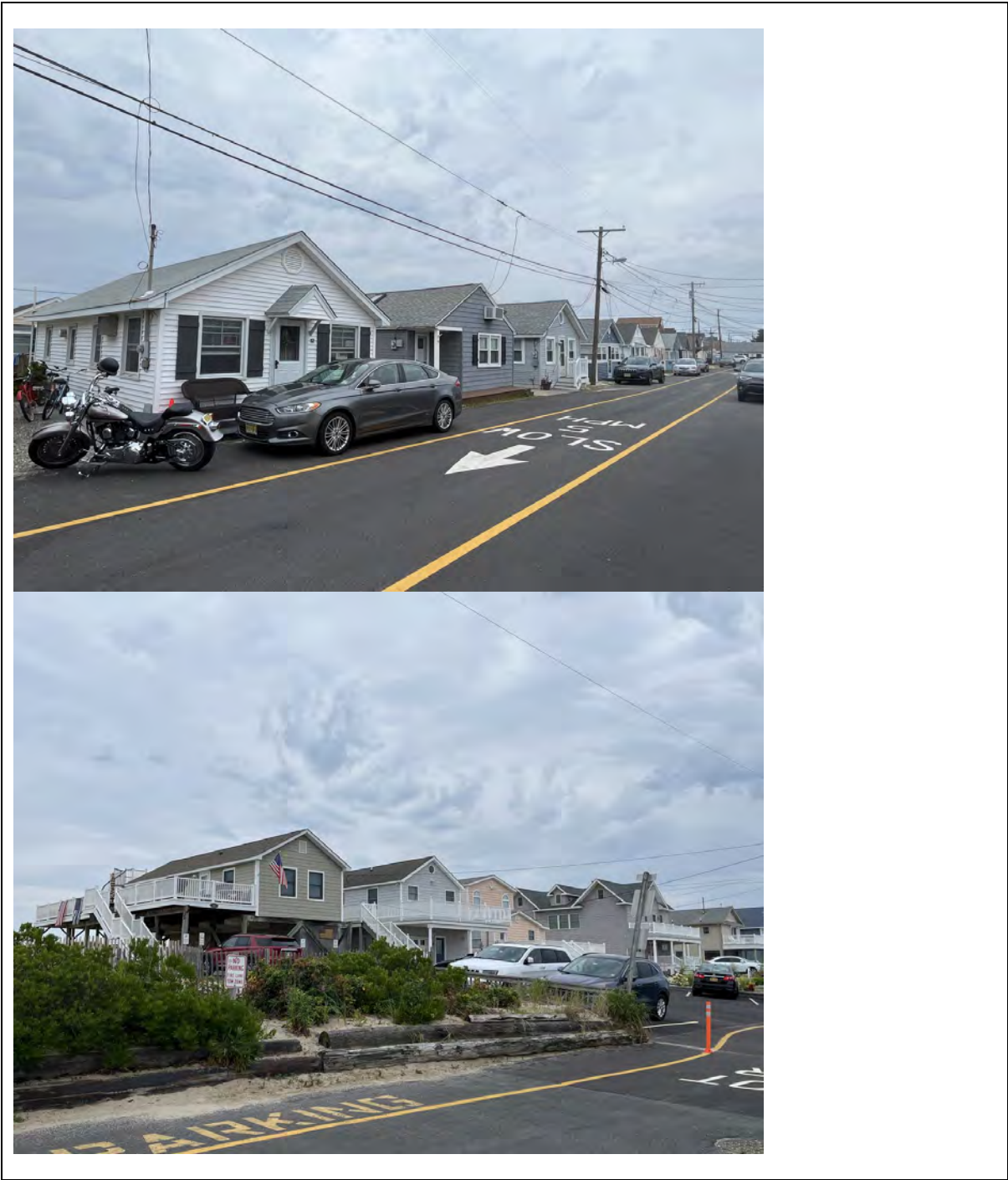
Description: The Midway Camps Historic District was determined to be eligible for inclusion in the NRHP by NJHPO in 2001. The district is a grouping of one-story, front-gabled cottages constructed between ca.1935 and ca.1960 as a planned community. The district is significant under Criterion A and C for its architecture and development as a seasonal resort community.

Setting: The Midway Camps Historic District was developed as a seaside, seasonal resort community on the Atlantic Ocean. The district is bounded by the Atlantic Ocean to the east and Central Avenue to the west.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

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Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

HISTORIC DISTRICT FORM

Historic Sites #:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

HISTORIC DISTRICT FORM

Historic Sites #:

District Name: <u>Island Beach State Park Historic District</u>	
County(s): <u>Ocean</u>	District Type: <u>Other</u>
Municipality(s): <u>Berkeley Township</u>	USGS Quad(s): <u>Seaside Park</u>
Local Place Name(s): <u>N/A</u>	
Development Period <u>1953</u> To <u>1959</u>	Source: <u>http://www.islandbeachnj.org/History/History.html</u>
Physical Condition: <u>Excellent</u>	
Remaining Historic Fabric: <u>High</u>	
Registration and Status Dates:	SHPO Opinion: _____
National Historic Landmark: _____	Local Designation: _____
National Register: _____	Other Designation: _____
New Jersey Register: _____	Other Designation Date: _____
Determination of Eligibility: _____	

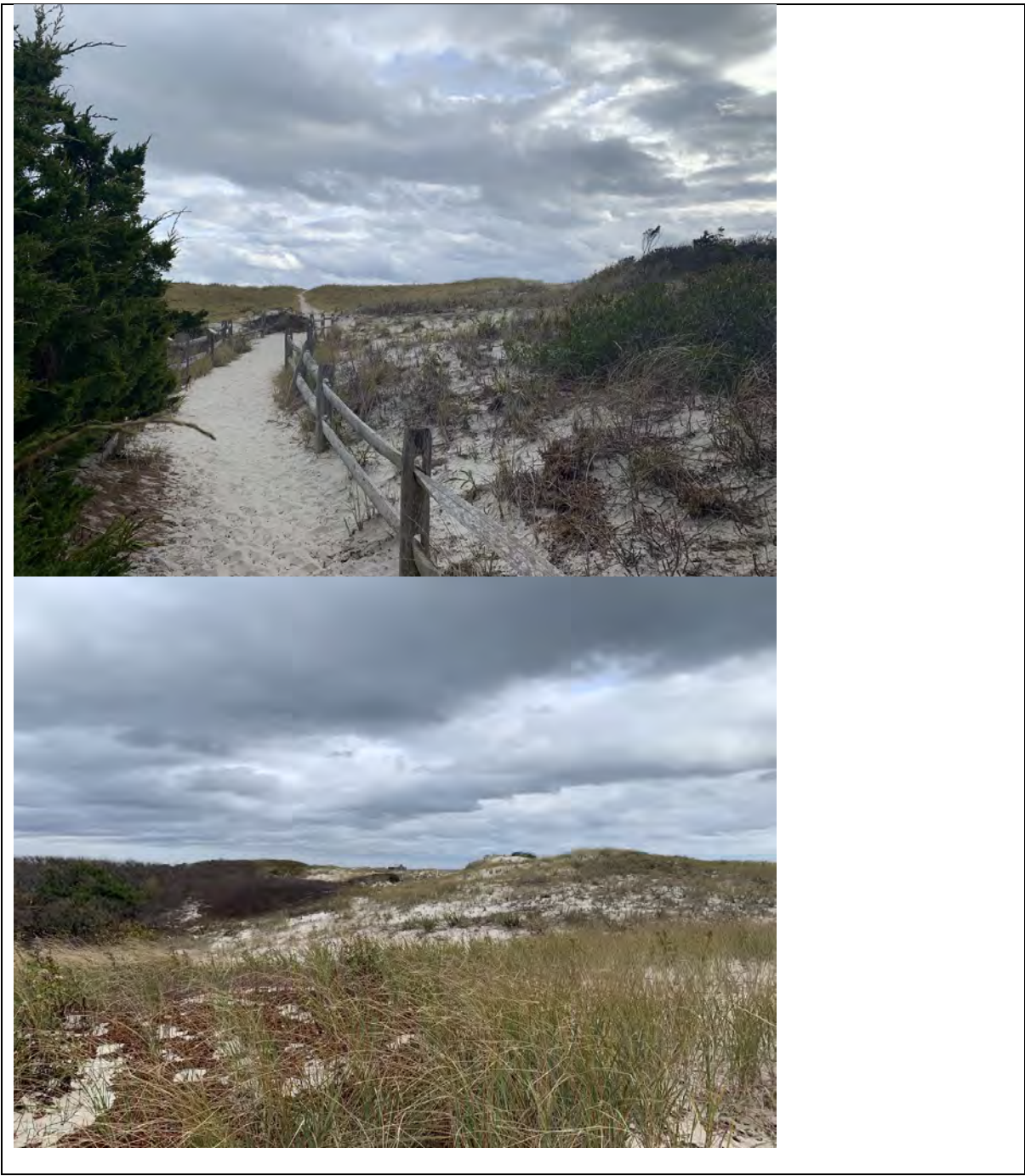
Description: The Island Beach State Park Historic District encompasses the barrier island and State Park from its northern boundary south of 24th Avenue to Barnegat Inlet. The district includes the U.S. Lifesaving Station Number 14, which is listed on the NRHP; Erath/Lease #24, the Aeolium Visitor Center, Gatehouse and Governor's Mansion which were previously identified by NJHPO but not evaluated for listing in the NRHP; the Judge's Shack and Forked River Coast Guard Station No. 112 which have been determined eligible for the NRHP by NJHPO, as well as additional contributing structures. The barrier island was purchased by Henry Phipps to develop a resort community for the upper class; however the resort was not developed and the majority of the island's natural landscape was preserved. The resource retains sufficient integrity to convey its significance under NRHP Criteria A and C.

Setting: The Island Beach State Park Historic District was designed as a potential summer resort and is located on Island Beach and has a clear maritime setting on the barrier island between the Atlantic Ocean and Barnegat Bay.

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Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

HISTORIC DISTRICT FORM

Historic Sites #:

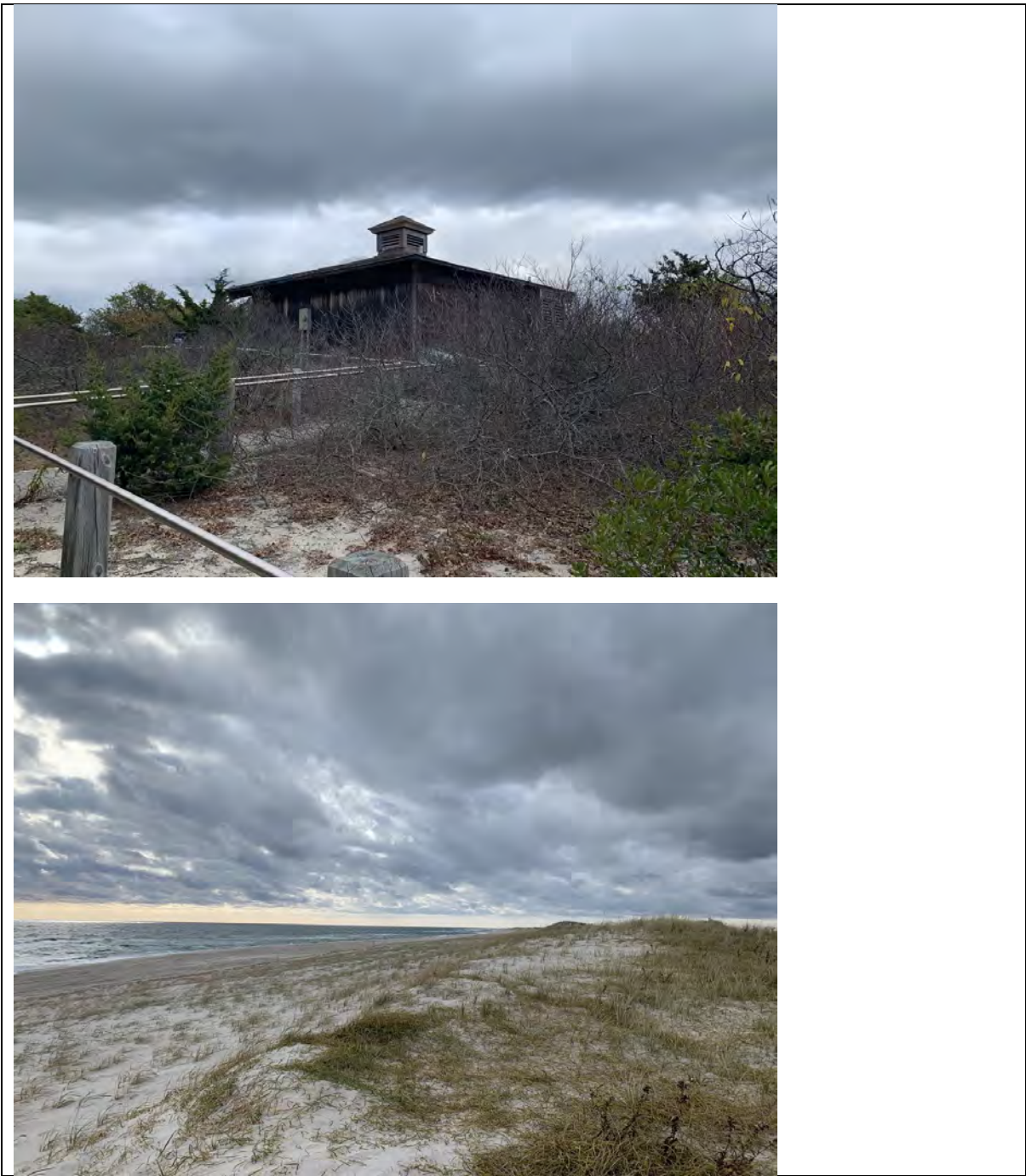


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
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Date: February 24, 2023

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Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

HISTORIC DISTRICT FORM

Historic Sites #:

District Name:	<u>North and South Tuckahoe Historic District</u>		
County(s):	<u>Atlantic and Cape May</u>	District Type:	<u>Other</u>
Municipality(s):	<u>Corbin City and Upper Township</u>	USGS Quad(s):	<u>Tuckahoe</u>
Local Place Name(s):	<u>Tuckahoe</u>		
Development Period	<u>1800</u>	To	<u>1900</u>
Source:	<u>Stylistic Evidence</u>		
Physical Condition:	<u>Good</u>		
Remaining Historic Fabric:	<u>Medium</u>		
Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion:	<u>August 28, 1996</u>
	National Register: _____	Local Designation:	_____
	New Jersey Register: _____	Other Designation:	_____
	Determination of Eligibility: _____	Other Designation Date:	_____

Description: The North and South Tuckahoe Historic District encompasses the villages of Corbin City to the north and Tuckahoe to the south. The latter area is separately listed on the NRHP as the South Tuckahoe Historic District. The Tuckahoe River divides the two district zones. The northern portion of this district follows Main Street from NJ 50 to the river, and encompasses the mixed commercial and residential center of Corbin City. The architecture north of the river includes Federal, Gothic, and vernacular nineteenth century forms. Despite some infill of non-contributing resources, especially in the north, the North and South Tuckahoe Historic District has sufficient integrity to convey its eligibility to the NRHP under Criterion C.

Setting: The North and South Tuckahoe Historic District is located inland, approximately 8 mi from the Atlantic Coast and lacks a maritime setting.

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Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

HISTORIC DISTRICT FORM

Historic Sites #:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
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Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

HISTORIC DISTRICT FORM

Historic Sites #:

District Name: <u>CONOVERTOWN HISTORIC DISTRICT</u>	
County(s): <u>Atlantic</u>	District Type: <u>Residential</u>
Municipality(s): <u>Galloway Township</u>	USGS Quad(s): <u>Oceanville</u>
Local Place Name(s): <u>Conovertown</u>	
Development Period <u>1850</u> To <u>1900</u>	Source: <u>Stylistic Evidence</u>
Physical Condition: <u>Excellent</u>	
Remaining Historic Fabric: <u>High</u>	
Registration and Status Dates:	SHPO Opinion: <u>August 5, 1992</u>
National Historic Landmark: _____	Local Designation: _____
National Register: _____	Other Designation: _____
New Jersey Register: _____	Other Designation Date: _____
Determination of Eligibility: _____	

Description: The Conovertown Historic District encompasses a small residential area established in the 1800s along the east and west side of North Shore Road in Galloway Township, Atlantic County. The majority of the buildings within the district are wood-frame two-story vernacular residences, but the Queen Anne style is also represented. The district has previously been determined eligible for the NRHP by the NJHPO.

Setting: The Conovertown Historic District is located on the mainland of Galloway Township, Atlantic County, approximately seven miles from the Atlantic Ocean, blocks from Reeds Bay and does not have a direct maritime setting.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

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Surveyor:	Grant Johnson and Laura Mancuso
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

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Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

HISTORIC DISTRICT FORM

Historic Sites #:

District Name: <u>OCEANVILLE / LEEDS POINT / MOSS MILL HISTORIC DISTRICT</u>	
County(s): <u>Atlantic</u>	District Type: <u>Residential</u>
Municipality(s): <u>Galloway Township</u>	USGS Quad(s): <u>Oceanville</u>
Local Place Name(s): <u>Oceanville</u>	
Development Period <u>1850</u> To <u>1950</u>	Source: <u>Stylistic Evidence</u>
Physical Condition: <u>Good</u>	
Remaining Historic Fabric: <u>High</u>	
Registration and Status Dates:	SHPO Opinion: <u>8/5/92</u>
National Historic Landmark: _____	Local Designation: _____
National Register: _____	Other Designation: _____
New Jersey Register: _____	Other Designation Date: _____
Determination of Eligibility: _____	

Description: The Oceanville / Leeds Point / Moss Mill Historic District is a large mostly residential historic district centered along Leeds Point Road and Moss Mill Road. Most contributing resources date to the late-nineteenth and early-twentieth centuries and consist of wood-frame one- to two-and-a-half-story wood-frame vernacular residences, with some residences representing the Italianate, Gothic Revival, and Queen Anne styles. This resource has been previously determined eligible for the NRHP by the NJHPO.

Setting: The Oceanville / Leeds Point / Moss Mill Historic District is located inland on the mainland of Galloway Township, Atlantic County, approximately six miles from the Atlantic Ocean, and northwest of Absecon Bay and does not have a direct maritime setting.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

HISTORIC DISTRICT FORM

Historic Sites #:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

HISTORIC DISTRICT FORM

Historic Sites #:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

HISTORIC DISTRICT FORM

Historic Sites #:

District Name: <u>WEST JERSEY AND ATLANTIC RAILROAD HISTORIC DISTRICT</u>	
County(s): <u>Atlantic</u> <u>Hamilton Township and Egg</u>	District Type: <u>Transportation</u> <u>Mays Landing and Ocean</u>
Municipality(s): <u>Harbor Township</u>	USGS Quad(s): <u>City</u>
Local Place Name(s): <u>N/A</u>	
Development Period <u>1880</u> To <u>Present</u>	Source: <u>NETR; Sanborn Maps</u>
Physical Condition: <u>Good</u>	
Remaining Historic Fabric: <u>Medium</u>	
Registration and Status Dates:	SHPO Opinion: <u>August 28, 1996</u>
National Historic Landmark: _____	Local Designation: _____
National Register: _____	Other Designation: _____
New Jersey Register: _____	Other Designation Date: _____
Determination of Eligibility: _____	

Description: The West Jersey and Atlantic Railroad company constructed the rail line connecting Atlantic City and Newfield in 1880. The railroad is significant under NRHP Criterion A for its association with the history of Transportation in New Jersey.

Setting: While the West Jersey and Atlantic Railroad connects the New Jersey Shoreline to the mainland and crosses over bodies of water, the rail line does not have a maritime setting.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

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Historic Sites #:



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Date: February 24, 2023

HISTORIC DISTRICT FORM

Historic Sites #:

District Name:	<u>Ocean Beach Historic District</u>		
County(s):	<u>Ocean</u>	District Type:	<u>Residential</u>
Municipality(s):	<u>Lavallette Borough</u>	USGS Quad(s):	<u>Seaside Park</u>
Local Place Name(s):	<u>Ocean Beach</u>		
Development Period	<u>1946</u>	To <u>1955</u>	Source: <u>NJHPO</u>
Physical Condition:	<u>Good</u>		
Remaining Historic Fabric:	<u>High</u>		
Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion:	<u>2/7/19</u>
	National Register: _____	Local Designation:	_____
	New Jersey Register: _____	Other Designation:	_____
	Determination of Eligibility: _____	Other Designation Date:	_____

Description: The Ocean Beach Historic District (Units 1, 2, and 3) was determined to be eligible for inclusion in the NRHP by NJHPO in 2019. The district was developed as a vacation community for working-class families and developed in three stages (Units 1, 2, and 3) between 1946 and 1955. The district is eligible under Criteria A and C as a planned vacation community on the New Jersey shore and for its architecture.

Setting: The eastern boundary of the Ocean Beach Historic District (Units 1, 2, and 3) comprises the beaches at Dover Beaches North, Chadwick Beach, and Island Beach in Lavallette Borough. Dwellings situated on the east side of Sea View Road within each unit have full and unobstructed views of the beaches and the Atlantic Ocean.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

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Date: February 24, 2023

HISTORIC DISTRICT FORM

Historic Sites #:

District Name: <u>LINWOOD HISTORIC DISTRICT</u>	
County(s): <u>Atlantic</u>	District Type: <u>Residential</u>
Municipality(s): <u>Linwood</u>	USGS Quad(s): <u>Ocean City</u>
Local Place Name(s): <u>N/A</u>	
Development Period <u>1820</u> To <u>1935</u>	Source: <u>NRHP Nomination Form</u>
Physical Condition: <u>Excellent</u>	
Remaining Historic Fabric: <u>High</u>	
Registration and Status Dates:	SHPO Opinion: <u>7/13/89</u>
National Historic Landmark: _____	Local Designation: _____
National Register: <u>7/13/89</u>	Other Designation: _____
New Jersey Register: <u>4/27/89</u>	Other Designation Date: _____
Determination of Eligibility: _____	

Description: The Linwood Historic District is centered on a shady stretch of Shore Road and has historic markers announcing the district at either end. The district includes 129 architectural resources built during the period of significance of 1820-1935. These resources are mostly residential and include a wide range of styles popular during this period, from Federal to Craftsman and Colonial Revival. The district was populated by many whose livelihoods were maritime, including sea captains and Thomas Morris, a customs agent whose house represents one of the most intact examples of mid-19th century architecture in the district. The district retains sufficient integrity to retain its listing on the NRHP under Criterion A (Social History) and Criterion C.

Setting: The Linwood Historic District is located inland on mainland New Jersey and does not have a maritime setting.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

HISTORIC DISTRICT FORM

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Date: February 24, 2023

HISTORIC DISTRICT FORM

Historic Sites #:



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Date: February 24, 2023

HISTORIC DISTRICT FORM

Historic Sites #:

District Name: <u>MANTOLOKING HISTORIC DISTRICT</u>	
County(s): <u>Ocean</u>	District Type: <u>Residential</u>
Municipality(s): <u>Mantoloking Borough</u>	USGS Quad(s): <u>Point Pleasant</u>
Local Place Name(s): <u>N/A</u>	
Development Period <u>1875</u> To <u>1950</u>	Source: <u>NJHPO and Stylistic Evidence</u>
Physical Condition: <u>Excellent</u>	
Remaining Historic Fabric: <u>High</u>	
Registration and Status Dates:	SHPO Opinion: <u>3/8/96</u>
National Historic Landmark: _____	Local Designation: _____
National Register: _____	Other Designation: _____
New Jersey Register: _____	Other Designation Date: _____
Determination of Eligibility: _____	

Description: The Mantoloking Historic District was previously determined to be eligible for inclusion in the NRHP by NJHPO in 1996. The historic district is a grouping of residential buildings from the last quarter of the nineteenth century to the first half of the twentieth century and is significant under Criterion A and C as a coastal resort town for its architecture and as a representative example of the seaside resort movement of Ocean County.

Setting: The Mantoloking Historic District is a coastal resort community with a clear maritime setting comprising an area from the bay side to the ocean side of the barrier island.

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Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

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Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

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HISTORIC DISTRICT FORM

Historic Sites #:



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Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

HISTORIC DISTRICT FORM

Historic Sites #:

District Name: <u>GRASSY SOUND HISTORIC DISTRICT</u>	
County(s): <u>Cape May</u>	District Type: <u>Residential</u>
Municipality(s): <u>Middle Township</u>	USGS Quad(s): <u>Atlantic City</u>
Local Place Name(s): <u>Grassy Sound</u>	
Development Period <u>1875</u> To <u>1950</u>	Source: <u>Stylistic Evidence</u>
Physical Condition: <u>Good</u>	
Remaining Historic Fabric: <u>Medium</u>	
Registration and Status Dates:	SHPO Opinion: <u>11/24/14</u>
National Historic Landmark: _____	Local Designation: _____
National Register: _____	Other Designation: _____
New Jersey Register: _____	Other Designation Date: _____
Determination of Eligibility: _____	

Description: The Grassy Sound Historic District encompasses a small fishing village established in the late 1800s on the east and west banks of Grassy Sound just north of Route 147 in Cape May County. The majority of the houses are raised on piers over the saltwater marsh and sound, and are connected by wooden gangplanks with no vehicular road access. Most of the houses are one or two-story vernacular in style, but the district also contains one-story Craftsman-style houses as well as one-and-a-half-story Cape Cod residences. Many of the original houses were destroyed or damaged in a 1962 storm, but the district still retains its rare character as small fishing village, and is considered one of the last remaining original fishing villages in New Jersey. The district has previously been determined eligible for the NRHP by the NJHPO.

Setting: The Grassy Sound Historic District is situated in the saltwater marsh and banks of Grassy Sound. Many of the houses are located at sea level, being constructed just over the water or above the saltwater marsh of the sound, and boat piers extend into the sound. The predominate views are of the saltmarsh and Grassy Sound, and the newly constructed bridge extending over the sound that carries Route 147 traffic. While the district is within a maritime setting, the views are of the sound, and the ocean is not visible from the majority of the district.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

HISTORIC DISTRICT FORM

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Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

HISTORIC DISTRICT FORM

Historic Sites #:

District Name: <u>SHORE ROAD HISTORIC DISTRICT</u>	
County(s): <u>Atlantic</u>	District Type: <u>Residential</u>
Municipality(s): <u>Northfield</u>	USGS Quad(s): <u>Ocean City</u>
Local Place Name(s): <u>N/A</u>	
Development Period <u>1850</u> To <u>1950</u>	Source: <u>Stylistic Evidence</u>
Physical Condition: <u>Excellent</u>	
Remaining Historic Fabric: <u>High</u>	
Registration and Status Dates:	SHPO Opinion: <u>8/1/86</u>
National Historic Landmark: _____	Local Designation: _____
National Register: _____	Other Designation: _____
New Jersey Register: _____	Other Designation Date: _____
Determination of Eligibility: _____	

Description: The Shore Road Historic District was evaluated as a part of a county-wide survey of historic resources in North Atlantic County in 1986. The Shore Road Historic District was evaluated for its eligibility for listing in the NRHP of Historic Places. The survey determined the district was eligible for listing in the NRHP under Criterion A for its association with the history and development of Northfield City. The district is also significant under Criterion C.

Setting: The Shore Road Historic District is located on mainland New Jersey, west of the Meadow Land and Lakes Bay. Maritime views and their contributions to the historic setting of the district are focused on Lakes Bay and the adjacent salt marshes.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

HISTORIC DISTRICT FORM

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Date: February 24, 2023

HISTORIC DISTRICT FORM

Historic Sites #:

District Name:	<u>BAY FRONT HISTORIC DISTRICT EXTENSION</u>		
County(s):	<u>Atlantic</u>	District Type:	<u>Other</u>
Municipality(s):	<u>Somers Point</u>	USGS Quad(s):	<u>Ocean City</u>
Local Place Name(s):	<u>N/A</u>		
Development Period	<u>1880</u>	To	<u>1910</u>
Source:	<u>Stylistic Evidence</u>		
Physical Condition:	<u>Good</u>		
Remaining Historic Fabric:	<u>Medium</u>		
Registration and Status Dates:	National Historic Landmark:	SHPO Opinion: <u></u>	
	National Register:	<u>March 22, 1989</u>	
	New Jersey Register:	<u>February 9, 1989</u>	
	Determination of Eligibility:	Local Designation: <u></u>	
		Other Designation: <u></u>	
		Other Designation Date: <u></u>	

Description: The Bay Front Historic District Extension includes eight properties on Shore Road, just north of the existing historic district. These include the Somers Point Baptist Church (1886), the former City Hall, now used as the local library (1906), two commercial buildings (1896, 1908), and four houses dating to the turn of the century. The church property includes the current City Hall, a non-contributing resource. As the Bay Front Historic District is largely residential, this extension incorporates some of the non-residential architecture, including municipal, religious, and commercial resources, that was important to the people of that community. The extension has sufficient integrity to convey its eligibility for inclusion in the district under Criterion A (Social History) and Criterion C.

Setting: The Bay Front Historic District Extension is located on Shore Road, approximately 0.2 mi from the edge of Egg Harbor Bay.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

HISTORIC DISTRICT FORM

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Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

HISTORIC DISTRICT FORM

Historic Sites #:

District Name: <u>SHORE ROAD HISTORIC DISTRICT</u>	
County(s): <u>Atlantic</u>	District Type: <u>Residential</u>
Municipality(s): <u>Somers Point</u>	USGS Quad(s): <u>Ocean City</u>
Local Place Name(s): <u>N/A</u>	
Development Period <u>1850</u> To <u>1950</u>	Source: <u>Stylistic Evidence</u>
Physical Condition: <u>Excellent</u>	
Remaining Historic Fabric: <u>Medium</u>	
Registration and Status Dates:	National Historic Landmark: _____
	SHPO Opinion: <u>September 8, 1986</u>
	National Register: _____
	Local Designation: _____
	New Jersey Register: _____
	Other Designation: _____
	Determination of Eligibility: _____
	Other Designation Date: _____

Description: The Shore Road Historic District is centered on a historic transportation corridor. The road was finished in 1731 and connected a string of communities on the inland side of Egg Harbor Bay. The district includes residential, commercial, and municipal architecture dating from the mid-nineteenth century through the mid-twentieth century, as well as an eighteenth century house already listed on the NRHP of Historic Places. Some of its properties are contributing elements of the Bay Front Historic District Extension. Despite some infill, the Shore Road Historic District retains sufficient integrity to convey its eligibility to the NRHP under Criterion A (Social History) and Criterion C (Architecture).

Setting: The Shore Road Historic District is centered on a historic transportation corridor. The road was finished in 1731 and connected a string of communities on the inland side of Egg Harbor Bay. The district includes residential, commercial, and municipal architecture dating from the mid-nineteenth century through the mid-twentieth century, as well as an eighteenth century house already listed on the NRHP of Historic Places. Some of its properties are contributing elements of the Bay Front Historic District Extension. Despite some infill, the Shore Road Historic District retains sufficient integrity to convey its eligibility to the NRHP under Criterion A (Social History) and Criterion C (Architecture).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

HISTORIC DISTRICT FORM

Historic Sites #:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

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Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
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Date: February 24, 2023

HISTORIC DISTRICT FORM

Historic Sites #:

District Name: <u>BAY FRONT HISTORIC DISTRICT</u>	
County(s): <u>Atlantic</u>	District Type: <u>Residential</u>
Municipality(s): <u>Somers Point</u>	USGS Quad(s): <u>Ocean City</u>
Local Place Name(s): <u>Bay Front</u>	
Development Period <u>1890</u> To <u>1935</u>	Source: <u>NRHP Nomination Form</u>
Physical Condition: <u>Excellent</u>	
Remaining Historic Fabric: <u>High</u>	
Registration and Status Dates:	SHPO Opinion: <u>3/22/89</u>
National Historic Landmark: _____	Local Designation: _____
National Register: <u>3/22/89</u>	Other Designation: _____
New Jersey Register: <u>2/9/89</u>	Other Designation Date: _____
Determination of Eligibility: _____	

Description: The Bay Front Historic District is a neighborhood positioned on a gentle hillside leading from Shore Road down to Egg Harbor Bay and bounded by George Street to the west and Decatur Avenue to the east. The district is significant because of its role in the development of southern New Jersey as a resort area. The homes and businesses in the district offered support for water-related recreation in Egg Harbor Bay, which was a quieter extension of the coastal resort communities developing on the barrier islands. It is also significant as a large, cohesive, and intact group of buildings typical of seaside resort areas; most structures were built during the period of significance (1890-1935), particularly cottage, bungalow, and vernacular styles. The district retains sufficient integrity to retain its listing on the NRHP under Criterion A (Entertainment/ Recreation and Social History) and Criterion C.

Setting: The Bay Front Historic District is bounded by Great Egg Harbor Bay and has a distinctly maritime setting including public access features such as a fishing pier, beach, and parking.

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Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

HISTORIC DISTRICT FORM

Historic Sites #:



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Date: February 24, 2023

HISTORIC DISTRICT FORM

Historic Sites #:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
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Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

HISTORIC DISTRICT FORM

Historic Sites #:

District Name: <u>TUCKERTON HISTORIC DISTRICT (LOCAL)</u>	
County(s): <u>Ocean County</u>	District Type: <u>Commercial</u>
Municipality(s): <u>Tuckerton Borough</u>	USGS Quad(s): <u>Tuckerton</u>
Local Place Name(s): <u>N/A</u>	
Development Period <u>1880</u> To <u>1960</u>	Source: <u>Stylistic Evidence</u>
Physical Condition: <u>Good</u>	
Remaining Historic Fabric: <u>Medium</u>	
Registration and Status Dates:	SHPO Opinion: <u>7/10/1991</u>
National Historic Landmark: _____	Local Designation: _____
National Register: _____	Other Designation: _____
New Jersey Register: _____	Other Designation Date: _____
Determination of Eligibility: _____	

Description: The Tuckerton Historic District (locally designated boundaries) was locally designated by the Tuckerton Borough Landmarks Commission in 1983. The local district is significant for its association with the local history and architecture of Tuckerton.

Setting: The Tuckerton Historic District (locally designated boundaries) is located between Pohatcong Lake, Tuckerton Creek, and Little Egg Harbor. The maritime setting of the district is defined by the meandering waterways and expanse of the Great Bay bounded by Long Beach Island.

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Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

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Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

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Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

HISTORIC DISTRICT FORM

Historic Sites #:

District Name: <u>TUCKERTON HISTORIC DISTRICT</u>	
County(s): <u>Ocean</u>	District Type: <u>Commercial</u>
Municipality(s): <u>Tuckerton Borough</u>	USGS Quad(s): <u>Tuckerton</u>
Local Place Name(s): <u>N/A</u>	
Development Period <u>1880</u> To <u>1960</u>	Source: <u>Stylistic Evidence</u>
Physical Condition: <u>Good</u>	
Remaining Historic Fabric: <u>Medium</u>	
Registration and Status Dates:	SHPO Opinion: <u>7/10/91</u>
National Historic Landmark: _____	Local Designation: _____
National Register: _____	Other Designation: _____
New Jersey Register: _____	Other Designation Date: _____
Determination of Eligibility: _____	

Description: The Tuckerton Historic District was determined to be eligible for inclusion on the NRHP by NJHPO in 1991. The district is eligible for listing under NRHP Criterion A for its association with the maritime history and early economy of Tuckerton. The district is also eligible under NRHP Criterion C.

Setting: The Tuckerton Historic District is located inland between Pohatcong Lake, Tuckerton Creek, and Little Egg Harbor.

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Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

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Historic Sites #:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
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Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

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HISTORIC DISTRICT FORM

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Date: February 24, 2023

HISTORIC DISTRICT FORM

Historic Sites #:

District Name: <u>MARSHALLVILLE HISTORIC DISTRICT</u>	
County(s): <u>Cape May</u>	District Type: <u>Residential</u>
Municipality(s): <u>Upper Township</u>	USGS Quad(s): <u>Tuckahoe</u>
Local Place Name(s): <u>N/A</u>	
Development Period <u>1814</u> To <u>1816</u>	Source: <u>NRHP Nomination Form</u>
Physical Condition: <u>Excellent</u>	
Remaining Historic Fabric: <u>High</u>	
Registration and Status Dates:	SHPO Opinion: <u>12/21/88</u>
National Historic Landmark: _____	Local Designation: _____
National Register: <u>11/28/89</u>	Other Designation: _____
New Jersey Register: <u>8/14/89</u>	Other Designation Date: _____
Determination of Eligibility: _____	

Description: The Marshallville Historic District contains eight contributing buildings and one contributing structure with a period of significance from 1814-1816. The village of Marshallville was an early shipbuilding and glassmaking community on the south side of the Tuckahoe River. Its architecture is primarily Federal with several brick buildings. Brick was not a commonly used material in the region, so the cluster of brick houses is notable. The district has sufficient integrity to retain its listing on the NRHP under Criterion A (Industry, Transportation).

Setting: As a shipbuilding community, the Marshallville Historic District contributed to the maritime setting of coastal New Jersey. The historic district is located inland on the Tuckahoe River.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

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Historic Sites #:



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Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

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Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

HISTORIC DISTRICT FORM

Historic Sites #:

District Name: <u>SOUTH TUCKAHOE HISTORIC DISTRICT</u>	
County(s): <u>Atlantic, Cape May</u>	District Type: <u>Other</u>
Municipality(s): <u>Upper Township</u>	USGS Quad(s): <u>Tuckahoe</u>
Local Place Name(s): <u>Tuckahoe</u>	
Development Period <u>1810</u> To <u>1945</u>	Source: <u>NRHP Nomination Form</u>
Physical Condition: <u>Good</u>	
Remaining Historic Fabric: <u>Medium</u>	
Registration and Status Dates:	SHPO Opinion: <u>8/28/96</u>
National Historic Landmark: _____	Local Designation: _____
National Register: <u>3/7/97</u>	Other Designation: _____
New Jersey Register: <u>1/8/97</u>	Other Designation Date: _____
Determination of Eligibility: _____	

Description: The South Tuckahoe Historic District encompasses the central area of Tuckahoe village, which played an important part in the development of different modes of transportation, including shipbuilding, railroading, and automobiles. Its architecture dates to between 1810 and 1945, and includes numerous Federal, Gothic, Italianate residences, as well as early twentieth century American Foursquare and Craftsman styles. Non-residential structures of note include a bascule bridge, an early movie theater, and a 1945 diner built to service the automobile traffic. The district has sufficient integrity to retain its listing on the NRHP under Criterion A (Community Development, Transportation) and Criterion C.

Setting: The South Tuckahoe Historic District is located approximately 8 mi from the Atlantic Coast. It lacks a maritime setting and has no views of the ocean.

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Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

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Surveyor: Grant Johnson and Laura Mancuso
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HISTORIC DISTRICT FORM

Historic Sites #:

District Name: <u>SAINT LEONARD'S TRACT HISTORIC DISTRICT</u>	
County(s): <u>Atlantic</u>	District Type: <u>Residential</u>
Municipality(s): <u>Ventnor City</u>	USGS Quad(s): <u>Atlantic City</u>
Local Place Name(s): <u>N/A</u>	
Development Period <u>1906</u> To <u>1930</u>	Source: <u>http://stleonardstract.org/historic-homes-interesting-facts</u>
Physical Condition: <u>Excellent</u>	
Remaining Historic Fabric: <u>High</u>	
Registration and Status Dates:	SHPO Opinion: <u>12/30/93</u>
National Historic Landmark: _____	Local Designation: _____
National Register: _____	Other Designation: _____
New Jersey Register: _____	Other Designation Date: _____
Determination of Eligibility: _____	

Description: The Saint Leonard's Tract Historic District is a grouping of approximately 250 residences constructed between 1906 and 1930. The buildings are eligible for the NRHP under Criterion A and C for as a designed community with strict building requirements for its architecture. The St. Leonard's Land Company purchased the land in 1896 and designed the district in a grid pattern.

Setting: The Saint Leonard's Tract Historic District is located between the Atlantic Ocean and the Intercoastal Waterway with many residences having views of one or both bodies of water. The setting of the district on a coastal barrier and the presence of water views along the perimeter of the neighborhood are integral to its character and feeling.

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Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

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Historic Sites #:



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Surveyor: Grant Johnson and Laura Mancuso
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Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

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HISTORIC DISTRICT FORM

Historic Sites #:

District Name: <u>JOHN STAFFORD HISTORIC DISTRICT</u>	
County(s): <u>Atlantic</u>	District Type: <u>Residential</u>
Municipality(s): <u>Ventnor City</u>	USGS Quad(s): <u>Atlantic City</u>
Local Place Name(s): <u>N/A</u>	
Development Period <u>1900</u> To <u>1949</u>	Source: <u>NRHP Nomination Form</u>
Physical Condition: <u>Excellent</u>	
Remaining Historic Fabric: <u>High</u>	
Registration and Status Dates:	SHPO Opinion: <u>5/28/87</u>
National Historic Landmark: _____	Local Designation: _____
National Register: <u>6/9/88</u>	Other Designation: _____
New Jersey Register: <u>4/26/88</u>	Other Designation Date: _____
Determination of Eligibility: _____	

Description: The John Stafford Historic District is significant under Criterion A as a planned community associated with important figures (including prominent turn-of-the-20th-century real estate developer John Stafford and Philadelphia-based architect Frank Seeburger) of the area and Criterion C for its early twentieth century Colonial Revival architecture. The development included early examples of zoning-type restrictions to ensure consistency and coherence of the neighborhood. Several contributing resources were commissioned works of prominent architects built for local hoteliers. The district was developed as a seaside resort that unlike other places on the shore, was easily accessible by automobile. The periods of significance span 1900 to 1924 and 1925 to 1949.

Setting: The John Stafford Historic District was designed as a resort planned community located on the shoreline of the Atlantic Ocean. The district shares some parallels with other oceanside residential neighborhoods that developed in response to the late 19th century expansion of passenger rail service along the New Jersey shore, but reflects a greater emphasis on roadways designed to accommodate automobiles. The district's relationship to the shoreline and ocean are integral to its planned design.

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Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

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Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

HISTORIC DISTRICT FORM

Historic Sites #:

District Name: <u>GREEN BANK HISTORIC DISTRICT</u>	
County(s): <u>Burlington</u>	District Type: <u>Residential</u>
Municipality(s): <u>Washington Township</u>	USGS Quad(s): <u>Green Bank</u>
Local Place Name(s): <u>Green Bank</u>	
Development Period <u>1850</u> To <u>1900</u>	Source: <u>Stylistic Evidence</u>
Physical Condition: <u>Good</u>	
Remaining Historic Fabric: <u>Medium</u>	
Registration and Status Dates:	SHPO Opinion: <u>12/3/97</u>
National Historic Landmark: _____	Local Designation: _____
National Register: _____	Other Designation: _____
New Jersey Register: _____	Other Designation Date: _____
Determination of Eligibility: _____	

Description: The Green Bank Historic District was determined to be eligible for inclusion in the NRHP by NJHPO in 1997. The district is a grouping of nineteenth century frame houses and is significant under NRHP Criterion A for its association with the early agricultural economy of Washington Township and under Criterion C.

Setting: The Green Bank Historic District is located to the northeast of the Mullica River. The eastern limit of the district is approximately 17 miles from the Great Bay and the Atlantic Ocean. The maritime setting of the district is related to its proximity to the Mullica River and the district.

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Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

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Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

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Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

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HISTORIC DISTRICT FORM

Historic Sites #:

District Name:	<u>WILDWOODS SHORE RESORT HISTORIC DISTRICT</u>		
County(s):	<u>Cape May</u>	District Type:	<u>Commercial</u>
Municipality(s):	<u>Wildwood City</u>	USGS Quad(s):	<u>Cape May</u>
Local Place Name(s):	<u>N/A</u>		
Development Period	<u>1944</u>	To	<u>1977</u>
Source:	<u>NJHPO</u>		
Physical Condition:	<u>Excellent</u>		
Remaining Historic Fabric:	<u>High</u>		
Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion:	<u>7/23/03</u>
	National Register: _____	Local Designation:	_____
	New Jersey Register: _____	Other Designation:	_____
	Determination of Eligibility: _____	Other Designation Date:	_____

Description: The Wildwoods Shore Resort District is a large collection of primarily commercial properties serving the vacation industry of the New Jersey shore. The district is centered on Ocean Avenue and bounded on the north by Atlantic Avenue and on the south by the Wildwood Boardwalk. Contributing elements to the district include scores of three-story Doo Wop motels built in the 1950s, 1960s, and 1970s. These motels have recognizable forms, massing, feeling, and association. The district also includes non-historic properties built after the period of significance (1944-1977), though many of these are also commercial properties serving the tourist trade. Despite the infill, the district retains sufficient integrity to convey eligibility to the NRHP under Criterion A (Entertainment/Recreation)

Setting: The Wildwoods Shore Resort Historic District is a grouping of hotels, motels, commercial, and residential buildings developed for the resort community on the New Jersey Shore. The district is bounded to the southeast by the Atlantic Ocean.

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Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

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Historic Sites #:



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Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

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Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

HISTORIC DISTRICT FORM

Historic Sites #:

District Name: <u>WILDWOOD AMUSEMENT PIERS</u>	
County(s): <u>Cape May</u>	District Type: <u>Commercial</u>
Municipality(s): <u>Wildwood City</u>	USGS Quad(s): <u>Cape May</u>
Local Place Name(s): <u>N/A</u>	
Development Period <u>1900</u> To <u>1980</u>	Source: <u>Sanborn Maps; NETROnline</u>
Physical Condition: <u>Good</u>	
Remaining Historic Fabric: <u>Medium</u>	
Registration and Status Dates:	SHPO Opinion: <u>9/1/21</u>
National Historic Landmark: _____	Local Designation: _____
National Register: _____	Other Designation: _____
New Jersey Register: _____	Other Designation Date: _____
Determination of Eligibility: _____	

Description: The Wildwoods Amusement Piers are amusement park stages associated with the Wildwoods boardwalk. Four are wooden and the fifth is concrete. Ocean Pier (later Hunt's Pier) was constructed in 1903, and the boardwalk was extended to meet this new attraction. Hunt's Pier burned in 1943 and was replaced with a concrete pier in 1957. Other amusement piers were added up through the early 1980s. Currently, most are owned by Morey's Pier, an amusement park company that has been operating rides here since 1968. Though the piers, like the boardwalk, have been rebuilt over time, they retain sufficient integrity to convey their eligibility to the National Register of Historic Places under Criterion A (Entertainment/ Recreation).

Setting: The Wildwoods Amusement Piers have a maritime setting as they extend over the sand of the Wildwoods beach towards the Atlantic Ocean. The piers have unobstructed views of the water.

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Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

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Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

HISTORIC DISTRICT FORM

Historic Sites #:

District Name: <u>WILDWOOD BOARDWALK AND PIERS HISTORIC DISTRICT</u>	
County(s): <u>Cape May</u> <u>Wildwood Crest Borough, North</u> <u>Wildwood City, and</u> <u>Wildwood City</u>	District Type: <u>Commercial</u>
Municipality(s): <u>N/A</u>	USGS Quad(s): <u>Cape May</u>
Local Place Name(s): <u>N/A</u>	
Development Period <u>1900</u> To <u>Present</u>	Source: <u>Sanborn Maps; NETR; Stylistic Evidence</u>
Physical Condition: <u>Good</u>	
Remaining Historic Fabric: <u>Medium</u>	
Registration and Status Dates:	National Historic Landmark: _____
	National Register: _____
	New Jersey Register: _____
	Determination of Eligibility: _____
	SHPO Opinion: <u>3/29/05</u>
	Local Designation: _____
	Other Designation: _____
	Other Designation Date: _____

Description: The Wildwood Boardwalk was constructed in 1921 and replaced an earlier boardwalk that was constructed in 1903. The new boardwalk was situated closer to the ocean than the previous boardwalks constructed in Wildwood. The Wildwood Boardwalk is one of the most famous attractions in the Wildwoods area and boasts the typical attractions seen on boardwalks in the Jersey Shore including amusement park rides, entertainment piers, food and drinks, and the iconic tram cars. The Wildwood Boardwalk retains sufficient integrity to convey its significance under Criterion A for its association with Entertainment/Recreation and Community Planning and Development in Wildwood. The Wildwoods Boardwalk and Piers Historic District encompasses the boardwalk and five piers. The wooden boardwalk was built in stages starting in 1899 and has been altered several times. It has concrete pathways for tramcars that began operation in 1949. The oldest pier (1903) was replaced with a concrete pier after a 1943 fire; the other piers are wooden. These structures are a platform and foot traffic corridor for a kaleidoscope of tourist attractions. Despite their fluid construction history, their significance as an enduring vacation destination provides the Wildwoods Boardwalk and Piers Historic District with sufficient integrity to convey its eligibility to the NRHP under Criterion A (Entertainment/Recreation).

Setting: The Wildwood Boardwalk and Piers Historic District is located 0.25-mile to the northwest of the Atlantic Ocean and overlooks the beaches at Wildwood. While the boardwalk is farther away from the ocean than other boardwalks on the Jersey Shore, the boardwalk still has full views of the beach and ocean.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C.</u>		

HISTORIC DISTRICT FORM

Historic Sites #:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

HISTORIC DISTRICT FORM

Historic Sites #:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

HISTORIC DISTRICT FORM

Historic Sites #:

District Name: ATLANTIC CITY RAILROAD CAPE MAY DIVISION HISTORIC DISTRICT	
County(s): Atlantic, Camden, Cape May Winslow Township, Folsom, Richland, Dorothy, Estell Manor, Corbin City, Woodbine, Dennis Township, Ocean City, and Cape May	District Type: Transportation
Municipality(s):	Atlantic City, Tuckahoe, Marmora, Rio Grande, Cape May
Local Place Name(s): N/A	
Development Period 1893 To 1942	Source: NJHPO
Physical Condition: Good	
Remaining Historic Fabric: Medium	
Registration and Status Dates:	
National Historic Landmark: _____	SHPO Opinion: 7/2/04
National Register: _____	Local Designation: _____
New Jersey Register: _____	Other Designation: _____
Determination of Eligibility: 6/23/05	Other Designation Date: _____

Description: The Atlantic City Railroad Cape May Division Historic District was determined to be eligible for listing in the NRHP by NJHPO in 2005. The period of significance spans from 1893 to 1942. Contributing resources within the district include timber trestles, metal bridges, semaphore signals, as well as four extant stations and two interlocking towers. The railroad is significant under NRHP Criterion A for its association with the history of Transportation in Atlantic, Camden, and Cape May counties. The railroad is also significant under Criterion C.

Setting: Although the rail line crosses bodies of water, due to its linear nature as a transpiration corridor, the historic district does not have a maritime setting.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

HISTORIC DISTRICT FORM

Historic Sites #:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

HISTORIC DISTRICT FORM

Historic Sites #:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

HISTORIC DISTRICT FORM

Historic Sites #:

District Name: <u>OCEAN CITY BOARDWALK</u>	
County(s): <u>Cape May</u>	District Type: <u>Commercial</u>
Municipality(s): <u>Ocean City</u>	USGS Quad(s): <u>Ocean City</u>
Local Place Name(s): <u>N/A</u>	
Development Period <u>1900</u> To <u>Present</u>	Source: <u>NETR; Sanborn Maps</u>
Physical Condition: <u>Good</u>	
Remaining Historic Fabric: <u>Medium</u>	
Registration and Status Dates:	National Historic Landmark: _____
	SHPO Opinion: _____
	National Register: _____
	Local Designation: _____
	New Jersey Register: _____
	Other Designation: _____
	Determination of Eligibility: _____
	Other Designation Date: _____

Description: The Ocean City Boardwalk was originally constructed in 1905, replacing a wooden walkway that was constructed in 1880. Hotels, recreational, and entertainment venues were constructed in the early twentieth century. In 1927, the boardwalk and many surrounding buildings were destroyed by fire. When the boardwalk was reconstructed in 1928, it was moved closer to the Atlantic Ocean. Although portions of the boardwalk have been replaced, the Ocean City Boardwalk retains sufficient integrity to convey its significance under Criterion A for its association with Entertainment/ Recreation and Community Planning and Development in Ocean City.

Setting: The Ocean City Boardwalk has a clear maritime setting and is located adjacent to the Atlantic Ocean and overlooks the beaches at Ocean City.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

HISTORIC DISTRICT FORM

Historic Sites #:



Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor:	Grant Johnson and Laura Mancuso
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date:	February 24, 2023
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HISTORIC DISTRICT FORM

Historic Sites #:



Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: Dr. Jonathan Pitney House

Street Address: Street #: 57 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: Shore Suffix: N/A Type: RD

County(s): Atlantic **Zip Code:** 08201

Municipality(s): Absecon City **Block(s):** 160

Local Place Name(s): N/A **Lot(s):** 1.01

Ownership: Private **USGS Quad(s)** Oceanville

Photograph:



Description: The Dr. Jonathan Pitney House was constructed ca. 1799 and enlarged in 1848. It is listed in the NRHP under Criterion B in the areas of transportation and politics/government for its association with Dr. Jonathan Pitney. Dr. Pitney was an influential politician and businessman and served a key role in establishing Atlantic County in 1837, establishing the first railroad from Camden to Atlantic City in 1854, founding Atlantic City in 1854, and constructing the first lighthouse on Absecon Island in Atlantic City in 1857. The house is also a contributing resource to the NRHP-Eligible North Shore Road Historic District.

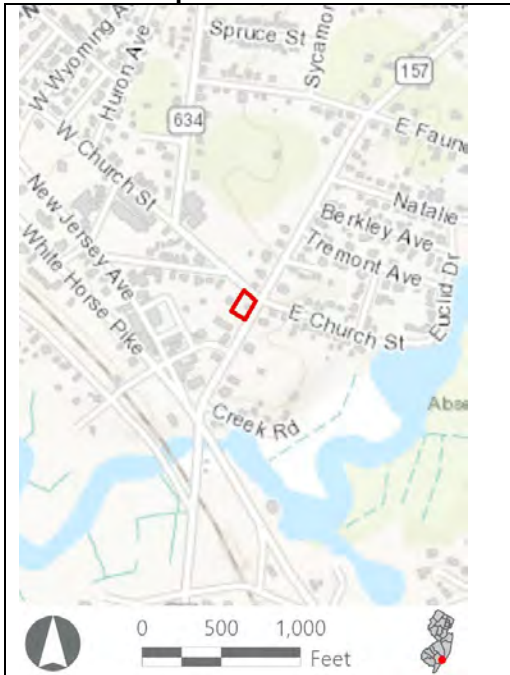
Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: August 14, 1998 Local Designation: _____
New Jersey Register: June 26, 1998 Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

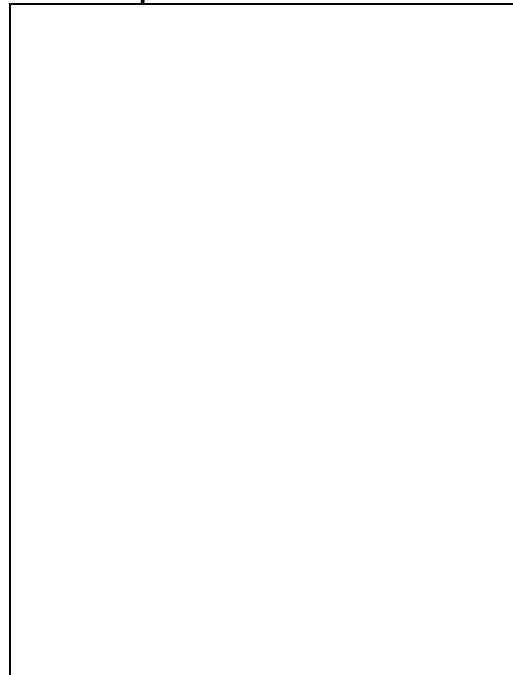
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: US Route 30 Bridge (SI&A # 0103-152)

Street Address: Street #: N/A (Low) N/A (High) Apartment #: N/A (Low) N/A (High)

Prefix: N/A Street Name: Absecon Suffix: N/A Type: BLVD

County(s): Atlantic **Zip Code:** 08406

Municipality(s): Atlantic City **Block(s):** N/A

Local Place Name(s): N/A **Lot(s):** N/A

Ownership: Public **USGS Quad(s)** Atlantic City

Photograph:



Description: The U.S. Route 30 Bridge (SI&A # 0103-152) was originally constructed between 1942 and 1946 as a single-leaf bascule bridge. The bridge was recommended eligible in 2020 under Criterion C as an intact example of the rare single-leaf bascule design.

Registration and Status Dates: National Historic Landmark: _____

National Register: _____

New Jersey Register: _____

Determination of Eligibility: _____

SHPO Opinion: June 24, 2020

Local Designation: _____

Other Designation: _____

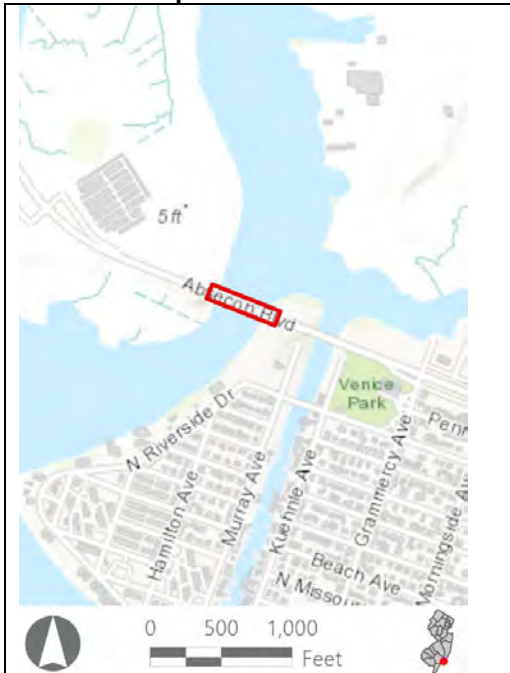
Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

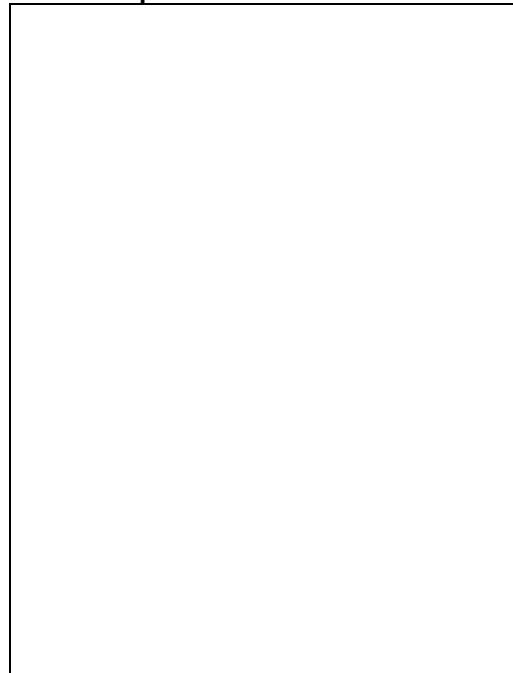
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 4700 Atlantic Avenue

Street Address: Street #: 4700 Apartment #: N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Atlantic Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 3

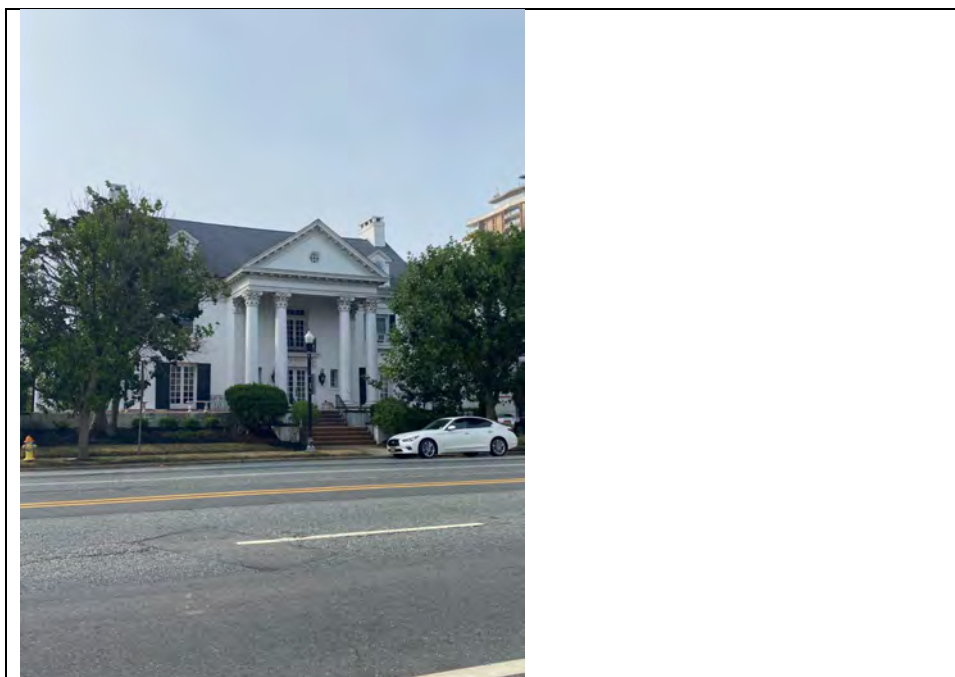
Local Place Name(s): N/A **Lot(s):** 2

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The house at 4700 Atlantic Avenue is a two-and-a-half story, three-bay wide, Classical Revival residence.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

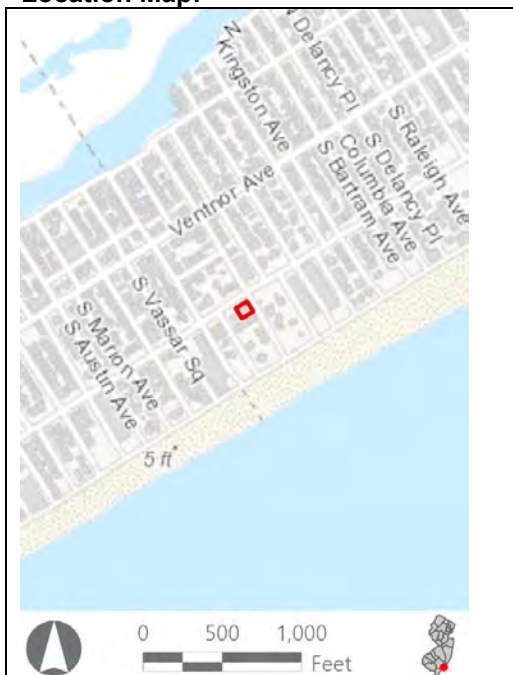


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: LOC. 2022. Sanborn Fire Insurance Map from Atlantic City, Atlantic County, New Jersey. Available at https://www.loc.gov/item/sanborn05408_004/ (Accessed November 2022).
NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).
Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. Atlantic City History. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	4700 Atlantic Avenue		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity permanent		
Construction Date:	Ca. 1920	Source:	Stylistic Evidence, NETR, 2023
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	High
Style:	Other		
Form:	Center Hall	Stories:	2.5
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt shingle		
Exterior Finish Materials	Stucco		

Exterior Description: The house at 4700 Atlantic Avenue is a two-and-a-half story, three-bay wide, Classical Revival residence. The house is clad in stucco and is capped by a side gable roof covered in asphalt shingles. The façade features a prominent two-story triangular pedimented portico featuring brackets and dentils supported by Corinthian columns and pilasters. The main entrance consists of multi-pane French doors with an elaborate surround and entablature. The main entrance is capped by a second-story French door balcony with a wrought iron railing.

Interior Description: N/A

Setting: The house at 4700 Atlantic Avenue is situated in a dense residential neighborhood consisting of single-family residences and multi-story apartments and condominiums within the first block of houses west of the Atlantic Ocean. The house is oriented with the façade facing Atlantic Avenue, a busy four-lane road within the area. During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The residence at 108 S Raleigh Avenue first appears on a 1921 Sanborn Fire Insurance Map of Atlantic City which suggests a construction date of circa 1920. It was the only residence depicted on South Raleigh Avenue to the southeast of Atlantic Avenue at this time and according to the map the building was constructed of hollow structural tile and included a wood frame porch attached to the northeast (front) elevation and a garage attached to the southeast (side) elevation. Historic-era aerial photographs reveal that by 1930 every lot on South Raleigh Avenue to the southeast of Atlantic Avenue contained a house. A large condominium building was constructed to the northeast of South Raleigh Avenue by 1957 and the surrounding area consisted of dense residential development which is extant today (LOC, 2022; NETR, 2022).

Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: Based on exterior analysis only, the residence at 4700 Atlantic Avenue appears to meet Criterion C in the area of Architecture as an example of a residence in the Classical Revival style.

Eligibility for New Jersey

and National Registers:

☒ Yes

☐ No

National

Register Criteria:

☐ A

☐ B

☒ C

☐ D

Level of Significance

☒ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: The residence retains a high degree of exterior integrity.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 104 South Montgomery Avenue

Street Address: Street #: 104 Apartment #: N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: Montgomery Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 3

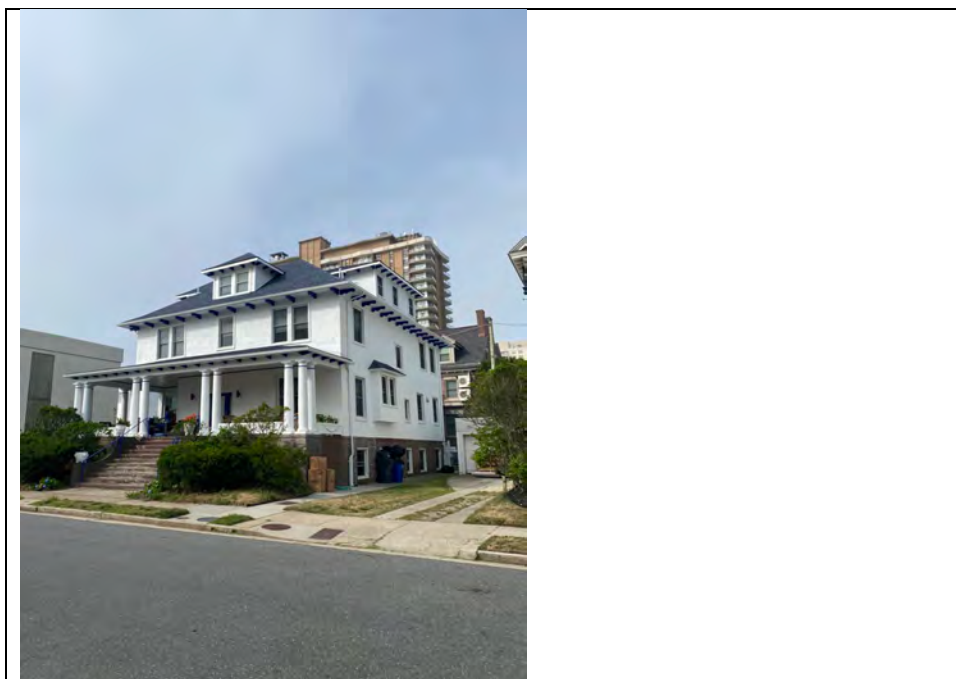
Local Place Name(s): N/A **Lot(s):** 3

Ownership: Private **USGS Quad(s)** Atlantic City

Description: This resource at 104 South Montgomery Avenue is a two-and-a-half-story Colonial Revival residence set on a raised brick foundation, is clad in stucco, and is capped by a hip roof covered in asphalt shingles.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

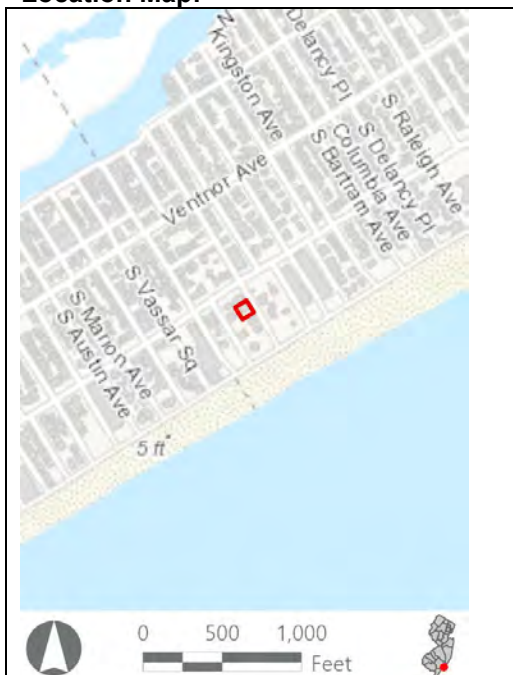


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: NETOnline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	104 South Montgomery Avenue		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1915	Source:	Stylistic Evidence, NETR, 2023
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	High
Style:	Colonial Revival		
Form:	Four Square	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Stucco		

Exterior Description: This resource is a two-and-a-half-story Colonial Revival residence set on a raised brick foundation, is clad in stucco, and is capped by a hip roof covered in asphalt shingles. The residence features a full-width front porch with paired and triple Doric columns resting on a brick floor and supporting a hip roof. Hip-roof dormers are located on each elevation, and decorative brackets are present on the roof, porch, and dormer eaves.

Interior Description: N/A

Setting: This resource is located approximately 0.1 mile from the ocean, in the first block of residences extending from the Atlantic City Boardwalk. The building's primary orientation faces northeast towards South Montgomery Avenue and views of the neighboring residences are predominant, with portions of the Boardwalk and dunes fronting the ocean visible from ground level. During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The residence at 104 S Montgomery Avenue first appears on a 1920 aerial photograph of Atlantic City, suggesting a construction date of circa 1915. The photograph also reveals the surrounding neighborhood consisted of dense residential development along the streets in the greater vicinity. By 1970, two large high-rise condominium complexes were constructed to the northeast along South Plaze Place and to the southwest at Jackson Avenue and the boardwalk. The photograph also indicates at least two dwellings at the end of South Montgomery Avenue had been demolished (NETRonline, 2023).

Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: Based on exterior analysis only, the residence at 104 S Montgomery Avenue appears to meet Criterion C in the area of Architecture as an example of a residence in the Colonial Revival style.

Eligibility for New Jersey

and National Registers:

☒ Yes

☐ No

National

Register Criteria:

☐ A

☐ B

☒ C

☐ D

Level of Significance

☒ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: The residence retains a high degree of exterior integrity.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

104 S Montgomery Ave Building Form

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 125 South Montgomery Avenue

Street Address: Street #: 125 Apartment #: N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: Montgomery Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 4

Local Place Name(s): N/A **Lot(s):** 8

Ownership: Private **USGS Quad(s)** Atlantic City

Description: A two-story Spanish Colonial dwelling with stucco and a hipped roof with clay tile.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:



Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Sotheby's Realty. 2022. Available at

<https://www.sothebysrealty.com/eng/sales/detail/453-l-3875-551139/125-s-montgomery-avenue-atlantic-city-nj-08401> (Accessed November 2022).

Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

Maddex, D. ed. 1985. Master Builders: A Guide to Famous American Architects. Preservation Press: John Wiley & Sons., Inc.

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>Casa De Felicidad</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential activity, permanent</u>		
Historic Use:	<u>Residential activity, permanent</u>		
Construction Date:	<u>1926</u>	Source:	<u>Sotheby's Realty, 2022.</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>Addison Mizner</u>	Physical Condition:	<u>Excellent</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>High</u>
Style:	<u>Spanish Colonial Revival</u>		
Form:	<u>U-Plan</u>	Stories:	<u>2</u>
Type:	<u>N/A</u>	Bays:	<u>3</u>
Roof Finish Materials:	<u>Tile, Spanish</u>		
Exterior Finish Materials	<u>Stucco</u>		

Exterior Description: A two-story Spanish Colonial dwelling with stucco and a hipped roof with clay tile. There are two projecting bays on the facade connected by a one-story arcade entry porch supported by Corinthian columns. The windows have round arch surrounds on the second story and decorative entablatures on the first. A garage is attached to the northwest (side) elevation.

Interior Description: N/A

Setting: The resource is located immediately to the northwest of the Atlantic City Boardwalk and beaches. Although the house is oriented toward South Montgomery Avenue and not the ocean, it has a clear maritime setting as the views from the southeast (side) elevation offer unobstructed views of the ocean. During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: According to Sotheby's Realty, Casa De Felicidad was designed by famed architect Addison Mitzner in 1926. If true, that would place the design of the house during Mitzner's most productive period (1920-1926). Mitzner's work in the early 20th century, particularly in Palm Beach, FL during the 1920s, helped popularize the Mediterranean Revival style among the nation's elite (Sotheby's Realty, 2022; Maddex, 1985).

Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: Based on exterior analysis only, the residence appears to meet Criterion C in the area of Architecture as an example of the Spanish Colonial Revival style in domestic architecture.

**Eligibility for New Jersey
and National Registers:**

☒ Yes

☐ No

**National
Register Criteria:**

☐ A

☐ B

☒ C

☐ D

Level of Significance

☒ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Appears to retain a high degree of exterior integrity and is potentially an example of the work of architect Addison Mizner.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Casa de Felicidad Building Form

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24,
	Survey		2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 108 South Raleigh Avenue

Street Address: Street #: 108 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: Raleigh Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 11

Local Place Name(s): N/A **Lot(s):** 10

Ownership: Private **USGS Quad(s)** Atlantic City

Description: This resource is a two-story Mediterranean Revival residence clad in stucco and capped by a hip roof covered in clay tiles.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

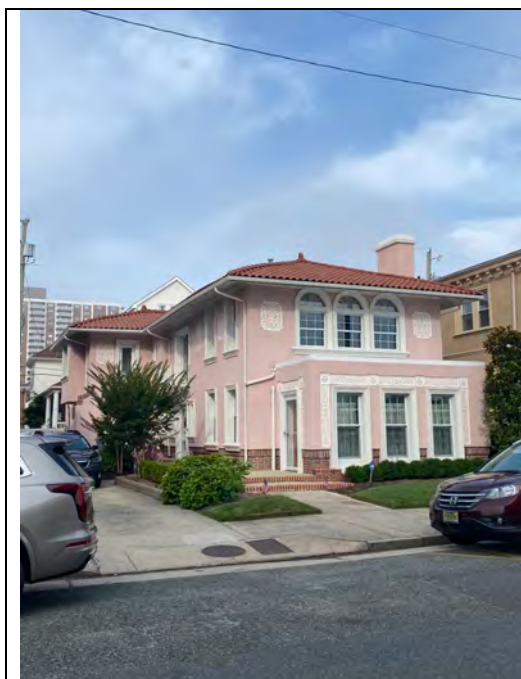
New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

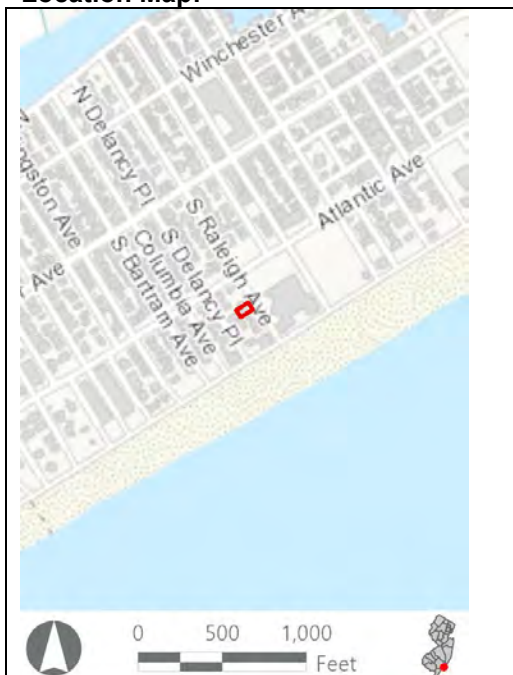
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

LOC. 2022. Image 54 of Sanborn Fire Insurance Map from Atlantic City, Atlantic County, New Jersey. Available at http://hdl.loc.gov/loc.gmd/g3814am.g3814am_g054081921 (Accessed November 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Common Name: <u>108 South Raleigh Avenue</u>	
Historic Name: <u>N/A</u>	
Present Use: <u>Residential activity, permanent</u>	
Historic Use: <u>Residential activity, permanent</u>	
Construction Date: <u>1920</u>	Source: <u>Stylistic Evidence; LOC, 2022</u>
Alteration Date(s): <u>N/A</u>	Source: <u>N/A</u>
Designer: <u>N/A</u>	Physical Condition: <u>Excellent</u>
Builder: <u>N/A</u>	Remaining Historic Fabric: <u>High</u>
Style: <u>Spanish Colonial Revival</u>	
Form: <u>Other</u>	Stories: <u>2</u>
Type: <u>N/A</u>	Bays: <u>1</u>
Roof Finish Materials: <u>Tile, Spanish</u>	
Exterior Finish Materials <u>Stucco</u>	

Exterior Description: This resource is a two-story Mediterranean Revival residence clad in stucco and capped by a hip roof covered in clay tiles. The residence features arched windows on the facade, and decorative floral motif scrollwork in the stucco is present around ribbon windows and the main entrance on a one-story flat-roof wing on the facade, and decorative scrollwork “plaques” are located between bays on the second floor. The eaves feature exposed brackets.

Interior Description: N/A

Setting: This resource is located approximately 0.1 mile from the ocean, in the first block of residences extending from the Atlantic City Boardwalk. The building’s primary orientation faces northeast towards South Raleigh Avenue and views of the neighboring residences and a non-historic high-rise directly across the street predominate. The house is set further back from the road than its neighboring houses and is lower in height. Views of the Boardwalk and dunes fronting the ocean are visible from the sidewalk in front of the house, but views of the ocean are not present. During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name: <u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date: <u>February 24, 2023</u>
Surveyor: <u>Grant Johnson and Laura Mancuso</u>	
Organization: <u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>	

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: Based on exterior analysis only, the residence at 108 S Raleigh Avenue appears to meet Criterion C in the area of Architecture as an example of a residence in the Mediterranean Revival style.

Eligibility for New Jersey

and National Registers:

☒ Yes

☐ No

National

Register Criteria:

☐ A

☐ B

☒ C

☐ D

Level of Significance

☒ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: The residence retains a high degree of exterior integrity.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

108 South Raleigh Avenue Building Form

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 116 South Ridgeway Avenue

Street Address: Street #: 116 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: Ridgeway Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 14

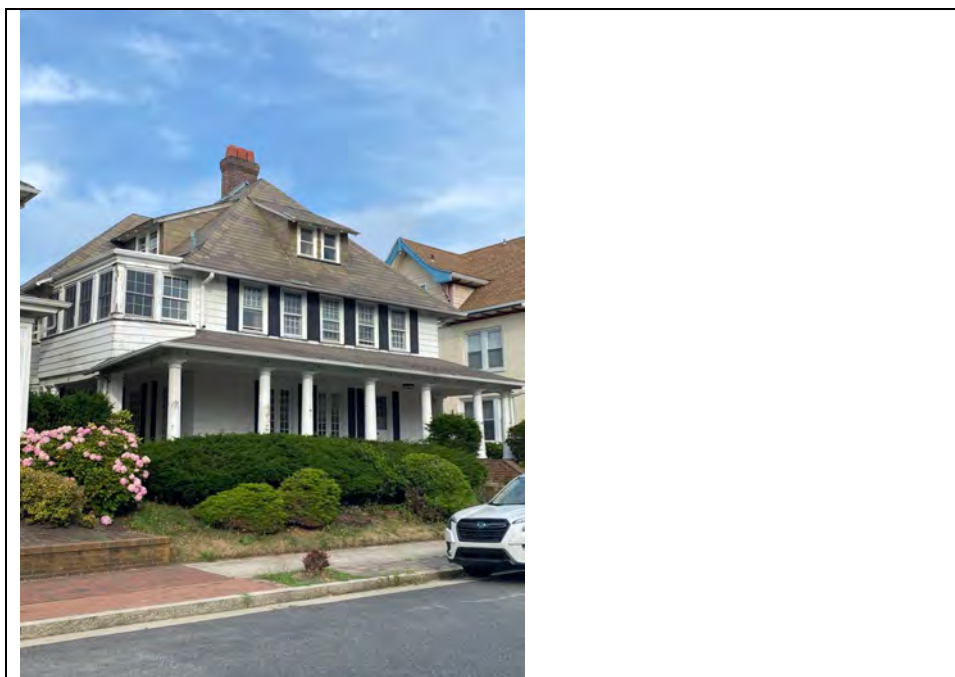
Local Place Name(s): N/A **Lot(s):** 3

Ownership: Private **USGS Quad(s)** Atlantic City

Description: Two-and-a-half-story Colonial Revival residence clad in weatherboard siding and capped by a steeply pitched hip roof clad in slate.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

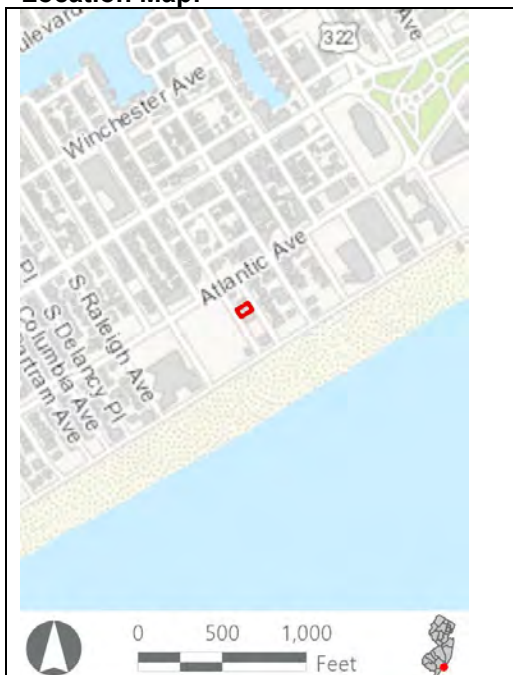


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).
LOC. 2022. Image 11 of Sanborn Fire Insurance Map from Beach Haven, Ocean County, New Jersey. Available at http://hdl.loc.gov/loc.gmd/g3814am.g3814am_g054081921 (Accessed November 2022).
Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	116 South Ridgeway Avenue		
Historic Name:	N/A		
Present Use:	Residential, permanent		
Historic Use:	Residential, permanent		
Construction Date:	1920	Source:	Stylistic Evidence; LOC, 2022
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	High
Style:	Colonial Revival		
Form:	Other	Stories:	2.5
Type:	N/A	Bays:	7
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Wood, Clapboard		

Exterior Description: Two-and-a-half-story Colonial Revival residence clad in weatherboard siding and capped by a steeply pitched hip roof clad in slate. The residence features a wrap-around porch with Doric columns supporting the hip roof. A large bay window is located on the northern elevation of the second floor, and a sleeping porch is located on the southern elevation. A series of French doors are sheltered under the porch, as well as the main entrance. The roof features exposed rafter tails and there is a central corbelled brick chimney with chimney pots.

Interior Description: N/A

Setting: This resource is located approximately 0.1 mile from the ocean, in the first block of residences extending from the Atlantic City Boardwalk. The building's primary orientation faces northeast towards South Ridgeway Avenue and views of the neighboring residences are predominant, with portions of the Boardwalk and dunes fronting the ocean visible from ground level. During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The residence at 116 S Ridgeway Avenue first appears on a 1921 Sanborn Fire Insurance Map indicating a construction year of ca. 1920. This block of Ridgeway Avenue included both masonry and wood frame construction dwellings and the sprawling complex of the Children's Sea Shore House was located to the southwest between South Richmond Avenue and South Annapolis Avenue. Throughout the 20th century, the surrounding neighborhood saw small scale demolition and infill construction; however, the greater vicinity has generally remained a dense residential neighborhood (LOC, 2022; NETR, 2022).

Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: Based on exterior analysis only, the residence at 116 S Ridgeway Avenue appears to meet Criterion C as an example of a residence in the Colonial Revival style.

**Eligibility for New Jersey
and National Registers:**

☒ Yes

☐ No

National

Register Criteria:

☐ A

☐ B

☒ C

☐ D

Level of Significance

☒ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Appears to retain sufficient exterior integrity.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

116 South Ridgeway Avenue Building Form

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: The Knife and Fork Inn

Street Address: Street #: 3600 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Atlantic Suffix: N/A Type: AVE

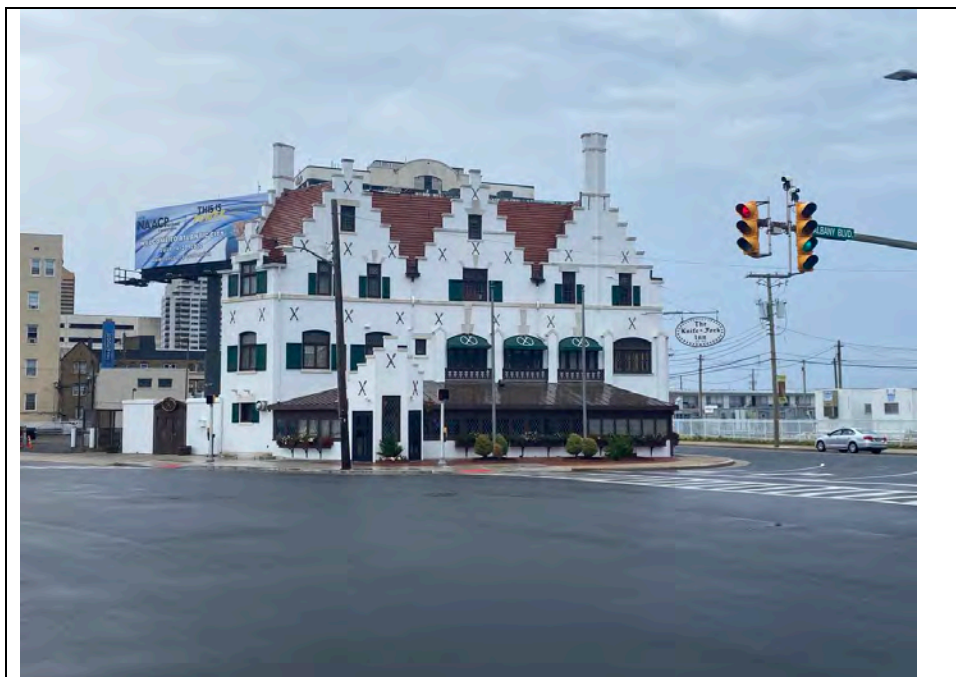
County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 187

Local Place Name(s): N/A **Lot(s):** 1 and 2

Ownership: Private **USGS Quad(s)** Atlantic City

Photograph:



Description: The Knife and Fork Inn is a four-story restaurant situated at the busy intersection of Atlantic, Albany, and Pacific Avenues. It was built in 1912 in an exuberant Flemish Revival style and features three stepped parapets on the façade with more on the sides, a red tile roof, white stucco walls, and numerous “knife and fork” ornaments mounted on the walls. The restaurant began its existence as a bar of the same name that closed for good during prohibition. It is an Atlantic City icon with a colorful history and retains sufficient integrity to convey eligibility for the NRHP under Criterion A (Commerce) and Criterion C (Architecture).

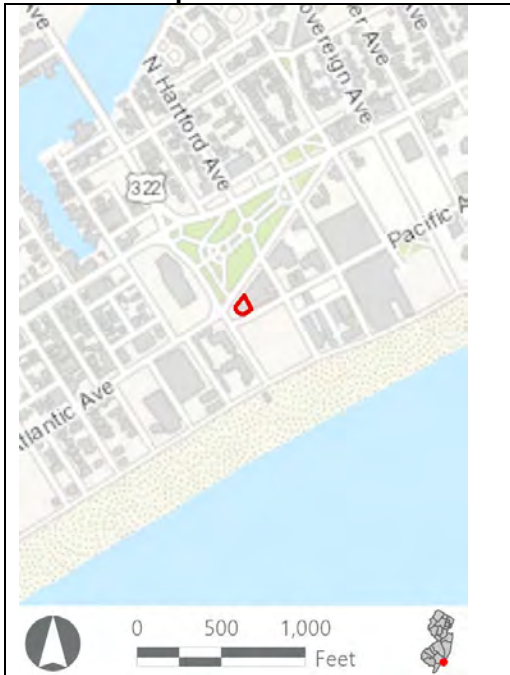
Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: July 30, 2008
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

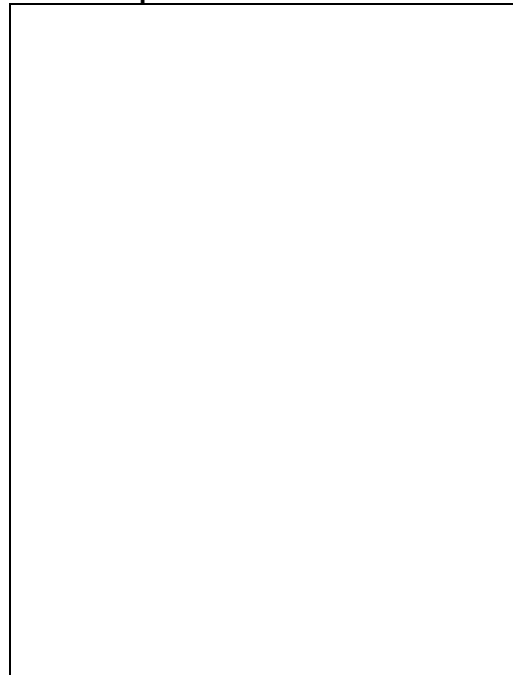
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: Ritz Carlton Hotel

Street Address: Street #: 2715 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Boardwalk Suffix: N/A Type: N/A

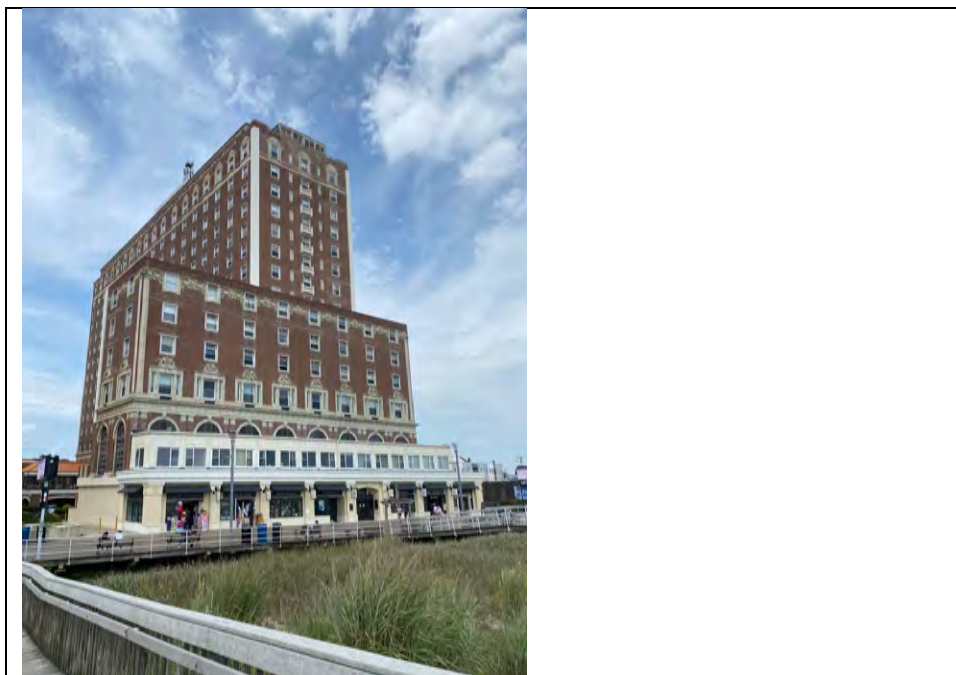
County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 31

Local Place Name(s): N/A **Lot(s):** 2 and 101

Ownership: Private **USGS Quad(s)** Atlantic City

Photograph:



Description: The Ritz Carlton Hotel is an 18-story building clad in brick that opened in June of 1921. Constructed with elements of the Beaux Arts style, the building was a prominent hotel in Atlantic City in the 1920s, and housed prominent guests such as Calvin Coolidge, Warren G. Harding, and Al Capone. The hotel was converted to army barracks during World War II, and in 1969 was converted into apartments. In 1982 the building was converted into condominiums. Today the building survives as a rare representation of 1920s hotel architecture on the Atlantic City Boardwalk.

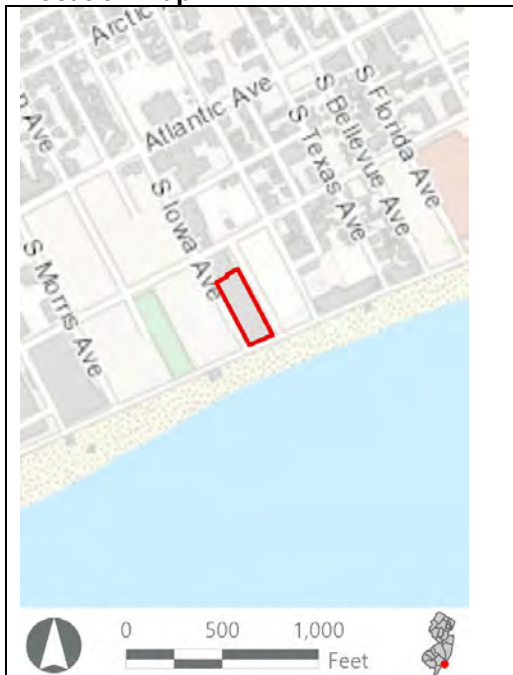
Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: February 16, 2011 Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

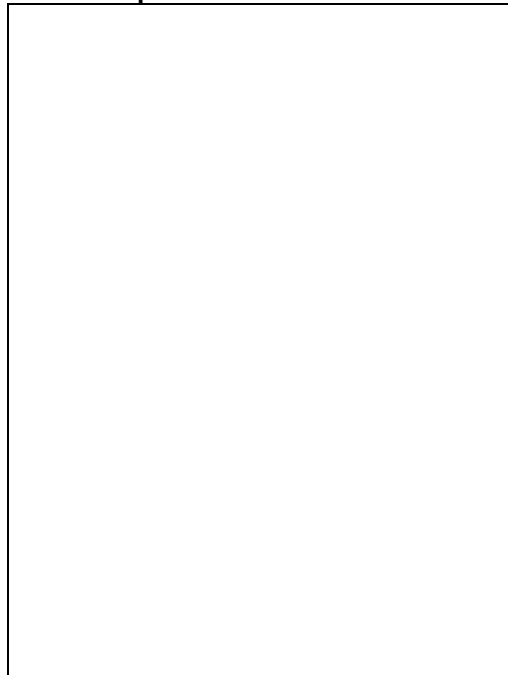
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: USCG Station Atlantic City

Street Address: Street #: 900 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Beach Suffix: N/A Type: THFR

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 567

Local Place Name(s): N/A **Lot(s):** 8

Ownership: Public **USGS Quad(s)** Atlantic City

Photograph:



Description: The U. S. Coast Guard Station at Atlantic City was constructed in 1939 and was at that time the largest life boat station in the guard. It replaced a series of earlier stations that had served the area. Though renovated in 1988, it appears to retain sufficient integrity to convey its eligibility to the NRHP under Criterion A (Military).

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: July 16, 2007
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

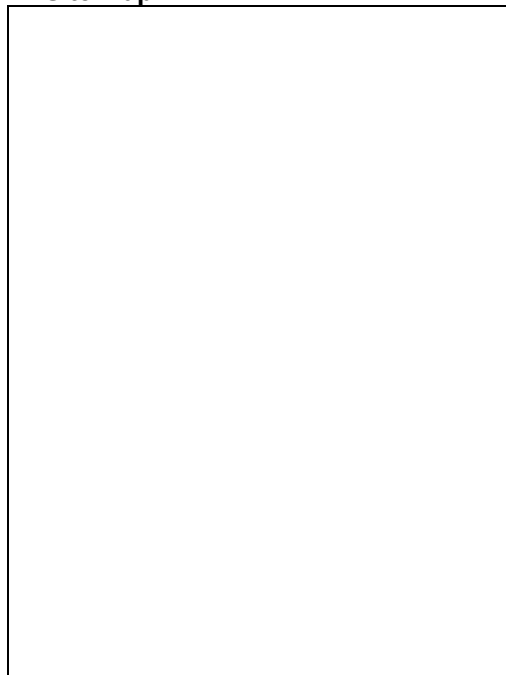
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: Administration Building for the Board of Education

Street Address: Street #: 1809 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Pacific Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 157

Local Place Name(s): N/A **Lot(s):** 21

Ownership: Public **USGS Quad(s)** Atlantic City

Photograph:



Description: The brick Administration Building for the Board of Education is a good example of an Italian Renaissance office building. Its defining characteristics include the rusticated concrete detailing that wraps around the façade, the classical door surround, the bracketed cornice, and the roofline balustrade. The building retains its original windows and appears to have high integrity, thus conveying its eligibility for the NRHP under Criterion C (Architecture).

Registration and Status Dates: National Historic Landmark: _____

National Register: _____

New Jersey Register: _____

Determination of Eligibility: _____

SHPO Opinion: March 16, 2006

Local Designation: _____

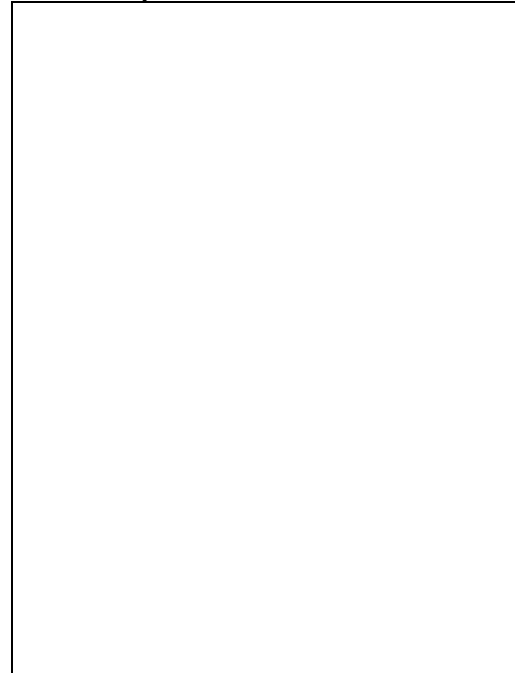
Other Designation: _____

Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Historic Sites #:

Site Map:



Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

Attachments Included:

Within Historic District?

☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Date: February 24, 2023

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: Warner Theatre (façade)

Street Address: Street #: N/A (Low) N/A (High) Apartment #: N/A (Low) N/A (High)

Prefix: N/A Street Name: Boardwalk Suffix: N/A Type: N/A

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 41

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Atlantic City

Photograph:



Description: The Warner Theatre was constructed on the Atlantic City Boardwalk in 1929 as a movie theatre and showroom. Constructed by the prominent Philadelphia architectural firm Hoffman-Henon Company, known for their theatre designs, the building exhibits Spanish Revival and Moorish elements. In later years, the building was converted to a bowling alley before having the auditorium and main lobby demolished in the late 1970s to make room for casino expansion. Today, the original facade is all that remains of the building.

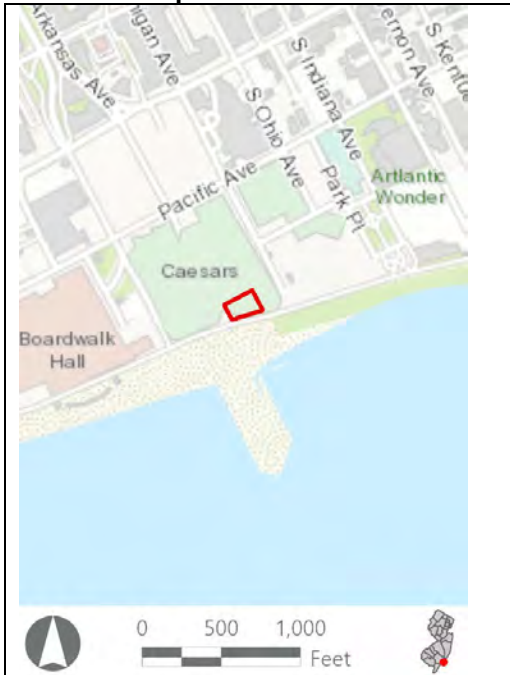
Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: January 9, 1996
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

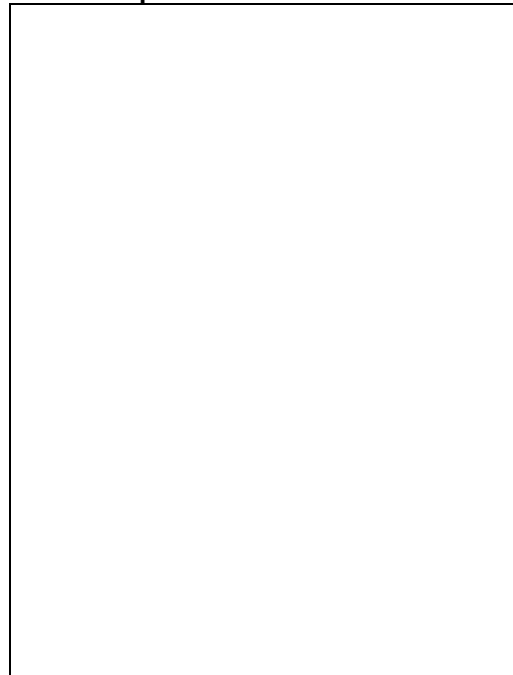
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: Carnegie Library

Street Address: Street #: 35 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: Dr. Martin Luther King Jr. Suffix: N/A Type: BLVD

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 154

Local Place Name(s): N/A **Lot(s):** 11.02

Ownership: Public **USGS Quad(s)** Atlantic City

Description: The Carnegie Library (now known as the Carnegie Center) was designed in the Italian Renaissance style by Albert Randolph Ross and completed in 1904. The elaborate façade showcases classical elements and style-defining features such as the rusticated first story and is made more impressive by the semi-circular, domed wings on either side.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

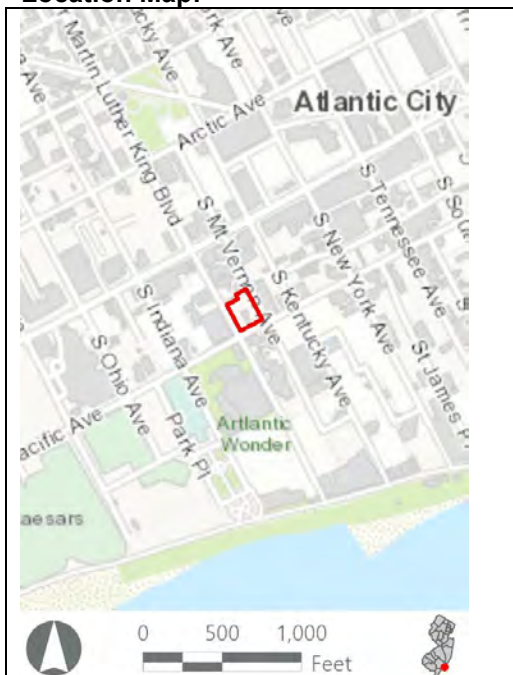


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and NPS, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
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Hazard, Sharon. 2013. "A Gift that Keeps Giving: NJ's Carnegie Libraries." *New Jersey Monthly*. Available at: <https://njmonthly.com/articles/jersey-living/a-gift-that-keeps-on-giving/> (Accessed November 2022).
Lorenzen, Michael. 1999. Deconstructing the Carnegie Libraries: The Sociological Reasons Behind Carnegie's Millions to Public Libraries. Available at: <https://www.lib.niu.edu/1999/il990275.html> (Accessed November 2022).
NETRonline (NETR). 2023. *Historic Aerials*. Available at: <https://historicaerials.com/> (Accessed February 2023).
Stockton University. 2022. "Carnegie Center Ownership Returned to City of Atlantic City." Available at: <https://stockton.edu/news/2022/carnegie-center-ownership-returned-to-atlantic-city.html> (Accessed Nov. 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>Carnegie Center</u>		
Historic Name:	<u>Carnegie Library</u>		
Present Use:	<u>Institutional activities, education activity</u>		
Historic Use:	<u>Institutional activities, educational activity</u>		
Construction Date:	<u>1904</u>	Source:	<u>Stockton University, 2022.</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>Albert Randolph Ross</u>	Physical Condition:	<u>Excellent</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>High</u>
Style:	<u>Italian Renaissance</u>		
Form:	<u>Other</u>	Stories:	<u>3</u>
Type:	<u>N/A</u>	Bays:	<u>5</u>
Roof Finish Materials:	<u>Unknown</u>		
Exterior Finish Materials	<u>Stone, Ashlar</u>		

Exterior Description: The Carnegie Library (now known as the Carnegie Center) was designed in the Italian Renaissance style by Albert Randolph Ross and completed in 1904. The ashlar stone building is three stories with a flat roof. The elaborate façade showcases classical elements and style-defining features such as the rusticated first story and is made more impressive by the semi-circular, domed wings on either side. The main block is five bays with a center entrance topped by a prominent entablature with a broken pediment. The center three upper-story bays are inset with engaged Ionic columns. The pattern is repeated on the wings with Ionic pilasters. The fenestration is regularly spaced with multilight aluminum sash singly, paired, or tripartite.

Interior Description: N/A

Setting: The Carnegie Library is located one long block from the Atlantic Ocean and was constructed as a library for the resort community. During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The Carnegie Library (now known as the Carnegie Center) was one of 36 New Jersey libraries partially funded by Andrew Carnegie 1900 and 1917. Carnegie's philanthropy was a part of a larger library building campaign he undertook throughout the United States and western Europe in the late nineteenth and early twentieth centuries. While the Carnegie Public Library Program provided the funds to construct the libraries, it was the responsibility of the communities to provide the land and to demonstrate there were adequate funds and staff for the operation of the library. The library was designed in the Italian Renaissance style by Albert Randolph Ross and completed in 1904. Shortly after its completion, Carnegie began scaling back the size and stylistic flourishes of his libraries to allow for more funds to be used for collections. The library was in operation until 1985 when services were moved to a larger and more modern building. The building sat vacant for five years before it was acquired and restored by the Casino Reinvestment and Development Authority (CRDA). In 2009, the CRDA transferred ownership of the building to Stockton University in Atlantic City for use as a new Academic Center to be used specifically for business-related curricula, as stipulated by a covenant in the deed. During the COVID-19 pandemic, the University was unable to uphold the specifications of the covenant, and as a result ownership of the building was transferred to the city. The city plans to use the building to provide services and academic support to at-risk youth (Lorenzen, 1999; Hazard, 2013; Stockton University, 2022).

Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: Based on exterior analysis only, the library appears to be eligible for the NRHP under Criterion C. As one of 1,689 libraries funded by Carnegie during the Golden Age of the American Library System, this resource is also eligible under Criterion A (Education).

Eligibility for New Jersey

and National Registers:

☒ Yes

☐ No

National

Register Criteria:

☐ A

☐ B

☒ C

☐ D

Level of Significance

☒ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Despite a tall, boxy addition on the rear elevation, the Carnegie Library has sufficient integrity to convey its eligibility.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: Brighton Park

Street Address: Street #: 1801 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Boardwalk Suffix: N/A Type: N/A

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 46

Local Place Name(s): N/A **Lot(s):** 5

Ownership: Public **USGS Quad(s)** Atlantic City

Description: Brighton Park is located just to the north of the Atlantic City Boardwalk Historic District and just to the south of the contributing Claridge Hotel. The park is visible in aerial photographs dating to 1920, with the current concrete and brick walkways and decorative stone and concrete fountain in the middle of the park adhering to the historic park layout and design. The southern portion of the park consists of a stepped concrete amphitheater added between 1984 and 1995, and a Korean War Memorial that was dedicated in 2000.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Historic Sites #:

Site Map:



Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

(Known or potential Sites – if yes, please describe briefly)

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LANDSCAPE ATTACHMENT

Historic Sites #:

Common Name:	<u>Brighton Park</u>		
Historic Name:	<u>Brighton Park</u>		
Present Use:	<u>Recreation and Entertainment Activity, Passive recreation - outdoor</u>		
Historic Use:	<u>Recreation and Entertainment Activity, Passive recreation - outdoor</u>		
Construction Date:	<u>ca. 1896</u>	Source:	<u>Sanborn Fire Insurance Map, 1896</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Primary Landscape Architect/Designer: <u>Unknown</u>			
Type:	<u>Plaza/square/green/mall or other public spaces</u>	Physical Condition:	<u>Excellent</u>
Style:	<u>Urban Park</u>	Remaining Historic Fabric:	<u>Medium</u>
Acreage:	<u>Approximately 2.4 acres</u>		
Hardscape:	<u>Walkways, Poured Concrete</u>		
Plantings:	<u>Mature Hardwoods; Shrubbery</u>		
Other Features:	<u>Fountain; Other</u>		

Description: Brighton Park is an approximately 2.4-acre urban public park built in 1896 and located on the northwest side of the Atlantic City Boardwalk between Park Place and South Indiana Avenue. The park is framed by a simple black metal fence set atop a low stone wall. Simple square pillars topped with faux-gold globes are located at the four corners of the park's boundary and at the southeast entrance fronting Park Place. A fountain set within a shallow octagonal pool is roughly off-center within the park. Trees line the northeast and southwest edges of the park and there is a central pathway through the park. A non-historic amphitheater from circa 1986 and a Korean War memorial from circa 2000 were installed in the southeastern limit of the park on the southeast side of Park Place fronting the Atlantic City Boardwalk.

Setting: Brighton Park is located on the Atlantic City Boardwalk. During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Brighton Park was originally owned by George F. Lee and Hamilton F. Disston who owned the Brighton Hotel (not extant) which was immediately adjacent to the park. At some point before 1896, the land was deeded to Atlantic City for public use. The 1896 Sanborn map shows the current tract labeled PARK with no noted landscaping. Historic photos and aerials from the 1920s show the current layout minus the mature plantings (Sanborn Map Company, 1896). The fountain in the center of the park was erected by GE in honor of the 50th anniversary of the lightbulb. It illuminated a 30-foot jet of water with up to 72 color effects. The Boardwalk end of the park has a non-historic amphitheater (ca.1984-1995) and a Korean War memorial (2000) (Sokolic and Ruffolo, 2006).

Significance: This resource is recommended as a contributing site to the Atlantic City Boardwalk Historic District.

**Eligibility for New Jersey
and National Registers:**

☒ Yes

☐ No

National

Register Criteria:

☒ A

☐ B

☒ C

☐ D

Level of Significance

☒ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Appears to retain a sufficient degree of integrity.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Brighton Park Landscape Form

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: Inn of the Irish Pub

Street Address: Street #: 164 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: St. James Suffix: N/A Type: PL

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 52

Local Place Name(s): N/A **Lot(s):** 26

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The Inn of the Irish Pub is a six-story brick hotel and bar constructed in 1903 as the Elmwood Hotel.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

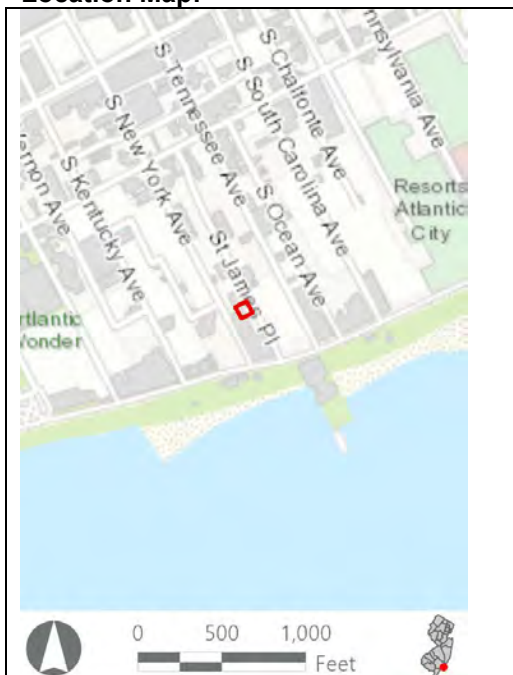


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Experience. 2022. *The Elmwood Hotel*. Available at <https://www.atlanticcityexperience.org/?view=article&id=150:elwood-hotel-feeley-s-hotel-the-irish-pub&catid=10012> (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>Inn of the Irish Pub</u>		
Historic Name:	<u>Elmwood Hotel</u>		
Present Use:	<u>Commercial Activity, Eating, Drinking</u>		
Historic Use:	<u>Residential Activity, Transient, nonfamily</u>		
Construction Date:	<u>1903</u>	Source:	<u>Atlantic City Experience, 2022.</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Excellent</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>High</u>
Style:	<u>Colonial Revival</u>		
Form:	<u>Commercial</u>	Stories:	<u>6</u>
Type:	<u>N/A</u>	Bays:	<u></u>
Roof Finish Materials:	<u>Unknown</u>		
Exterior Finish Materials	<u>Brick, Running Bond</u>		

Exterior Description: The Inn of the Irish Pub is a six-story brick hotel and bar constructed in 1903 as the Elmwood Hotel. The building is seven bays by three bays with a pressed brick façade. Windows on the façade are evenly spaced and have splayed lintels with keystones. There is a two-story porch across the façade with a faux paneled and glazed street level and an open-air second. Historic images indicate that the porch has been heavily altered.

Interior Description: N/A

Setting: The Inn of the Irish Pub is located approximately 0.1 mile from the Atlantic Ocean, in the first block of buildings extending north from the Atlantic City Boardwalk. The building's primary orientation is towards St. James Place and views of the boardwalk, streetscape, and neighboring hotels are predominant from ground level. During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The resource is a six-story brick hotel and bar constructed in 1903 as the Elmwood Hotel. One of the most notable historic hotels in Atlantic City, it was a known speakeasy during Prohibition and has housed notable guests throughout its years including Joe DiMaggio, a frequent visitor. The Elmwood Hotel operated until 1967, when it became the Feeley's Hotel. In 1972, the Irish Pub purchased the bar space within the building, and the Irish Pub and Feeley's Hotel operated in concert until 1972 when the owners of the Irish Pub took over complete operations (Atlantic City Experience, 2022).

Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: Based on exterior analysis only, the resource is recommended eligible for the NRHP under Criteria A, under Community Planning and Development for its association as an early and notable hotel along the Atlantic City Boardwalk, and C under Architecture as an excellent surviving example of Colonial Revival hotel architecture in Atlantic City.

Eligibility for New Jersey

and National Registers:

☒ Yes

☐ No

National

Register Criteria:

☒ A

☐ B

☒ C

☐ D

Level of Significance

☒ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Appears to retain sufficient exterior integrity.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Inn of the Irish Pub Building Form

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 1425 Boardwalk

Street Address: Street #: 1425 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Boardwalk Suffix: N/A Type: N/A

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 52

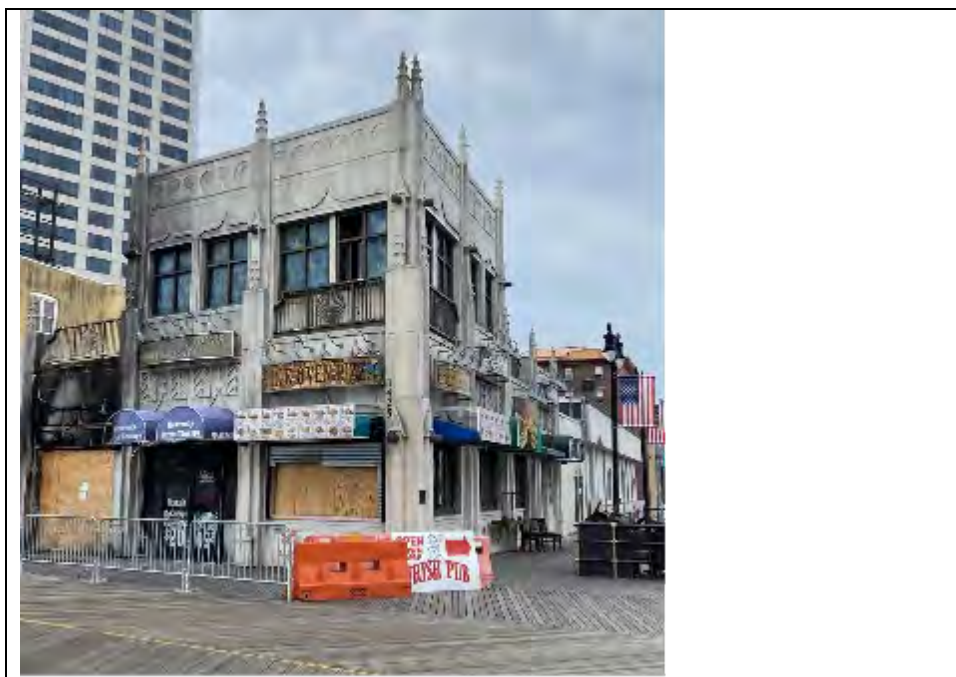
Local Place Name(s): N/A **Lot(s):** 24

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 1425 Boardwalk is a commercial building constructed circa 1920 in the Art Deco and Exotic Revival styles.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

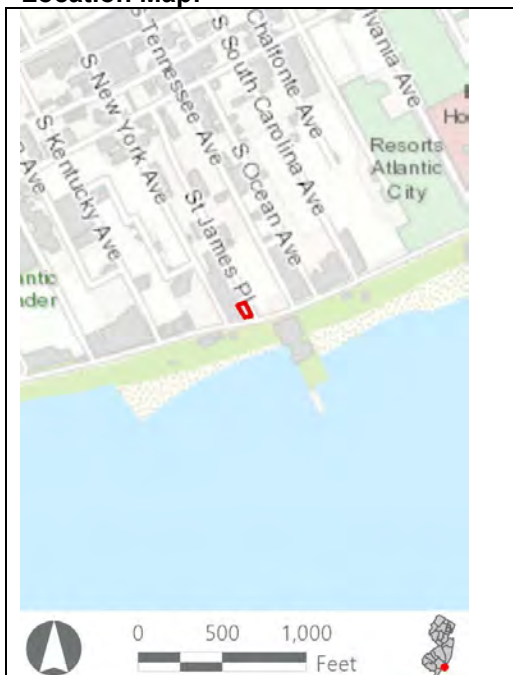


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

LOC. 2022. Image 14 of Sanborn Fire Insurance Map from Atlantic City, Atlantic County, New Jersey. Available at http://hdl.loc.gov/loc.gmd/g3814am.g3814am_g054081921 (Accessed November 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	1425 Boardwalk		
Historic Name:	N/A		
Present Use:	Commercial, shopping		
Historic Use:	Commercial, shopping		
Construction Date:	ca. 1920	Source:	Stylistic Evidence; LOC, 2022
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	High
Style:	Art Deco		
Form:	Commercial	Stories:	2
Type:	N/A	Bays:	2
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Stone, Ashlar		

Exterior Description: The building at 1425 Boardwalk is a commercial building constructed circa 1920 in the Art Deco and Exotic Revival styles. The two-story building has a square footprint and a flat roof. Ornamentation includes decorative spires on the roof, a frieze band decorated with shells, pointed arches above the windows, arrow-shaped pilasters, and a railing decorated with shells.

Interior Description: N/A

Setting: The building fronts the Atlantic City Boardwalk and is located 100 feet from the beach. The southeast (front) elevation of the building has full and unobstructed views of the ocean, although views to the northeast, in the direction of the Projects, are screened by the Central Pier. During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The commercial building at 1427 Boardwalk first appears on a 1921 Sanborn Fire Insurance Map, although a building tenant or business is not specified. Further, no building tenants or businesses were included on any Sanborn Fire Insurance Maps available for the property (LOC, 2022). Beginning in the 1970s, mass demolitions brought on by urban renewal efforts took place along the boardwalk and in the larger vicinity. The commercial building at 1427 Boardwalk stands as an increasingly rare example of an early twentieth-century high-style commercial building.

Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: Based on exterior analysis only, the resource appears to meet Criterion C as an example of an Art Deco and Exotic Revival-style commercial building.

**Eligibility for New Jersey
and National Registers:**

☒ Yes

☐ No

National

Register Criteria:

☐ A

☐ B

☒ C

☐ D

Level of Significance

☒ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Appears to retain a high degree of exterior integrity.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

1425 Boardwalk Building Form

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 124 Atlantic Avenue

Street Address: Street #: 124 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Atlantic Suffix: N/A Type: AVE

County(s): Atlantic Zip Code: 08401

Municipality(s): Atlantic City Block(s): 83

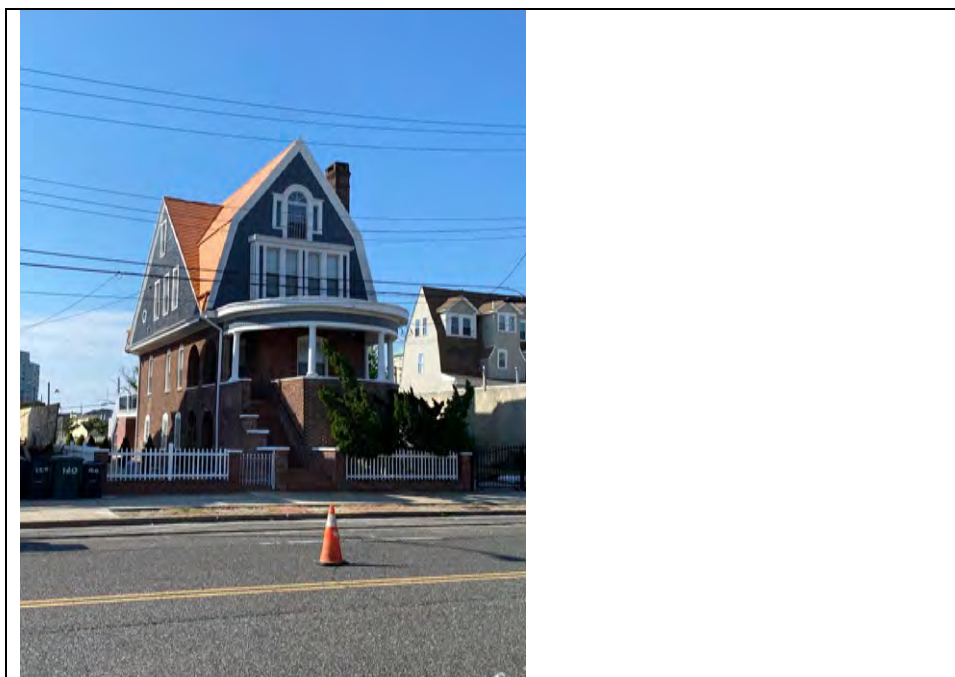
Local Place Name(s): N/A Lot(s): 5

Ownership: Private USGS Quad(s) Atlantic City

Description: The building at 124 Atlantic Avenue is a two-and-one-half-story Dutch Colonial Revival residence with brick cladding on the first and second stories and wood shingle on the overhanging half-story.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

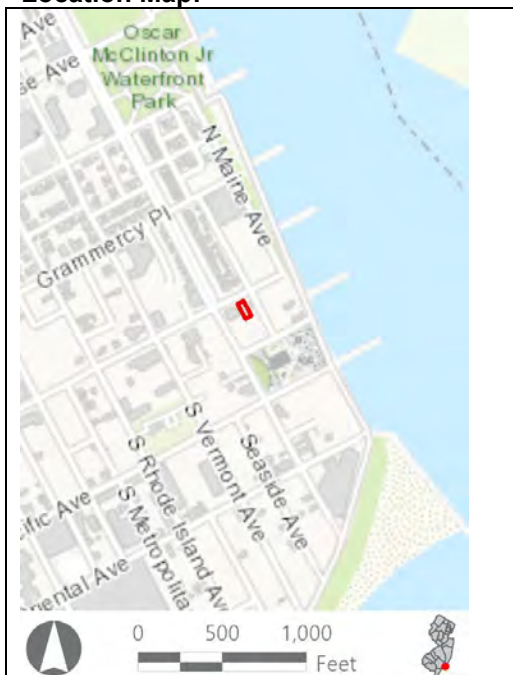


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	124 Atlantic Avenue		
Historic Name:	N/A		
Present Use:	Residential, permanent		
Historic Use:	Residential, permanent		
Construction Date:	ca. 1910	Source:	Stylistic Evidence; NETR, 2022
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	High
Style:	Dutch Colonial Revival		
Form:	Gable Front	Stories:	2.5
Type:	N/A	Bays:	4
Roof Finish Materials:	Asphalt shingle		
Exterior Finish Materials	Brick, Running Bond		

Exterior Description: The building at 124 Atlantic Avenue is a two-and-one-half-story Dutch Colonial Revival residence with brick cladding on the first and second stories and wood shingle on the overhanging half-story. The roof is a combined cross-gable and gambrel. The main entry and a curved porch are on the second story. Ionic columns support the porch and rest on a projecting first-story bay. There is a Palladian window in the gable of the façade, while the remaining fenestration is both flat and segmented arch.

Interior Description: N/A

Setting: This resource is located approximately 430 feet west of the Absecon Inlet and approximately 0.3 miles north of the Atlantic Ocean. The façade and associated porches are oriented towards Atlantic Avenue, roughly 90 degrees from the Projects, but the demolition of intervening buildings once located to the east of the house substantially increased the ocean views. During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The residence at 124 Atlantic Avenue first appears on a 1920 aerial photograph of Atlantic City; however, a review of the 1906 Sanborn Fire Insurance Map of this section of Atlantic City indicates the block was under development which suggests a construction date for the resource of circa 1910. Further review of historic aerial photographs indicates this section of Atlantic City was densely built with residential and commercial buildings throughout the first half of the twentieth century. Beginning in the middle of the 1970s, large-scale urban renewal efforts resulted in mass demolition in the neighborhood which dramatically changed the character of the neighborhood. Demolition continued during the 1980s and 1990s, although by 2002 some redevelopment efforts began along John Kelley Circle to the northwest. However, the residence at 124 Atlantic Avenue stands as one of the few early twentieth century dwellings remaining in this area of Atlantic City (NETR, 2023).

Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: Based on exterior analysis only, the residence at 124 Atlantic Avenue appears to meet Criterion C in the area of Architecture as an example of a residence in the Dutch Colonial Revival style.

Eligibility for New Jersey

and National Registers:

☒ Yes

☐ No

National

Register Criteria:

☐ A

☐ B

☒ C

☐ D

Level of Significance

☒ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Appears to retain a high degree of exterior integrity.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 120 Atlantic Avenue

Street Address: Street #: 120 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Atlantic Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 83

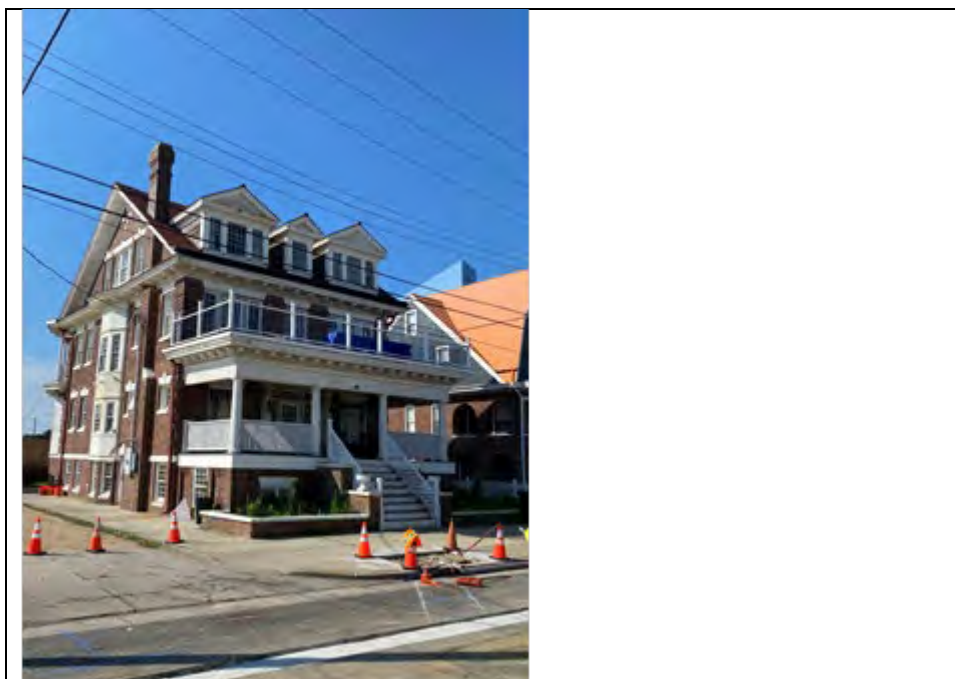
Local Place Name(s): N/A **Lot(s):** 6

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 120 Atlantic Avenue is a two-and-a-half-story Colonial Revival-style residence resting on a raised foundation.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

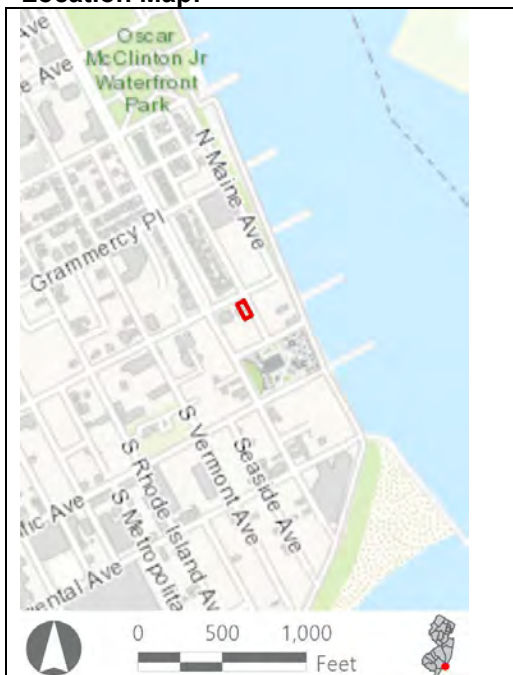


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	120 Atlantic Avenue		
Historic Name:	N/A		
Present Use:	Residential, permanent		
Historic Use:	Residential, permanent		
Construction Date:	1910	Source:	Stylistic Evidence; NETR, 2023.
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	High
Style:	Colonial Revival		
Form:	Center Hall	Stories:	2.5
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Brick, Flemish Bond		

Exterior Description: The building at 120 Atlantic Avenue is a two-and-a-half-story Colonial Revival-style residence resting on a raised foundation. The building is clad in brick and capped by a side gable roof. The house features a full-width first-floor porch with Doric columns supporting a heavy entablature and a second-story balcony. There are three triangular pedimented roof dormers on the façade elevation. Two-story projecting bays are located on the side elevations. The windows have stone lintels and keystones. The main entrance is surrounded by multi-pane sidelights and a transom.

Interior Description: N/A

Setting: The property at 120 Atlantic Avenue is located approximately 365 feet west of the Absecon Inlet and approximately 0.3 miles north of the Atlantic Ocean. The façade and associated porches are oriented towards Atlantic Avenue, roughly 90 degrees from the Projects, but the demolition of intervening buildings once located to the east of the house substantially increased the ocean views. During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The residence at 120 Atlantic Avenue first appears on a 1920 aerial photograph of Atlantic City; however, a review of the 1906 Sanborn Fire Insurance Map of this section of Atlantic City indicates the block was under development which suggests a construction date for the resource of ca. 1910. Further review of historic aerial photographs indicates this section of Atlantic City was densely built with residential and commercial buildings throughout the first half of the twentieth century. Beginning in the middle of the 1970s, large-scale urban renewal efforts resulted in mass demolition in the neighborhood which dramatically changed the character of the neighborhood. Demolition continued during the 1980s and 1990s, although by 2002 some redevelopment efforts began along John Kelley Circle to the northwest. However, the residence at 120 Atlantic Avenue stands as one of the few early twentieth-century dwellings remaining in this area of Atlantic City (NETR, 2023).

Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: Based on exterior analysis only, the residence at 120 Atlantic Avenue appears to meet Criterion C as an example of a residence in the Colonial Revival style.

Eligibility for New Jersey

and National Registers:

☒ Yes

☐ No

National

Register Criteria:

☐ A

☐ B

☒ C

☐ D

Level of Significance

☒ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Appears to retain a high degree of exterior integrity.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

120 Atlantic Avenue Building Form

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

Date: February 24,
2023

BASE FORM

Historic Sites #:

Property Name: Absecon Lighthouse

Street Address: Street #: N/A N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Pacific Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 127

Local Place Name(s): N/A **Lot(s):** 7

Ownership: Private **USGS Quad(s)** Atlantic City

Photograph:



Description: The Absecon Lighthouse was constructed in 1856 under the direction of Lt. George Meade, who later commanded Union forces at the Battle of Gettysburg. Constructed of iron and brick, it rises 171 feet tall, is 27 feet in diameter at the base, and is 13 feet, seven-and-a-half inches at the lens chamber. The roof is pyramidal and caps rectangular glass panes with iron frames. The lighthouse was decommissioned in 1933 and was moved to its current location from its original site closer to the inlet.

Registration and Status Dates: National Historic Landmark: _____

National Register: January 25, 1971

New Jersey Register: September 11, 1970

Determination of Eligibility: _____

SHPO Opinion: _____

Local Designation: _____

Other Designation: _____

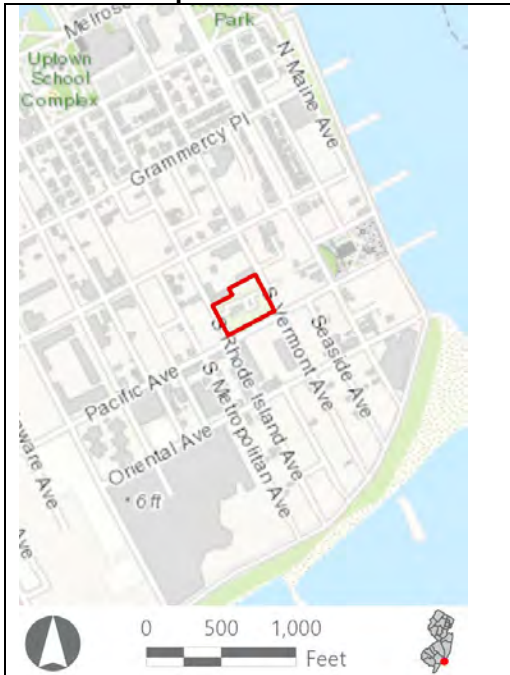
Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

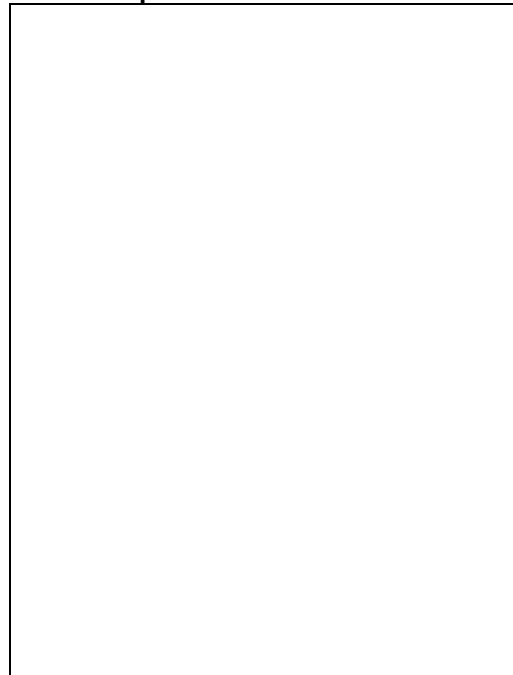
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: Townsend Inlet Bridge (SI&A #3100003)

Street Address: Street #: _____ N/A Apartment #: N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Highway over Townsend Inlet Suffix: N/A Type: _____

County(s): Cape May County **Zip Code:** 08202

Avalon Borough, Middle Township, Sea Isle

Municipality(s): City **Block(s):** N/A

Local Place Name(s): N/A **Lot(s):** N/A

Ownership: Public **USGS Quad(s):** Avalon

Photograph:



Description: The Townsend Inlet Bridge was one of four trunnion bascule bridges designed by Ash Howard Needles & Tammen and erected in Cape May County between 1938 and 1940. Moveable bridges were necessary to facilitate vehicular traffic between the barrier island resorts while still allowing boat traffic to navigate the inlet's confluence with the Atlantic Ocean.

Registration and Status Dates: National Historic Landmark: _____

SHPO Opinion: October 30, 2008

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C.

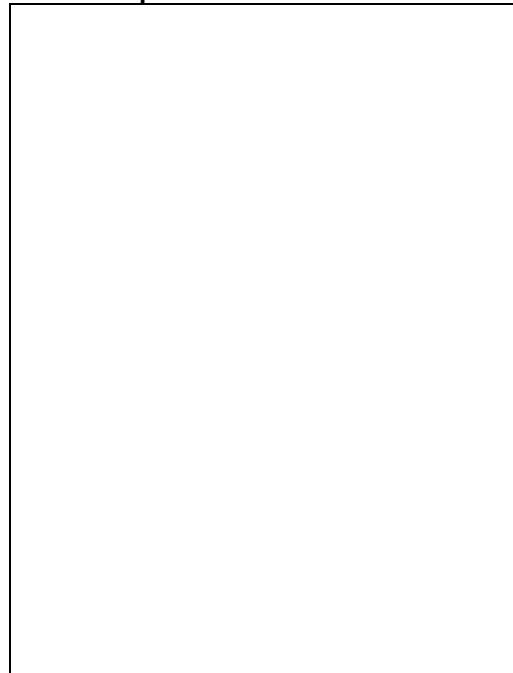
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: Barnegat Lighthouse

Street Address: Street #: 208 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Broadway Suffix: N/A Type: N/A

County(s): Ocean **Zip Code:** 08006

Municipality(s): Barnegat Light Borough **Block(s):** 4

Local Place Name(s): N/A **Lot(s):** 7

Ownership: Public **USGS Quad(s)** Barnegat Light

Photograph:



Description: The Barnegat Lighthouse was built between 1855 and 1857 by Lt. George Meade, an Army engineer and future Civil War General. The lighthouse is 163 feet tall and was built to replace a much shorter structure that was destroyed by coastal erosion. The lighthouse operated with its original 12 foot tall Fresnel lens from 1959 to 1927, after which other lighting apparatus were used until the light was decommissioned in 1944. The property was given to the State of New Jersey and shortly thereafter the surrounding municipality changed its name to Barnegat Light.

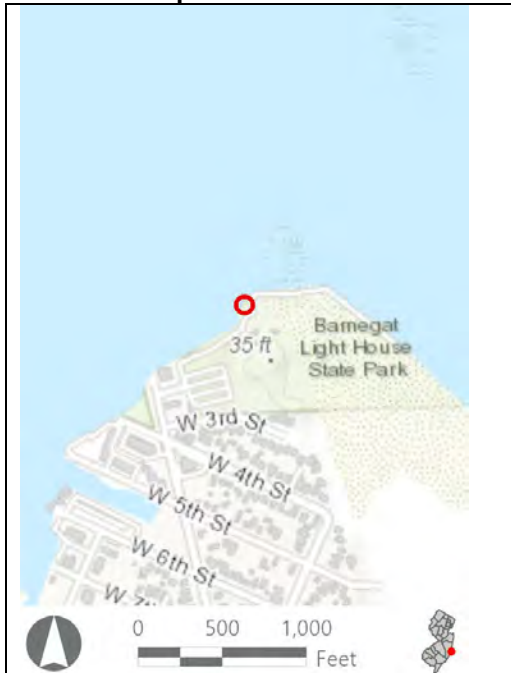
Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: January 25, 1971 Local Designation: _____
New Jersey Register: September 11, 1970 Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

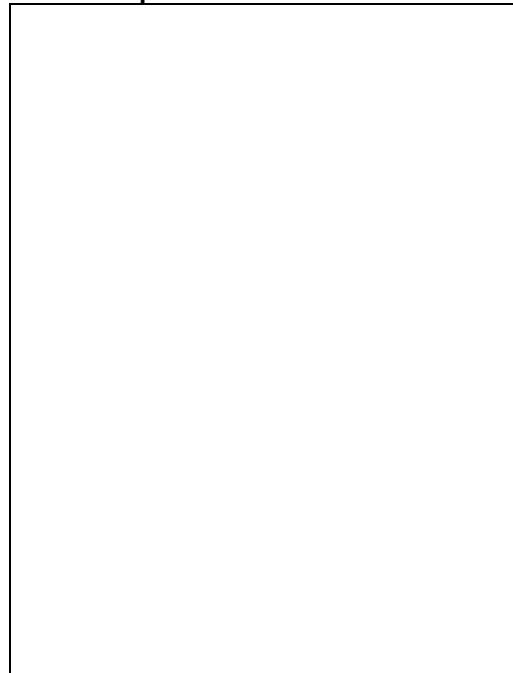
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 101 Dolphin Avenue

Street Address: Street #: 101 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Dolphin Suffix: N/A Type: AVE

County(s): Ocean **Zip Code:** 08008

Municipality(s): Beach Haven Borough **Block(s):** 87

Local Place Name(s): N/A **Lot(s):** 8

Ownership: Private **USGS Quad(s)** Hammonton

Description: The resource at 101 Dolphin Avenue is a two-and-a-half story circa 1900 Colonial Revival with a side gable roof.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

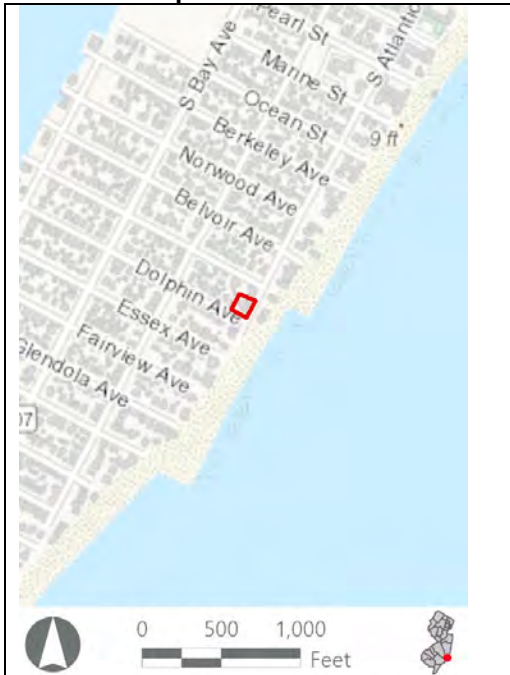


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Borough of Beach Haven. 2023. History of Beach Haven. Available at <https://beachhaven-nj.gov/resources/history-of-beach-haven/> (Accessed January 2023).
Heritage Studies, Inc. 1981. *Long Beach Island*. New Jersey Historic Sites Inventory, Ocean County Vol. 35. Available at https://nj.gov/dep/hpo/hrrcn_sandy_OCE_GB_147_148_PDF/OCE_GB_148_v35.pdf (Accessed January 2023).

Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).

LOC. 2022. Image 11 of Sanborn Fire Insurance Map from Beach Haven, Ocean County, New Jersey. Available at http://hdl.loc.gov/loc.gmd/g3814bm.g3814bm_g054121922 (Accessed November 2022).

NETRonline (NETR). 2022. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed November 2022).

U.S. Life Saving Service Heritage Association. 2023. Harvey Cedars Station Site. Available at <https://uslife-savingservice.org/station-buildings/harvey-cedars-station-house/> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	101 Dolphin Avenue		
Historic Name:	N/A		
Present Use:	Residential, permanent		
Historic Use:	Residential, permanent		
Construction Date:	ca. 1931	Source:	NETR, 2022.
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	High
Style:	N/A		
Form:	Center Hall	Stories:	2
Type:	N/A	Bays:	6
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Wood, Shingles		

Exterior Description: The resource at 101 Dolphin Avenue is a two-and-a-half story circa 1900 Colonial Revival with a side gable roof. The roof features three gable roof dormers and a large interior brick chimney. The dwelling measures six bays wide and three bays deep and is clad in wood shingles. The fenestration consists of multi-pane casement windows. The building is partially obstructed by trees but appears to have a center hall plan.

Interior Description: N/A

Setting: The resource fronts the northwest side of South Atlantic Avenue and is located approximately 175 feet from the beach at Beach Haven and the ocean. Although the dwelling has a maritime setting, views of the ocean are obscured by raised sand dunes and large, non-historic dwellings fronting the southeast side of South Atlantic Avenue. Historic aerial imagery shows that Beach Haven was almost entirely developed by 1920, and the entire borough was completely built out by 1956. The Great Atlantic Hurricane of 1944 caused extensive damage to the borough's hotels and boardwalk and another storm in 1962 resulted in a new zoning law requiring any new constructions to be built on stilts. Beach Haven continues to be a popular seasonal beach community (Beach Haven, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Sanborn map analysis revealed that the house was not yet present, and the area was largely undeveloped in 1922. The house appears in an aerial photograph from 1931. At that point, the majority of the neighborhood was filled with homes (LOC, 2022; NETR, 2022).

Beach Haven Borough is in the extreme southern extent of Ocean County in the southern portion of Long Beach Island. As early as 1690, Euro-American settlers used Long Beach Island seasonally for fishing, whaling, gathering plants, and harvesting sea salt, but present-day Beach Haven remained relatively undeveloped until the 1870s. In 1871, Captain Tilton Fox bought the Harvey Cedars Life Saving Station, moved it to Beach Haven, and opened it as the Hotel de Crab. The development of cottages, hotels, and roads accelerated over the next decades, cementing Beach Haven as a popular summer getaway for wealthy people from Philadelphia. In 1886, Beach Haven became accessible directly by railroad with the construction of the Long Beach Railroad. In 1880, Beach Haven was incorporated as a borough. By the turn of the twentieth century, Beach Haven had a flourishing commercial economy and tourism industry. In 1914, Beach Haven became accessible by automobile with the construction of a causeway over Barnegat Bay and a boulevard to Beach Haven. The causeway was met with great excitement and supported continued development in Beach Haven in the subsequent decades. (Long Beach Island, 2023; Beach Haven, 2023; U.S. Lifesaving Service, 2023; Heritage Studies, 1981).

Significance: Based on exterior analysis only, the residence at 101 Dolphin Avenue appears to meet Criterion C in the area of Architecture as an example of a residence in the Colonial Revival style.

**Eligibility for New Jersey
and National Registers:**

☒ Yes

☐ No

National

Register Criteria:

☐ A

☐ B

☒ C

☐ D

Level of Significance

☒ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: The residence retains a high degree of exterior integrity.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: AT&T Transmitter Building and Antenna Field

Street Address: Street #: 83 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Bayview Suffix: N/A Type: AVE

County(s): Ocean **Zip Code:** 08721

Municipality(s): Berkeley Township **Block(s):** 1206 and 1207

Local Place Name(s): N/A **Lot(s):** 1.01/2.01/2.02

Ownership: Private **USGS Quad(s)** Seaside Park

Photograph:



Description: The AT&T Transmitter Building and Antenna Field was built in the 1930s as a high-frequency (shortwave) radio transmitting station that provided “ship to shore” telephone communications and to overseas locations. The resource is eligible for NRHP listing under Criterion A for its association with Engineering and Maritime History.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: November 13, 2015
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: July 30, 2007 Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

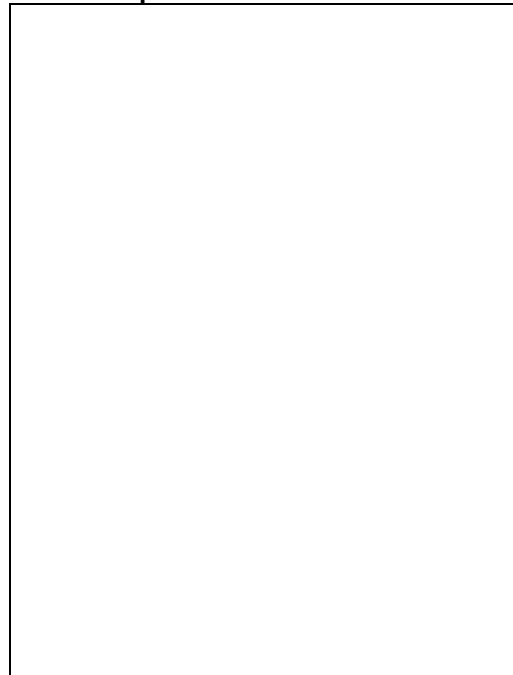
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: The Judge's Shack

Street Address: Street #: N/A N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Shore Suffix: N/A Type: RD

County(s): Ocean **Zip Code:** 08734

Municipality(s): Berkeley Township **Block(s):** 1750

Local Place Name(s): Lanoka Harbor **Lot(s):** 1

Ownership: Public **USGS Quad(s)** Barneгат Light

Photograph:



Description: The building was constructed ca. 1911 and is the last known surviving example of its type. The resource retains sufficient integrity to convey its significance under NRHP Criteria A and C.

Registration and Status Dates: National Historic Landmark: _____

National Register: _____

New Jersey Register: _____

Determination of Eligibility: _____

SHPO Opinion: March 9, 2015

Local Designation: _____

Other Designation: _____

Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

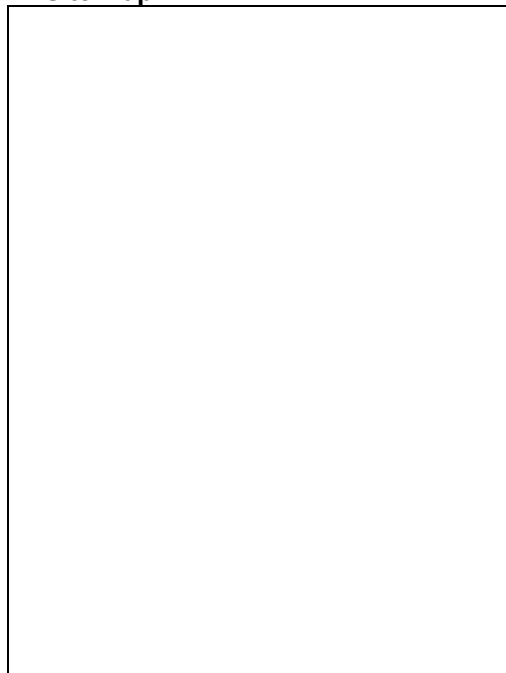
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: Brigantine Lighthouse

Street Address: Street #: 3400 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Brigantine Suffix: N/A Type: BLVD

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 2910

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Public **USGS Quad(s)** Oceanville

Photograph:



Description: The lighthouse was constructed in 1926 and was never used as a working lighthouse and was instead built as a tourist attraction to encourage visitors to Brigantine from Atlantic City. In the 1930s, the lighthouse functioned as the police station. Later in the 1970s, it was home to the Brigantine Historical Museum. The property is sited inside a traffic circle in a bayside section of Brigantine.

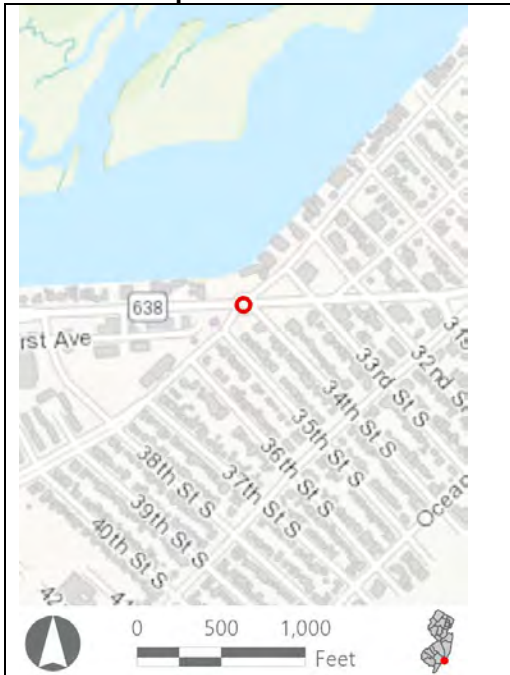
Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: April 21, 2014
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

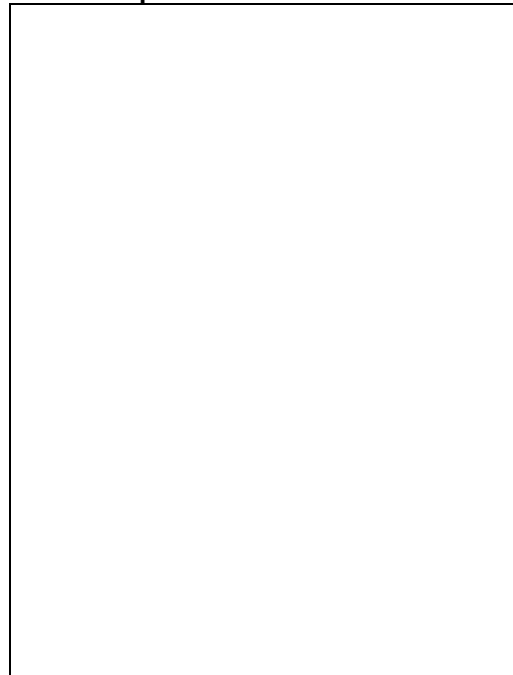
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 2201 Bayshore

Street Address: Street #: 2201 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Bayshore Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 2201

Local Place Name(s): N/A **Lot(s):** 8

Ownership: Private **USGS Quad(s)** Oceanville

Description: The building at 2201 Bayshore is a one-and-one-half-story side-gabled dwelling with steep rooflines and elements of a Tudor cottage. The house has a slate roof and is clad in stucco. A chimney stack and hipped-roof dormer are centrally located above a roof extension over a half-enclosed entry porch. A one-story side wing has a rooftop deck.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

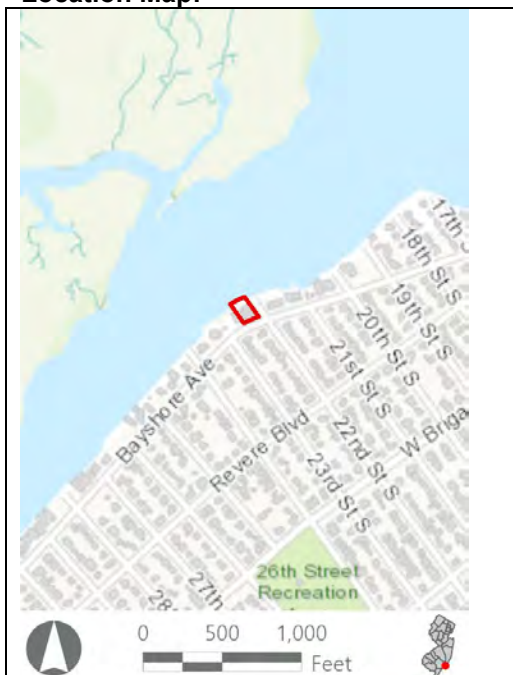


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).
Weichert Realtors. 2022. "Brigantine History." Available at: <https://brigantinebeachrealestate.com/brigantine-nj/history/> (Accessed November 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>2201 Bayshore Avenue</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential, permanent</u>		
Historic Use:	<u>Residential, permanent</u>		
Construction Date:	<u>ca. 1930</u>	Source:	<u>Stylistic Evidence; NETR, 2023.</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Excellent</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Medium</u>
Style:	<u>Tudor Revival</u>		
Form:	<u>Irregular</u>	Stories:	<u>1.5</u>
Type:	<u>N/A</u>	Bays:	<u>5</u>
Roof Finish Materials:	<u>Slate</u>		
Exterior Finish Materials	<u>Stucco</u>		

Exterior Description: The building at 2201 Bayshore is a one-and-one-half-story side-gabled dwelling with steep rooflines and elements of a Tudor cottage. The house has a slate roof and is clad in stucco. A chimney stack and hipped-roof dormer are centrally located above a roof extension over a half-enclosed entry porch. A one-story side wing has a rooftop deck.

Interior Description: N/A

Setting: 2201 Bayshore Avenue is located directly on Absecon Bay and the Bonita Tideway, approximately 0.61 mile to the northwest of Brigantine Beach and the Atlantic Ocean. Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The resource first appears on a 1931 aerial photograph of Brigantine which, along with the stylistic evidence, suggests a construction date of circa 1930. Brigantine was developed in the early 1920s when the Island Development Company undertook large-scale residential and commercial development on most of the island. The city was formally incorporated during this period in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924 which promoted visitation to the land. Brigantine saw its largest period of growth between 1930 and 1960 and continues to be a popular family beach destination (NETR, 2022; Weichert Realtors, 2022).

The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: Based on exterior analysis only, the resource appears to meet Criterion C as an example of a Tudor-style dwelling.

**Eligibility for New Jersey
and National Registers:**

☒ Yes

☐ No

**National
Register Criteria:**

☐ A

☐ B

☒ C

☐ D

Level of Significance

☒ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Appears to retain a sufficient degree of exterior integrity.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

2201 Bayshore Building Form

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 2707 West Brigantine Avenue

Street Address: Street #: 2707 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: W Street Name: Brigantine Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 2404

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Oceanville

Description: The house at 2707 West Brigantine Avenue is a two-story stucco dwelling designed in the Spanish Colonial Revival style.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

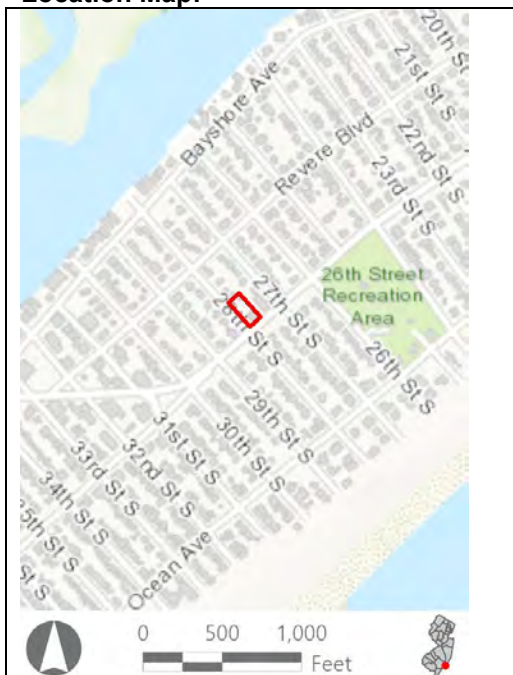
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).
The History Store. 1986. North Atlantic County Survey. Volume III – Brigantine City. Available at: <https://njems.nj.gov/DataMiner> (Accessed August 2022).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 2707 West Brigantine Avenue

Historic Name: N/A

Present Use: Residential, permanent

Historic Use: Residential, permanent

Construction Date: 1927 **Source:** County Property Records

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Excellent

Builder: N/A **Remaining Historic Fabric:** High

Style: Spanish Colonial Revival

Form: Irregular **Stories:** 2

Type: N/A **Bays:** 3

Roof Finish Materials: Tile, Spanish

Exterior Finish Materials Stucco

Exterior Description: The house at 2707 West Brigantine Avenue is a two-story stucco dwelling designed in the Spanish Colonial Revival style. It exhibits the character-defining features of the style with clay roof tile, a multi-gabled roofline, wing walls, a tower, an enclosed courtyard, and overall complex massing. The building is divided into three volumes with a main cross-gabled block. An off-center gable-front block projects from the street-facing elevation. This is followed by a hipped-roof volume that is engaged to the corner of the front-gabled volume, between which is a folly tower.

Interior Description: N/A

Setting: 2707 West Brigantine Avenue is located in the center of the barrier island between Absecon Bay and the Bonita Tideway and the Atlantic Ocean. Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: According to a previous survey form, the home was constructed in 1927 for H.G. Harris, president of the Island Development Company. The real estate development company was responsible for the most significant development in Brigantine during the early 1920s. Brigantine was formally incorporated during this period in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924 which promoted visitation to the land. The resource first appears in a 1931 aerial photograph of Brigantine that also depicts the beginning of development in the community. The resource was contained within two parcels lined with landscaping. By the late 1950s, only two additional houses were located within the block; however, the surrounding blocks exhibited ongoing development. Today, this area of Brigantine is predominantly residential (The History Store, 1986:14; HABS, 1991; NETR, 2023).

The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: Based on exterior analysis only, the resource appears to meet Criterion C as an example of a Spanish Colonial Revival-style dwelling.

Eligibility for New Jersey

and National Registers:

Level of Significance

☒ Yes

☐ No

☒ Local

☐ State

National

Register Criteria:

☐ A

☐ B

☒ C

☐ D

☐ National

Justification of Eligibility/Ineligibility: Appears to retain a high degree of exterior integrity.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

2707 West Brigantine Avenue Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 2807 Ocean Avenue

Street Address: Street #: 2807 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 2501

Local Place Name(s): N/A **Lot(s):** 2

Ownership: Private **USGS Quad(s)** Oceanville

Description: The building at 2807 Ocean Avenue is a one-and-one-half-story Chateausque-style dwelling.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

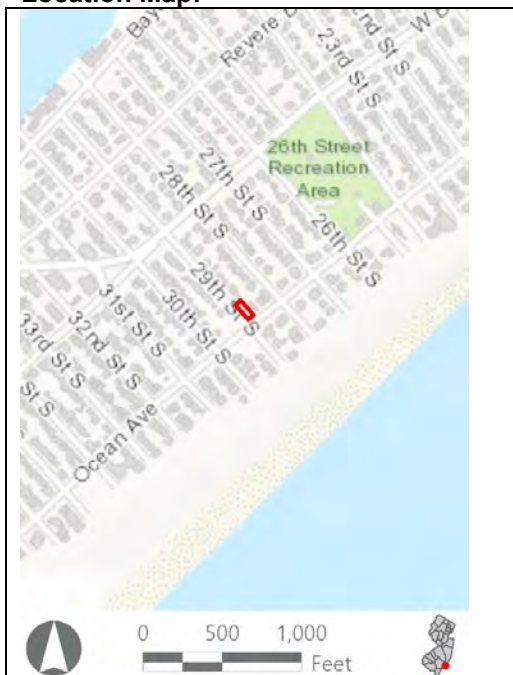
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).
Weichert Realtors. 2022. "Brigantine History." Available at: <https://brigantinebeachrealestate.com/brigantine-nj/history/> (Accessed November 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: <u>2807 Ocean Avenue</u>	
Historic Name: <u>N/A</u>	
Present Use: <u>Residential, permanent</u>	
Historic Use: <u>Residential, permanent</u>	
Construction Date: <u>ca. 1930</u>	Source: <u>Stylistic Evidence; NETR 2023.</u>
Alteration Date(s): <u>N/A</u>	Source: <u>N/A</u>
Designer: <u>N/A</u>	Physical Condition: <u>Excellent</u>
Builder: <u>N/A</u>	Remaining Historic Fabric: <u>High</u>
Style: <u>Chateausque</u>	
Form: <u>Center Hall</u>	Stories: <u>1.5</u>
Type: <u>N/A</u>	Bays: <u>3</u>
Roof Finish Materials: <u>Slate</u>	
Exterior Finish Materials <u>Stucco</u>	

Exterior Description: The building at 2807 Ocean Avenue is a one-and-one-half-story Chateausque-style dwelling. It has a steep hipped roof, end chimneys, segmented-arch wall dormers, and stucco cladding. The first story is double-height on a raised foundation with an integrated terrace. The window and door openings are segmented arch. The façade is flanked by a one-story wing and an attached garage.

Interior Description: N/A

Setting: The House at 2807 Ocean Avenue is located a block from the Atlantic Ocean. Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The resource first appears in a 1931 aerial photograph of Brigantine which, along with the stylistic evidence, suggests a construction date of ca. 1930. Brigantine was developed in the early 1920s when the Island Development Company undertook large-scale residential and commercial development on most of the island. The city was formally incorporated during this period in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924 which promoted visitation to the land. Brigantine saw its largest period of growth between 1930 and 1960 and continues to be a popular family beach destination (NETR, 2023; Weichert Realtors, 2022).

The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: Based on exterior analysis only, the resource appears to meet Criterion C as an example of a Chateausque-style dwelling.

Eligibility for New Jersey

and National Registers:

☒ Yes

☐ No

National

Register Criteria:

☐ A

☐ B

☒ C

☐ D

Level of Significance

☒ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Appears to retain a high degree of exterior integrity.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

2807 Ocean Avenue Building Form

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BASE FORM

Historic Sites #:

Property Name: 200 18th Street South

Street Address: Street #: 200 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 18th Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 1606

Local Place Name(s): N/A **Lot(s):** 9

Ownership: Private **USGS Quad(s)** Oceanville

Description: The building at 200 18th Street South is a two-story Mission-style dwelling with a hipped roof and stucco cladding.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

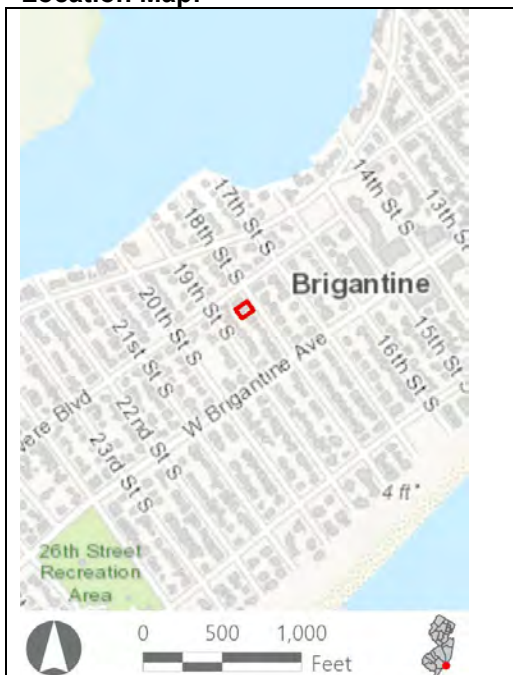


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources:

Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Weichert Realtors. 2022. "Brigantine History." Available at: <https://brigantinebeachrealestate.com/brigantine-nj/history/> (Accessed November 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	200 18 th Street South		
Historic Name:	N/A		
Present Use:	Residential, permanent		
Historic Use:	Residential, permanent		
Construction Date:	ca. 1925	Source:	NETR, 2023.
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	Medium
Style:	Spanish Colonial Revival		
Form:	Other	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Stucco		

Exterior Description: The building at 200 18th Street South is a two-story Mission-style dwelling with a hipped roof and stucco cladding. The building features hipped roof dormers, brackets in the eaves, exposed rafter tails, round-arch fenestration on the first story, and a brick foundation. The entry is on the side elevation with an arched hood. The windows are 1/1 replacement sash.

Interior Description: N/A

Setting: The resource is in the center of the barrier island between Absecon Bay and the Bonita Tideway and the Atlantic Ocean. Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The resource first appears on a 1931 aerial photograph of Brigantine which, along with the stylistic evidence, suggests a construction date of ca. 1925. Brigantine was developed in the early 1920s when the Island Development Company undertook large-scale residential and commercial development on most of the island. The city was formally incorporated during this period in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924 which promoted visitation to the land. Brigantine saw its largest period of growth between 1930 and 1960 and continues to be a popular family beach destination (NETR, 2023; Weichert Realtors, 2022).

The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: Based on exterior analysis only, the resource appears to meet Criterion C in the area of Architecture as an example of a Mission-style residence.

**Eligibility for New Jersey
and National Registers:**

☒ Yes

☐ No

National

Register Criteria:

☐ A

☐ B

☒ C

☐ D

Level of Significance

☒ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Appears to retain a sufficient degree of exterior integrity

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

200 18th Street South Building Form

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: Central School/Brigantine Library

Street Address: Street #: 201 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 15th Suffix: N/A Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 1504

Local Place Name(s): N/A **Lot(s):** 2

Ownership: Public **USGS Quad(s)** Brigantine Inlet

Description: Central School is a two-story former school built in the Classical Revival style with Spanish Colonial Revival elements.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

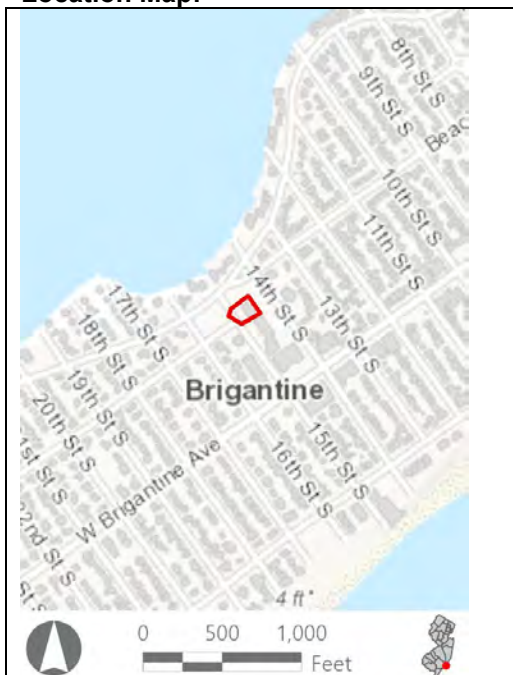


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Schweibert, Ray. 2017. "Brigantine Historical Society considering other sites for plaques." The Press of Atlantic City. July 24, 2017. Available at: https://pressofatlanticcity.com/currents_gazettes/brigantine/brigantine-historical-society-considering-other-sites-for-plaques/ (Accessed November 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>Brigantine Library</u>		
Historic Name:	<u>Central School</u>		
Present Use:	<u>Institutional, educational</u>		
Historic Use:	<u>Institutional, educational</u>		
Construction Date:	<u>1926</u>	Source:	<u>Schweibert, 2017.</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Excellent</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Medium</u>
Style:	<u>Spanish Colonial Revival</u>		
Form:	<u>Other</u>	Stories:	<u>2</u>
Type:	<u>N/A</u>	Bays:	<u>5</u>
Roof Finish Materials:	<u>Asphalt shingle</u>		
Exterior Finish Materials	<u>Stucco</u>		

Exterior Description: Central School is a two-story former school built in the Classical Revival style with Spanish Colonial Revival elements. The building has a hipped roof, ribbon windows, and a center entry at the second story reached by a prominent stair. The first story is clad in brick, while the second is in stucco. Spanish elements include a parapet over the entry and brackets.

Interior Description: N/A

Setting: The Central School is located a block from Absecon Bay and 0.35 miles to the northwest of Brigantine Beach and the Atlantic Ocean on the barrier island. Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The former Central School in Brigantine, which currently functions as the Brigantine Branch Library, was opened in 1926. The school housed all public school students until 1974 when the North Middle School was opened for grades five through eight. The Kindergarten through Fourth Grade students used the school until 1992 when the North School was opened. In 1995, the building reopened as the Brigantine Library (Schweibert, 2017).

The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: Based on exterior analysis only, the resource retains sufficient integrity to convey its significance under Criterion A for its association with Education in Brigantine and Atlantic County.

Eligibility for New Jersey

and National Registers:

Level of Significance

☒ Yes

☐ No

☒ Local

☐ State

National

Register Criteria:

☒ A

☐ B

☐ C

☐ D

☐ National

Justification of Eligibility/Ineligibility: Appears to retain a sufficient degree of exterior integrity.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Central School Building Form

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: Brigantine Hotel

Street Address: Street #: 1400 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 1401

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: The Brigantine Hotel is a ten-story brick-clad Art Deco-style hotel built in 1927.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

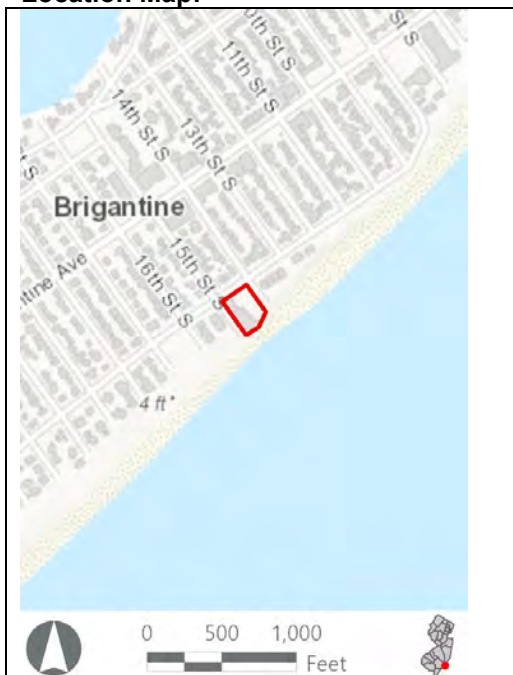


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources:

Historic American Buildings Survey. 1991. Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

Lurie, M.N. and M. Mappen, eds. 2004. *Encyclopedia of New Jersey*. Rutgers University Press, New Brunswick, NJ.

NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Roi, O. 1948. *Inside Black America*. Eyre and Spottiswoode, Ltd., London, UK.

Schultz, E.F. and D. Kelly. 2002. *New Jersey Women's Historic Sites Survey*. Preservation Partners Consultants. June 21, 2002 (Revised February 7, 2003).

Additional Information: N/A

More Research Needed? ☒ Yes ☐ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>Brigantine Hotel</u>		
Historic Name:	<u>Brigantine Hotel</u>		
Present Use:	<u>Residential, Transient, nonfamily</u>		
Historic Use:	<u>Residential, Transient, nonfamily</u>		
Construction Date:	<u>1927</u>	Source:	<u>Lurie and Mappen, 2004.</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Excellent</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Medium</u>
Style:	<u>Art Deco</u>		
Form:	<u>Commercial</u>	Stories:	<u>10</u>
Type:	<u>N/A</u>	Bays:	<u>9</u>
Roof Finish Materials:	<u>Unknown</u>		
Exterior Finish Materials	<u>Brick</u>		

Exterior Description: The Brigantine Hotel is a ten-story brick-clad Art Deco-style hotel built in 1927. The first and second stories project beyond the wall plane and have undergone some alterations and accretions, but their historic form is retained. The upper stories are divided into five bays on the facade by raised piers. The piers step back at the roofline and terminate with metal coping. Horizontal banding articulates the ninth and tenth stories. Windows are replacement sash, but openings retain symmetrical rhythm.

Interior Description: N/A

Setting: The Brigantine Hotel is a 10-story high-rise hotel situated on the southeast side of Ocean Avenue between 14th Street South and 15th Street South bordering the beach. The hotel was constructed as a seaside hotel with an associated beach area. The hotel has unobstructed views of Brigantine Beach and the Atlantic Ocean and is an imposing building that can be seen from most areas of Brigantine Beach. Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The Brigantine Hotel, constructed in 1927 in the Art Deco style, was for a time a prominent desegregated hotel where both white and black guests could enjoy the associated beachfront. Purchased by the racially integrated Peace Mission Movement led by the Black pastor Father Divine, the Brigantine for a brief time in the 1940s provided inexpensive lodging and meals, and beach access for its followers and interested guests of both races. Seen by many as a racially integrated cult, the Mission encountered resistance in Brigantine City. Under pressure, the Mission sold the hotel to the Atlantic City-based Black beauty product magnet, Sara Washington Spencer, who kept the hotel and beach open to both Black and White guests (Roi, 1948; Schultz and Kelly, 2002; Lurie and Mappen, 2004).

The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: The Brigantine Hotel is significant under NRHP Criterion A for its association with Entertainment/Recreation, African American Heritage, and Community Planning and Development. The resource retains architectural integrity and is also eligible under Criterion C as an example of an Art Deco hotel.

Eligibility for New Jersey

and National Registers: ☒ Yes ☐ No

Level of Significance ☒ Local ☐ State

National

Register Criteria: ☒ A ☐ B ☒ C ☐ D

☐ National

Justification of Eligibility/Ineligibility: Appears to retain a sufficient degree of exterior integrity.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Brigantine Hotel Building Form

Narrative Boundary Description: Corresponds with the boundary of the tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: St. Thomas the Apostle Church

Street Address: Street #: 331 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 8th Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 801

Local Place Name(s): N/A **Lot(s):** 4

Ownership: Non-profit **USGS Quad(s)** Brigantine Inlet

Description: St. Thomas the Apostle Church is a Mission/Spanish Revival church constructed in 1927. The building has a rectangular plan, a hipped roof, and stucco cladding.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

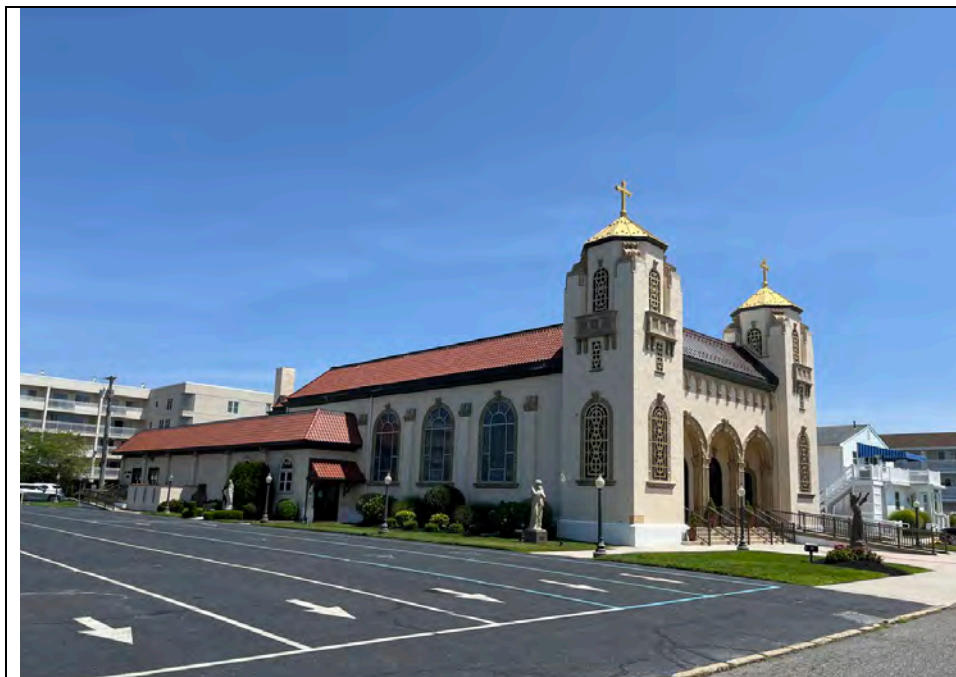
New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

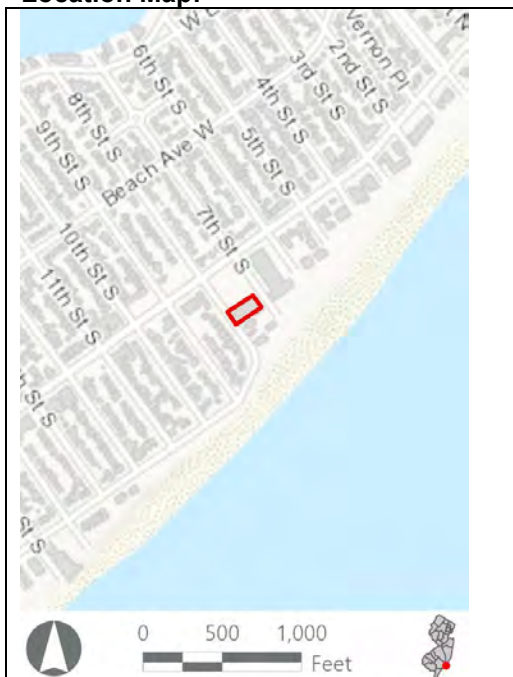
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

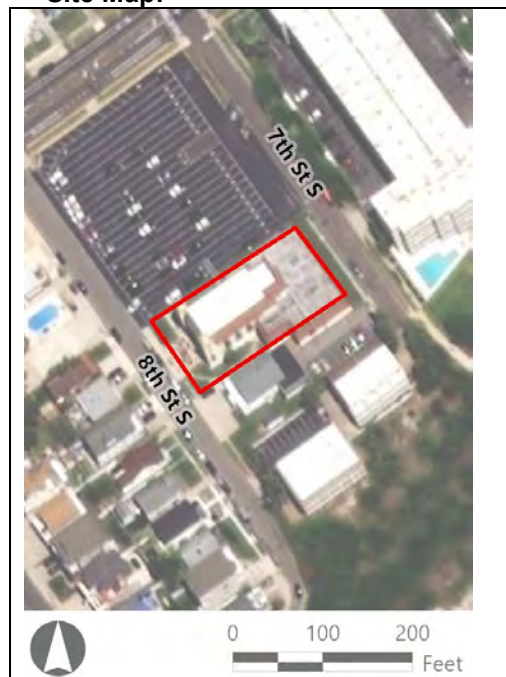
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources:

History of St. Thomas Parish. 2022. Available at <https://stthomasbrigantine.org/history/> (Accessed November 2022).

Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>St. Thomas the Apostle Church</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Institutional Activities, Religious activity</u>		
Historic Use:	<u>Institutional Activities, Religious activity</u>		
Construction Date:	<u>1927</u>	Source:	<u>History of St. Thomas Parish, 2022.</u>
Alteration Date(s):	<u>1956</u>	Source:	<u>History of St. Thomas Parish, 2022.</u>
Designer:	<u>George Brooks</u>	Physical Condition:	<u>Excellent</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>High</u>
Style:	<u>Spanish Colonial Revival</u>		
Form:	<u>Other</u>	Stories:	<u>1</u>
Type:	<u>N/A</u>	Bays:	<u>5</u>
Roof Finish Materials:	<u>Tile, Spanish</u>		
Exterior Finish Materials	<u>Stucco</u>		

Exterior Description: St. Thomas the Apostle Church is a Mission/Spanish Revival church constructed in 1927. The building has a rectangular plan, a hipped roof, and stucco cladding. A three-part arcade entry is flanked by engaged towers with decoratively screened windows and balconettes. The top of each tower is stepped back and terminates with an octagonal roof. Round arch windows on the side elevations are separated by raised piers.

Interior Description: N/A

Setting: The St. Thomas Catholic Church is located approximately 800 feet from Brigantine Beach and the Atlantic Ocean. Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest. Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: St. Thomas was designed by George Brooks of Perth Amboy in 1927. The first pastor was Msgr. William T. Dittrich. The church was closed and fell into federal ownership during the late 30s and early 40s and was used, among other things, as a horse stable by the US Coast Guard. The dilapidated church was reacquired by the parish in 1947 and renovated. The church was lengthened to increase its capacity in 1956. The extension was designed by Joseph G. Carchidi of Trenton (History of St. Thomas Parish, 2022).

The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: Based on exterior analysis only, the resource appears to meet Criterion C as an example of the Spanish Colonial Revival style in ecclesiastical architecture.

Eligibility for New Jersey

and National Registers:

☒ Yes
☒ Local

☐ No

☐ State

National

Register Criteria:

☐ A

☐ B

☒ C

☐ D

Justification of Eligibility/Ineligibility: Appears to retain a high degree of exterior integrity.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

St. Thomas the Apostle Church Building Form

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Property Name: Isaac and Keziah (Abbot) Smith House

Street Address: Street #: 152 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Lees Suffix: N/A Type: LN

County(s): Atlantic **Zip Code:** 08234

Municipality(s): Egg Harbor Township **Block(s):** 8503

Local Place Name(s): N/A **Lot(s):** 5

Ownership: Private **USGS Quad(s)** Marmora

Description: The Isaac and Keziah (Abbot) Smith House is a two-story Federal style residence set far back from the road. The property includes a historic (though likely not original) barn.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:



Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Berkey, Joan. 2017. *Selected Historic Buildings in Egg Harbor Township, Atlantic County, NJ*. On file, New Jersey State Historic Preservation Office, Trenton, New Jersey.
Cullen, M., B.D. Mason, and J.H. Bennett. 1963. *Sketches of Egg Harbor Township*. Tercentenary Publications Committee, Egg Harbor City, NJ. Available at <http://www.k2tqn.net/history/Sketches/introduction/index.htm> (Accessed February 2023).
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NETRonline (NETR). 2023. *Historic Aerials*. Available at: <https://historicaerials.com/> (Accessed February 2023).
Rand McNally and Company. 1897. *Rand, McNally & Co.'s New Business Atlas Map of New Jersey*. Chicago, IL.
Snyder, J.F. 2004. *The Story of New Jersey's Civil Boundaries*. New Jersey Geological Survey, Trenton, NJ.
US Army Corps of Engineers. 2023. *Atlantic City Naval Air Station*. Available at <https://www.nan.usace.army.mil/Missions/Environmental/Environmental-Remediation/Formerly-Used-Defense-Sites/Atlantic-City-Naval-Air-Station/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>Isaac and Keziah (Abbot) Smith House</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>ca. 1815</u>	Source:	<u>Berkey, 2017.</u>
Alteration Date(s):	<u>Ca. 1870-ca.1890</u>	Source:	<u>Berkey, 2017.</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Medium</u>
Style:	<u>Federal</u>		
Form:	<u>Side Hall</u>	Stories:	<u>2</u>
Type:	<u>N/A</u>	Bays:	<u>4</u>
Roof Finish Materials:	<u>Unknown</u>		
Exterior Finish Materials	<u>Unknown</u>		

Exterior Description: The Isaac and Keziah (Abbot) Smith House is a two-story Federal style residence set far back from the road. The property includes a historic (though likely not original) barn. From the public right of way, it appears that the residence is a side-gabled two-story frame dwelling with an end chimney. The façade is four bays symmetrically divided into two groups. The entrance is located between bays in the right grouping. A one-story shed-roof projection extends from one side.

Interior Description: N/A

Setting: The Isaac and Keziah (Abbot) Smith House is located on the Great Egg Harbor River approximately 9 miles from the Atlantic Ocean. Egg Harbor Township is in the southeastern extent of Atlantic County and is bordered on the southwest by the Great Egg Harbor River. The township consists of several unincorporated communities, including Bargaintown, Cardiff, English Creek, Farmington, Scullville (formerly known as Jeffers), Steelmanville, and West Atlantic City, as well as part of McKee City. Historic aerial imagery shows the slow growth of the township through the mid-twentieth century, including the construction of the Naval Air Station (NAS) Atlantic City in the 1940s, the construction of the Atlantic City Expressway in the 1960s, and the expansion of suburbs throughout the township in the mid- and late-twentieth century. Today, Egg Harbor Township remains primarily agricultural land, with small centers of commerce in the communities and additional undeveloped natural areas used for recreation (NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: From previous form: Family lore states the house was built by Isaac Smith (1791-1875) and his wife Kezia Abbott (1798-1866). The presence of machine-cut, machine-headed nails in the attic floor suggests a construction date of ca. 1815-1830, a date that is consistent with the late Federal style of the mantel in the parlor. The house appears to stand on land sold to Elisha Smith (ca. 1700-1755) by Samuel Scull ca. 1740, although a formal deed was not executed until 1755. [NJ State Archives, colonial deeds book A-F, p. 113]. Elisha Smith, thought to be the son of Simon Smith from Hadley, CT, was the first of the family to settle in Gloucester (now Atlantic) County. The house is still owned by members of the original Smith family (Berkey, 2017).

The name "Egg Harbor" was given to the area due to the abundance of shorebird and waterfowl eggs in the seventeenth century. Euro-Americans settled several small farming communities in the eighteenth century within the present-day township, including Bargaintown, English Creek, Steelmanville, and Sculville. Many of these communities had grist mills, sawmills, blacksmith shops, churches, and taverns. The western boundary of the township was established in 1761 with the area called Great Egg-Harbour Township, and Egg Harbor Township was incorporated in 1798. Boat-building was a major industry in Egg Harbor Township in the nineteenth century, and many of the communities had shipyards. The Camden and Atlantic Railroad and West Jersey Railroad were built through Egg Harbor Township in the mid-nineteenth century, connecting Atlantic City to Camden. Communities such as English Creek, Farmington, Cardiff, McKee City, and West Atlantic City grew up and expanded around the railroad stations. During the second half of the nineteenth century, ten cities and townships were formed from Egg Harbor Township. Through the twentieth century, the township remained relatively rural and agricultural. The mid- and late-twentieth century saw the improvement of road infrastructure throughout the township, including the growth of suburban developments. The Naval Air Station (NAS) Atlantic City was built in the northern part of the township in 1942. The NAS was decommissioned in 1958 and now operates as a commercial airport, Air National Guard Base, and Coast Guard Air Station (Cullen et al., 1963; Rand McNally, 1897; Egg Harbor, 2019; Snyder, 2004; US Army Corps, 2023).

Significance: Based on exterior analysis only, the resource appears to meet Criterion C as an example of a Federal-style residence.

Eligibility for New Jersey

and National Registers: ☒ Yes ☐ No

Level of Significance ☒ Local ☐ State ☐ National

National

Register Criteria: ☐ A ☐ B ☒ C ☐ D

Justification of Eligibility/Ineligibility: Appears to retain sufficient exterior integrity.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Isaac and Keziah (Abbot) Smith House Building Form

Narrative Boundary Description: Corresponds to the associated tax parcel, encompassing a total of 52.8 acres.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: Studebaker Showroom

Street Address: Street #: 7006 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: Black Horse Suffix: N/A Type: TPKE

County(s): Atlantic **Zip Code:** 08232

Municipality(s): Egg Harbor Township, Pleasantville **Block(s):** 4202

Local Place Name(s): N/A **Lot(s):** 2

Ownership: Private **USGS Quad(s)** Pleasantville

Photograph:



Description: The Studebaker Showroom is a one-story Mission-style commercial building clad in stucco and capped by a flat roof with pent roofs covered in tile on the facade and side elevations. The building consists of the main showroom and a long wing extending to the rear of the building. Fenestration consists of large plate glass windows providing clear views into the showroom, with arched windows on the corners of the main portion of the showroom. Decorative elements consist of terra cotta plaques in a wheel motif with the Studebaker logo and coping along the Mission-style parapet.

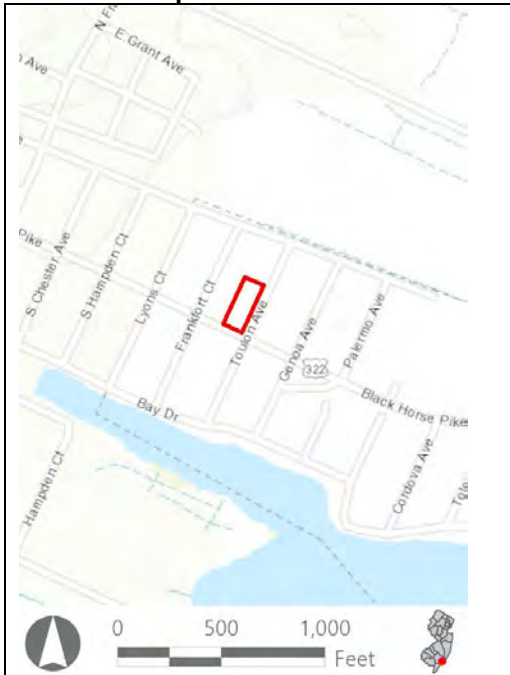
Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: December 18, 1995
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

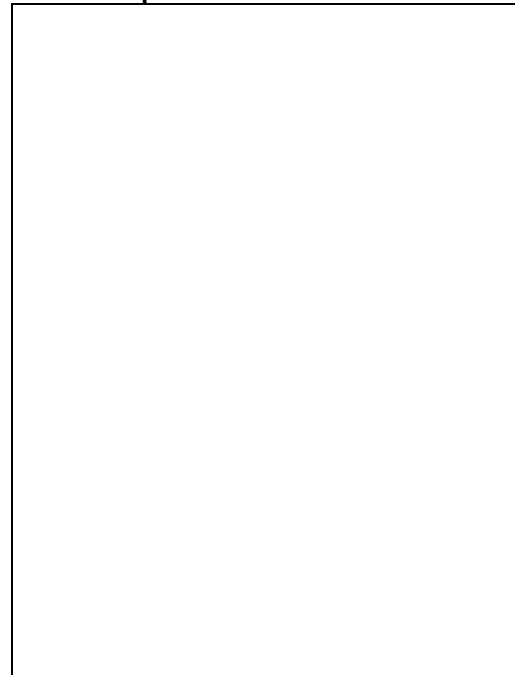
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: L.N. Renault and Sons Winery

Street Address: Street #: 72 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: Breman Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08215

Municipality(s): Galloway Township **Block(s):** 268

Local Place Name(s): N/A **Lot(s):** 5

Ownership: Private **USGS Quad(s)** Green Bank

Photograph:



Description: The L.N. Renault and Sons Winery was listed on the NRHP in 1973. It is the oldest active winery in New Jersey with vineyards first planted by Louis Nicolas Renault in 1864. The vineyard was opened to the public in 1870 and was for a time the largest producer of champagne in the United States. During the 1980s, the vineyard expanded to include a resort, restaurant, and hotel. A golf course was added to the grounds in 2004. The winery retains sufficient integrity to convey its significance under NRHP Criterion A for its association with the history of wine making in New Jersey.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: June 15, 1973
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

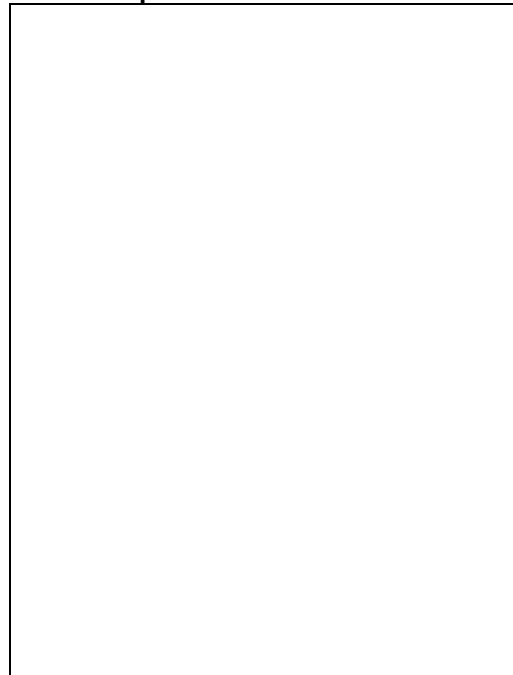
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: Germania Gunning Club

Street Address: Street #: 722 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: W Street Name: Moss Mill Suffix: N/A Type: RD

County(s): Atlantic **Zip Code:** 08205

Municipality(s): Galloway Township **Block(s):** 374

Local Place Name(s): Germania **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Oceanville

Description: The Germania Gunning Club is a one-story former school building constructed on a rectangular plan with a side-gabled roof and synthetic siding. The façade is devoid of windows except for either side of a projecting entry foyer with an overhanging gable-on-hip roof supported by simple columns.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Federico, J., and M. McHenry. 2011. *Images of America: Galloway Township*. Acadia Publishing, Charleston, South Carolina.
Galloway Township, New Jersey. 2009. *Galloway Township Fast Facts Brochure*. Internet Archive Wayback Machine. Available at https://web.archive.org/web/20110728082445/http://www.gallowaytwp-nj.gov/general_information/Galloway%20TownshipOLD%20Fast%20Facts%20Brochure%202009.pdf (Accessed February 2023).
Galloway Township Historical Society. 2023. *Brief Timeline History of Galloway Township*. Available at <http://www.gallowayhistory.org/brief-timeline-history-of-galloway-township.html> (Accessed February 2023).
NETRonline (NETR). 2023. *Historic Aerials*. Available at: <https://historicaerials.com/> (Accessed February 2023).
Rand McNally and Company. 1897. *Rand, McNally & Co.'s New Business Atlas Map of New Jersey*. Chicago, IL.
Snyder, J.F. 2004. *The Story of New Jersey's Civil Boundaries, 1606-1968*. NJ Geological Survey, Trenton, NJ.
US Army Corps of Engineers. 2023. *Atlantic City Naval Air Station*. Available at <https://www.nan.usace.army.mil/Missions/Environmental/Environmental-Remediation/Formerly-Used-Defense-Sites/Atlantic-City-Naval-Air-Station/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☒ Yes ☐ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: <u>Germania Gunning Club</u>	
Historic Name: <u>Germania Farm School</u>	
Present Use: <u>Recreational and Entertainment Activity, Active recreation - indoor</u>	
Historic Use: <u>Institutional Activities, Education activity</u>	
Construction Date: <u>1909</u>	Source: <u>Datestone on School Bell Pedestal</u>
Alteration Date(s): <u>N/A</u>	Source: <u>N/A</u>
Designer: <u>N/A</u>	Physical Condition: <u>Excellent</u>
Builder: <u>N/A</u>	Remaining Historic Fabric: <u>Medium</u>
Style: <u>None</u>	
Form: <u>Other</u>	Stories: <u>1</u>
Type: <u>N/A</u>	Bays: <u>1</u>
Roof Finish Materials: <u>Asphalt Shingle</u>	
Exterior Finish Materials <u>Vinyl Siding</u>	

Exterior Description: The Germania Gunning Club is a one-story former school building constructed on a rectangular plan with a side-gabled roof and vinyl siding. The façade is devoid of windows except for either side of a projecting entry foyer which features 1/1 replacement sash. The projection has an overhanging gable-on-hip roof supported by simple columns. The side elevations are two bays deep with 1/1 replacement sash. On the rear elevation, the roof slightly changes pitch and extends over a one-story projecting bay. A brick chimney is located at the juncture of the projecting bay and the rear elevation. The former Germania Farm School Bell is located out front of the building on a brick pedestal and covered by a gabled roof.

Interior Description: N/A

Setting: The Germania Gunning Club is located inland in Galloway Township in the eastern quadrant of the intersection of West Moss Mill Road and Prague Avenue. The former school has a rural setting. The Germania Gunning Club is in the former community of Germania in Galloway Township. Germania was settled by German immigrants who came to this area of Galloway Township in the 1840s from Philadelphia (to the northwest). Galloway Township is in eastern Atlantic County and is bordered on the northeast by the Mullica River. The township consists of several unincorporated communities, including Absecon Highlands, Cologne, Conoverstown, Germania, Higbeetown, Leeds Point, Oceanville, Pinehurst, Pomona, Smithville, South Egg Harbor, and the "Township Center." Historic aerial imagery shows the slow growth of the township through the mid-twentieth century, including the construction of the NAS 1940s, the construction of the Garden State Parkway in the 1950s, the construction of Stockton University in the 1970s, and the expansion of suburbs throughout the township in the mid- and late-twentieth century. Today, Galloway Township remains primarily agricultural land, with small centers of commerce in the communities and additional undeveloped natural areas used for recreation (Galloway Township Historical Society, 2023; Galloway Township, 2009; NETR, 2023).

<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties</u>		<u>February 24,</u>
Survey Name:	<u>Survey</u>	Date: <u>2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>	
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>	

ELIGIBILITY WORKSHEET

Historic Sites #:

History: In 1909, Galloway Township was divided into school districts. The hamlet of Germania was designated district number 8. The number 8 school was located along Cologne Avenue. The Germania Gunning Club building was constructed in 1909 and was known as the Germania Farm School (also known as the Moss Mill Road School). A datestone on the school bell pedestal indicates that the building continued as a school until 1930. It is potentially at this point that the building was converted for use as a private sporting club. A photograph from 1966 shows members of the gunning club standing with their kills along the rear exterior wall of the current building (Galloway Township Historical Society, 2023; Federico and McHenry, 2011).

The first permanent Euro-American settlement in the township was Leeds Point, settled in 1678. Galloway Township was formed in 1774 from Egg Harbor Township. In the second half of the eighteenth century, development centered around small communities such as Smithville, Leeds Point, Oceanville, Higbeeville, Cologne, Pomona, Germania, and Conoverstown. In 1821, a road was built through the present-day township connecting Camden to Absecon along present-day Route 30. In 1854, the Camden and Atlantic Railroad was built connecting Atlantic City to Camden through Galloway Township. Communities such as Germania, Cologne, Pomona, and Oceanville grew up and expanded around the railroad stations that were established over the next decades. For much of the nineteenth century, Absecon was the commercial center of the township until it was incorporated as its own city in 1872. In addition to Absecon, several other cities were formed from the township in the late-nineteenth and early-twentieth century. Through the twentieth century, the township remained relatively rural and agricultural. The mid- and late-twentieth saw the improvement of road infrastructure through the township and the growth of suburban developments in parts of the township. Naval Air Station (NAS) Atlantic City was built partially in the southern part of the township in 1942. The NAS was decommissioned in 1958 and now operates as a commercial airport, Air National Guard Base, and Coast Guard Air Station (Galloway Township Historical Society, 2023; Snyder, 2004; Rand McNally, 1897; US Army Corps, 2023).

Significance: Based on exterior analysis only, the resource is significant under National Register Criterion A for its association with Education in Galloway Township and as an example of a private sporting club in Galloway Township.

**Eligibility for New Jersey
and National Registers:**

☒ Yes

☐ No

National

Register Criteria:

☒ A

☐ B

☐ C

☐ D

Level of Significance

☒ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: The resource retains sufficient integrity to convey its significance under National Register Criterion A.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Germania Gunning Club Building Form

Narrative Boundary Description: Corresponds with the boundary of the tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: Seaview Golf Club

Street Address: Street #: 401 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: New York Suffix: N/A Type: RD

County(s): Atlantic **Zip Code:** 08205

Municipality(s): Galloway Township **Block(s):** 1064.01/1168

Local Place Name(s): Absecon Highlands **Lot(s):** 6.01/6.06/12

Ownership: Private **USGS Quad(s)** Oceanville

Description: The Seaview Golf Club consists of a 296-room hotel and Colonial Revival-style clubhouse set on 697 acres. The property features two 18-hole golf courses. The Bay Course was opened in 1914 and was designed by Hugh Wilson and Donald Ross. This course is situated along the bay and provides bayside views and distant views of Brigantine on the barrier island. The Pines Course was opened in 1929 and was designed by William Flynn and Howard Toomey. This course is located to the west of the clubhouse and hotels and winds through New Jersey pinelands.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

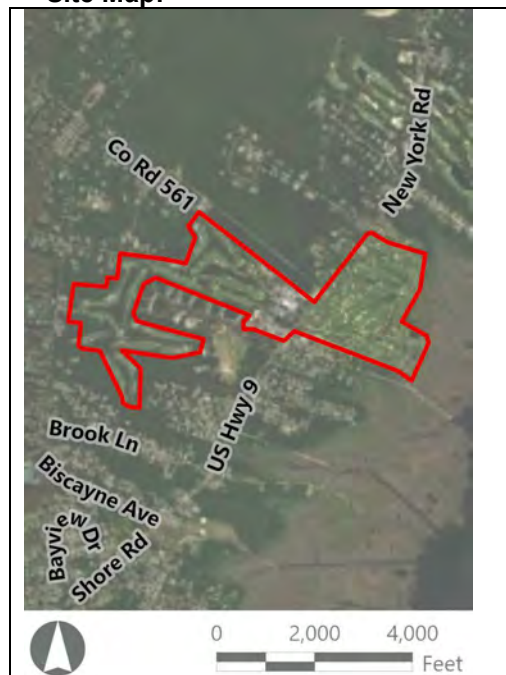
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Foster, J.W. Conf. Chair. *Down Jersey: From Bayshore to Seashore*. Vernacular Architecture Forum, May 7-10, 2014.
Galloway Township, New Jersey. 2009. *Galloway Township Fast Facts Brochure*. Internet Archive Wayback Machine. Available at https://web.archive.org/web/20110728082445/http://www.gallowaytwp-nj.gov/general_information/Galloway%20TownshipOLD%20Fast%20Facts%20Brochure%202009.pdf (Accessed February 2023).
Galloway Township Historical Society. 2023. *Brief Timeline History of Galloway Township*. Available at <http://www.gallowayhistory.org/brief-timeline-history-of-galloway-township.html> (Accessed February, 2023).
NETRonline (NETR). 2023. *Historic Aerials*. Available at: <https://historicaerials.com/> (Accessed February 2023).
Rand McNally and Company. 1897. *Rand, McNally & Co.'s New Business Atlas Map of New Jersey*. Chicago, IL.
Snyder, J.F. 2004. *The Story of New Jersey's Civil Boundaries, 1606-1968*. NJ Geological Survey, Trenton, NJ.
US Army Corps of Engineers. 2023. *Atlantic City Naval Air Station*. Available at <https://www.nan.usace.army.mil/Missions/Environmental/Environmental-Remediation/Formerly-Used-Defense-Sites/Atlantic-City-Naval-Air-Station/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☒ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: <u>Seaview Golf Club</u>	
Historic Name: <u>Seaview Golf Club</u>	
Present Use: <u>Recreational and Entertainment Activity, Active recreation - outdoor</u>	
Historic Use: <u>Recreational and Entertainment Activity, Active recreation - outdoor</u>	
Construction Date: <u>1914</u>	Source: <u>Foster, 2014.</u>
Alteration Date(s): <u>1956-1964</u>	Source: <u>Foster, 2014.</u>
Designer: <u>Ralph White</u>	Physical Condition: <u>Excellent</u>
Builder: <u>N/A</u>	Remaining Historic Fabric: <u>Medium</u>
Style: <u>Colonial Revival</u>	
Form: <u>Other</u>	Stories: <u>2</u>
Type: <u>N/A</u>	Bays: <u>20</u>
Roof Finish Materials: <u>Asphalt Shingle, Other</u>	
Exterior Finish Materials <u>Stucco</u>	

Exterior Description: The Seaview Golf Club consists of a 296-room hotel and Colonial Revival-style clubhouse set on 697 acres including two 18-hole golf courses. The hotel and clubhouse is a complex of building volumes including the circa-1914 clubhouse, multiple radiating three- and four-story hotel room wings, and several mid- to late-twentieth-century additions. The sprawling Colonial Revival style clubhouse includes dining facilities and an indoor swimming pool which dates to its original construction. It has an irregular plan organized around a central two-story I-shaped volume with dormered, hipped roofs. The exterior is clad in stucco and the roof appears to be imitation slate, with numerous segmental-arch dormers. A simple cornice features dentil molding. The symmetrically arranged, paired windows of the first and second stories generally have applied shutters. To the south, a large circular single-story pavilion has a conical roof atop pilasters defining window bays of three 12-light windows each. A single-story extension to the east and north has similar window treatments. Further east is a large, covered entry porch and porte-cochere supported by Doric columns in singles and pairs. To the north, a series of early three-story hotel room wings generally match the clubhouse, with a hipped roof, small, hipped dormers, stucco cladding, and paired windows with applied shutters. To the west, a group of circa-1990 four-story hotel room wings have hipped roofs clad in asphalt shingle with overhanging eaves and large tripartite windows. This group of wings surrounds an outdoor in-ground swimming pool.

Interior Description: N/A

Setting: The Seaview Golf Club is located approximately 6 miles northwest of the Atlantic Ocean and borders Reeds Bay with views of the bay from the Bay Course. Ocean views are an important component of the setting reflected in the course design and layout. Galloway Township is in eastern Atlantic County and is bordered on the northeast by the Mullica River. The township consists of several unincorporated communities, including Absecon Highlands, Cologne, Conoverstown, Germania, Higbeetown, Leeds Point, Oceanville, Pinehurst, Pomona, Smithville, South Egg Harbor, and the "Township Center." Historic aerial imagery shows the slow growth of the township through the mid-twentieth century, including the construction of the NAS 1940s, the construction of the Garden State Parkway in the 1950s, the construction of Stockton University in the 1970s, and the expansion of suburbs throughout the township in the mid- and late-twentieth century. Today, Galloway Township remains primarily agricultural land, with small centers of commerce in the communities and additional undeveloped natural areas used for recreation (Galloway Township, 2009; NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The Seaview Golf Club was built at the direction of businessman Clarence Geist as an exclusive golf club on a former farm near Atlantic City, NJ. Geist commissioned Hugh Wilson to design the 18-hole Bay Course in 1914. A second course, designed by William Flynn in 1929, added an additional 18 holes to the club. The club was a popular locale for elite golfers and socialites from the 1920s through the 1940s. The PGA Championship was held at the club in 1942 (Foster, 2014).

The first permanent Euro-American settlement in the township was Leeds Point, settled in 1678. Galloway Township was formed in 1774 from Egg Harbor Township. In the second half of the eighteenth century, development centered around small communities such as Smithville, Leeds Point, Oceanville, Higbeeville, Cologne, Pomona, Germania, and Conoverstown. In 1821, a road was built through the present-day township connecting Camden to Absecon along present-day Route 30. In 1854, the Camden and Atlantic Railroad was built connecting Atlantic City to Camden through Galloway Township. Communities such as Germania, Cologne, Pomona, and Oceanville grew up and expanded around the railroad stations that were established over the next decades. For much of the nineteenth century, Absecon was the commercial center of the township until it was incorporated as its own city in 1872. In addition to Absecon, several other cities were formed from the township in the late-nineteenth and early-twentieth century. Through the twentieth century, the township remained relatively rural and agricultural. The mid- and late-twentieth saw the improvement of road infrastructure through the township and the growth of suburban developments in parts of the township. Naval Air Station (NAS) Atlantic City was built partially in the southern part of the township in 1942. The NAS was decommissioned in 1958 and now operates as a commercial airport, Air National Guard Base, and Coast Guard Air Station (Galloway Township Historical Society, 2023; Snyder, 2004; Rand McNally, 1897; US Army Corps, 2023).

Significance: Based on the available information, the Seaview Golf Club appears to meet Criterion C in the areas of Architecture and Landscape Architecture as an example of an early 20th-century golf club designed during the heyday of American golf resort design and construction.

Eligibility for New Jersey

and National Registers:

☒ Yes

☐ No

National

Register Criteria:

☐ A

☐ B

☒ C

☐ D

Level of Significance

☒ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Based on the high profile of Geist and Wilson, Seaview Golf Club appears to be a notable and largely intact example of its type.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Seaview Golf Club Building Form

Bay Course and Pine Course Landscape Form

Narrative Boundary Description: Grounds span both sides of US 9 and are roughly bound by Route 561 and Lost Pine Way to the north, Biscayne Ave and Ezrabiocce Rd to the west, Ocean Ave and a culdesac development to the south, and the bay/marsh to the east.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

LANDSCAPE ATTACHMENT

Historic Sites #:

Common Name: Bay Course and Pines Course

Historic Name: Unknown

Present Use: Recreational and Entertainment Activity, Active recreation - outdoor

Historic Use: Recreational and Entertainment Activity, Active recreation - outdoor

Construction Date: 1914; 1929

Source: Foster, 2014.

Alteration Date(s): 2013

Source: Foster, 2014.

Primary Landscape

Architect/Designer: Hugh Wilson and Donald Ross; William Flynn and Howard Toomey

Grounds designed for outdoor recreational

Type: and/or sports activities

Physical Condition: Excellent

Style: Other

Remaining Historic Fabric: Unknown

Acreage: 697

Hardscape: Unknown

Plantings: Unknown

Other Features: Unknown

Description: The property features two 18-hole golf courses. The Bay Course was opened in 1914 and was designed by Hugh Wilson and Donald Ross. This course is situated along the bay and provides bayside views and distant views of Brigantine on the barrier island. The Pines Course was opened in 1929 and was designed by William Flynn and Howard Toomey. This course is located to the west of the clubhouse and hotels and winds through New Jersey pinelands.

Setting: The Seaview Golf Club is located approximately 6 miles northwest of the Atlantic Ocean and borders Reeds Bay with views of the bay from the Bay Course. Ocean views are an important component of the setting reflected in the course design and layout.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: Abbott's Modern Cabins

Street Address: Street #: 6613 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: US Hwy 40 Suffix: W Type: N/A

County(s): Atlantic **Zip Code:** 08330

Municipality(s): Hamilton Township **Block(s):** 664

Local Place Name(s): Mays Landing **Lot(s):** 17

Ownership: Private **USGS Quad(s)** Dorothy

Photograph:



Description: Abbot's Modern Cabins are a group of one-story, small, end-gabled cabins arranged in a V-shaped configuration. The cabins have clapboard siding, exposed rafter tails, small side windows, and rear additions possibly for plumbing. The doors are sheltered by wall-mounted gables trimmed with a simple decorative element to match the main roof. A 1930 aerial photograph shows a similar group of cabins across the street. The resource is characteristic of early motor camps. The property includes a Minimal Traditional residence that may have been occupied by the camp owner.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: September 7, 1982
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

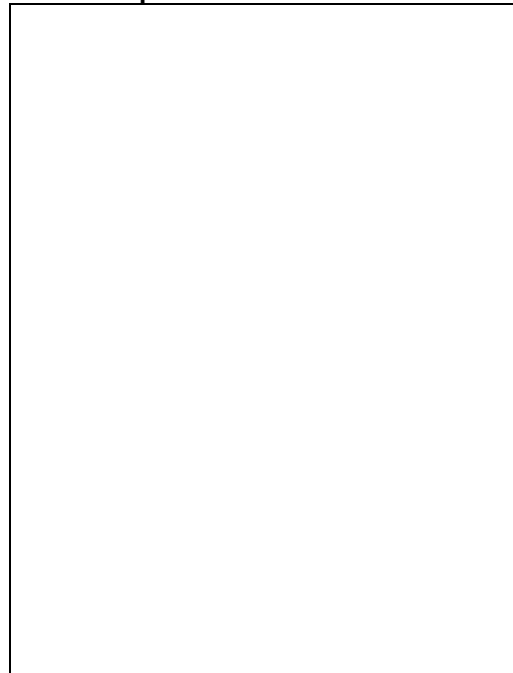
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: Woodmansee Estate

Street Address: Street #: 1 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Game Farm Suffix: N/A Type: RD

County(s): Ocean **Zip Code:** 08731

Municipality(s): Forked River, Lacey Township **Block(s):** 315

Local Place Name(s): N/A **Lot(s):** 14, 28, 29, 38.01,

Ownership: Private **USGS Quad(s)** 38.02,
Forked River

Photograph:



Description: The Woodmansee Estate has a period of significance that spans from 1748 to 1912. The former game farm was established in 1912 and pheasants were raised on the farm and released into the wild for sportsmen. A portion of the property was converted into a rehabilitation center for teenage boys in the 1960s and presently is the Ocean Residential Community Home, a residential program for special needs juvenile offenders.

Registration and Status Dates: National Historic Landmark: _____

SHPO Opinion: November 12, 1981

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

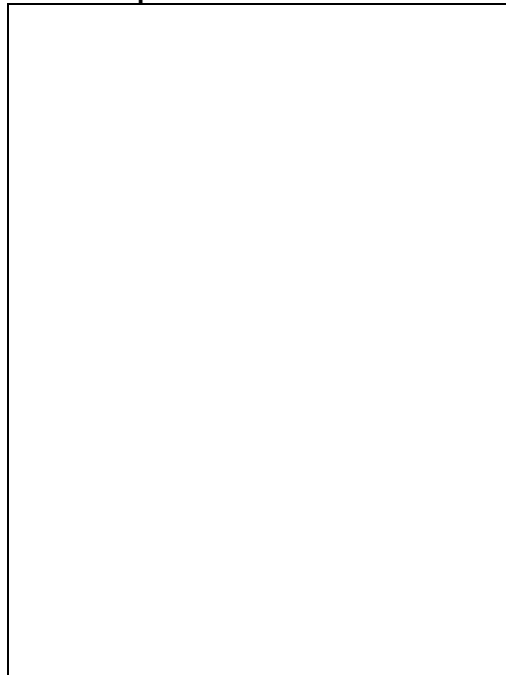
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: Stevens House

Street Address: Street #: 906 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Suffix: N/A Type: AVE

County(s): Ocean **Zip Code:** 08735

Municipality(s): Lavallette Borough **Block(s):** 10

Local Place Name(s): N/A **Lot(s):** 3 and 4

Ownership: Private **USGS Quad(s)** Seaside Park

Description: The Stevens House is a two-and-one-half-story frame Dutch Colonial Revival house constructed in 1925. House has a gambrel roof with dormers and brick chimney stacks. The windows are flat-arch and regularly spaced. A one-story porch at the façade has a grade-level deck, a flat roof with lattice balustrade, and wraps around the side elevations.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

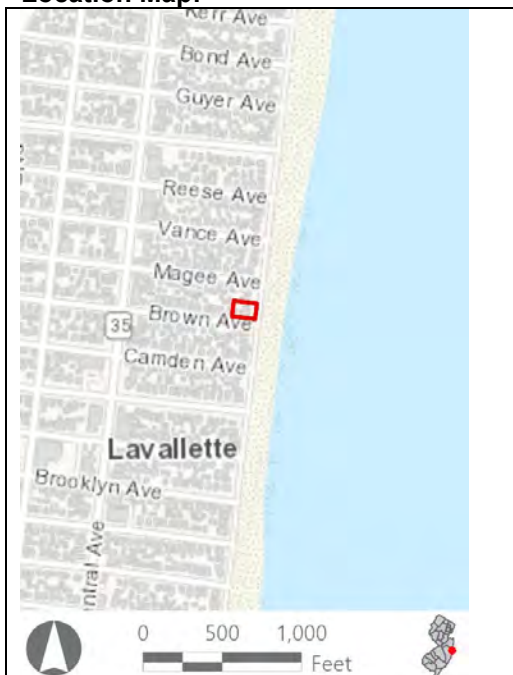


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources:

Borough of Lavallette. 2023. Lavallette History. Available at <https://www.lavallette.org/history.html> (Accessed February 2023).

Heritage Studies, Inc. 1981. Lavallette. New Jersey Historic Sites Inventory, Ocean County Vol. 16. Available at https://www.state.nj.us/dep/hpo/hrrcn_sandy_OCE_GB_147_148_PDF/OCE_GB_148_v16.pdf (Accessed February 2023).

Kralik, M. 1981. *New Jersey Historic Sites Survey – Ocean County*. Volume III – Lavallette. On file, New Jersey State Historic Preservation Office, Trenton, New Jersey.

NETROnline (NETR). 2023. "Historic Aerials." Available online at: <https://www.historicaerials.com/viewer> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>Stevens House</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1925</u>	Source:	<u>County Property Records</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Excellent</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>High</u>
Style:	<u>Dutch Colonial Revival</u>		
Form:	<u>Side Hall</u>	Stories:	<u>2.5</u>
Type:	<u>N/A</u>	Bays:	<u>5</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Wood, Shingles</u>		

Exterior Description: The Stevens House is a two-and-one-half-story frame Dutch Colonial Revival house constructed in 1925. The house has a gambrel roof with three gabled dormers. Brick chimney stacks are located on either end of the roof on the rear slop. The windows are flat-arch 1/1 sash and regularly spaced with five bays on the façade and three bays on the side elevations. A one-story porch at the façade has a grade-level deck, a flat roof with lattice balustrade, and wraps around the side elevations. The building is clad in wood shingle siding.

Interior Description: N/A

Setting: The Stevens House is located on the west side of Ocean Avenue between Magee Avenue and Brown Avenue. The house is oriented with views directly to the Lavallette Boardwalk, Lavallette Beach, and the Atlantic Ocean. The views to the ocean are partially obstructed by sand dunes; however, the house was designed to have views of the ocean. Historic aerial imagery shows that in 1920, only the northern part of Lavallette was developed, except for some roads in the southern part of the borough. Development of the southern part of the borough appears slow through 1940, but the area is completely built out by 1956 (NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: According to a previous survey form prepared for a county-wide survey of Ocean County, the Stevens House is believed to have been designed by an architect, although no information was recovered as to who the architect or designer may have been. The house stands prominently on Ocean Avenue with large lot setbacks when compared to the surrounding non-historic dwellings on the street (Kralik, 1981).

Lavallette is a borough in Ocean County, located on the Barnegat Peninsula to the north of Seaside Heights and to the south of Mantoloking. The area was known as Squan Beach until the Barnegat Light Improvement Company developed plans for Lavallette in 1878. The community was named for U.S. Navy Admiral Elie LaVallette who won a decisive battle on Lake Champlain during the War of 1812. Lots in Lavallette were marketed mainly to sportsmen in New Jersey, New York, and Philadelphia. In 1881, Lavallette became directly accessible from the mainland via the Philadelphia and Long Branch Railroad, attracting more visitors and residents, but development remained relatively slow over the next decades. Most residents were railroad employees, and most summer visitors were sportsmen. Despite their limited number, residents voted to incorporate Lavallette as a borough in 1887. Although the town attracted summer visitors, commercial fishing, boatbuilding, and beer and soda bottling remained the main industries through the early twentieth century. In 1911, a road was constructed along present-day Route 35 to Seaside Park, and in 1915 the Tom's River Bridge opened Lavalette to automobile traffic from the mainland via Seaside Heights. The boardwalk was constructed in the 1920s (Borough of Lavallette, 2023; Heritage Studies 1981). Today, Lavallette continues to be a popular summer destination.

Significance: Based on exterior analysis only, the resource appears to meet Criterion C as an example of a Dutch Colonial Revival-style dwelling.

Eligibility for New Jersey

and National Registers:

☒ Yes

☐ No

National

Register Criteria:

☐ A

☐ B

☒ C

☐ D

Level of Significance

☒ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Appears to retain a high degree of exterior integrity.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Stevens House Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: Little Egg Harbor US Life Saving Station #23

Street Address: Street #: 800 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Great Bay Suffix: N/A Type: BLVD

County(s): Ocean **Zip Code:** 08854

Municipality(s): Little Egg Harbor **Block(s):** 326

Local Place Name(s): N/A **Lot(s):** 43

Ownership: Public **USGS Quad(s)** Tuckerton

Photograph:



Description: The Little Egg Harbor US Life Saving Station #23 was previously determined to be eligible for listing in the NRHP by NJHPO. The resource retains sufficient integrity to convey its significance under Criterion A for its association with Maritime History. The facility currently houses the Rutgers University Mullica River Field Station.

Registration and Status Dates: National Historic Landmark: _____

National Register: _____

New Jersey Register: _____

Determination of Eligibility: _____

SHPO Opinion: March 10, 2014

Local Designation: _____

Other Designation: _____

Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

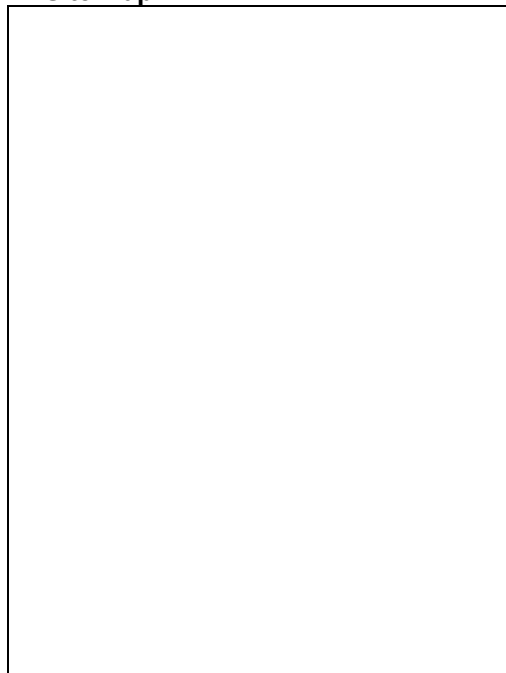
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: Cape May Lighthouse

Street Address: Street #: 215 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Light House Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08204

Municipality(s): Lower Township **Block(s):** 792

Local Place Name(s): Cape May Point **Lot(s):** 20

Ownership: Public **USGS Quad(s)** Cape May

Photograph:



Description: The Cape May Lighthouse is an NRHP-listed resource that was constructed by the Army Corps of Engineers between 1857 and 1859. The structure is 157.5 feet tall and the original cast iron spiral stairway is still intact and provides access to the lens chamber. Originally fired by oil in 1859, the light was automated in 1946.

Registration and Status Dates: National Historic Landmark: _____

National Register: November 12, 1973

New Jersey Register: June 15, 1973

Determination of Eligibility: _____

SHPO Opinion: _____

Local Designation: _____

Other Designation: _____

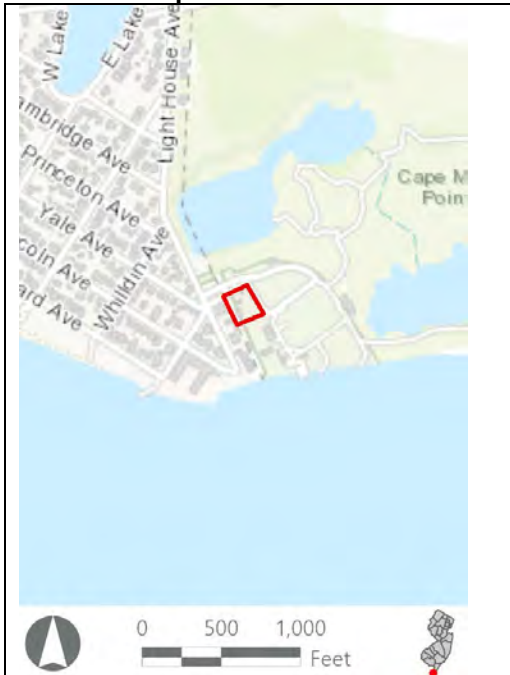
Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

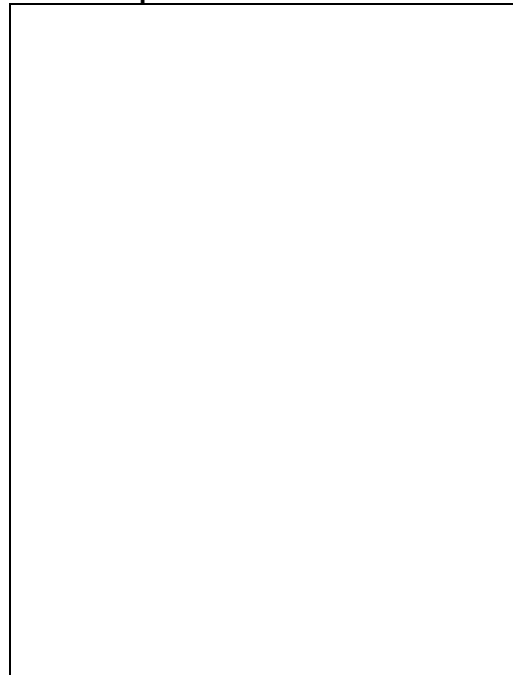
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 114 South Osborne Avenue

Street Address: Street #: 114 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: Osborne Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 0842

Municipality(s): Margate City **Block(s):** 16

Local Place Name(s): N/A **Lot(s):** 17

Ownership: Private **USGS Quad(s)** Ocean City

Photograph:



Description: 114 South Osborne Avenue is a Colonial Revival residence with brick walls laid in Flemish bond. It has chimneys on the side gables, keystones over the windows, a fanlight and sidelights at the entry, and modillions under the front eave and in the porch entablature. Though some alterations in the windows have been made, the house retains sufficient integrity to convey its eligibility to the NRHP under Criterion C.

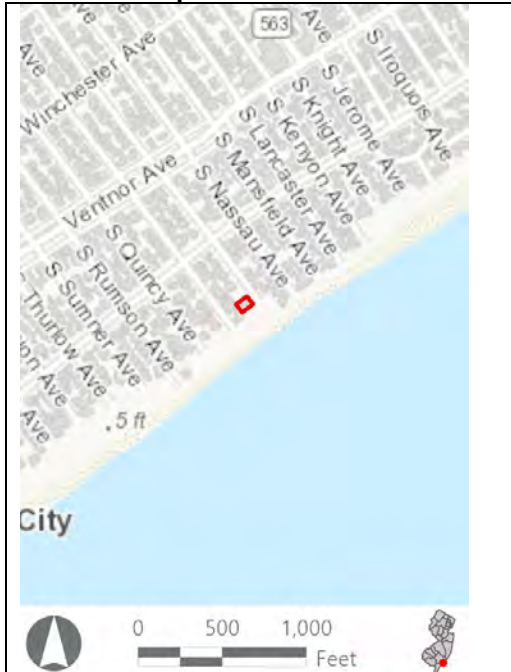
Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: <u>Ocean Wind I - Determined</u>
	Determination of Eligibility: _____	Other Designation Date: <u>September 1, 2021</u>

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BASE FORM

Historic Sites #:

Property Name: 108 South Gladstone Avenue

Street Address: Street #: 108 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: Gladstone Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08402

Municipality(s): Margate City **Block(s):** 7.02

Local Place Name(s): N/A **Lot(s):** 12

Ownership: Private **USGS Quad(s)** Atlantic City

Photograph:



Description: The residence at 108 South Gladstone Avenue is a two-story French Eclectic built ca. 1930 of stone. It has a hipped roof with flaring eaves, a stone chimney, a centered tower entry, and a one-story side porch with arched openings. A Juliet balcony in the tower and dormer balconies over the side porch has wrought iron rails. The property has sufficient integrity to convey its eligibility to the NRHP under Criterion C.

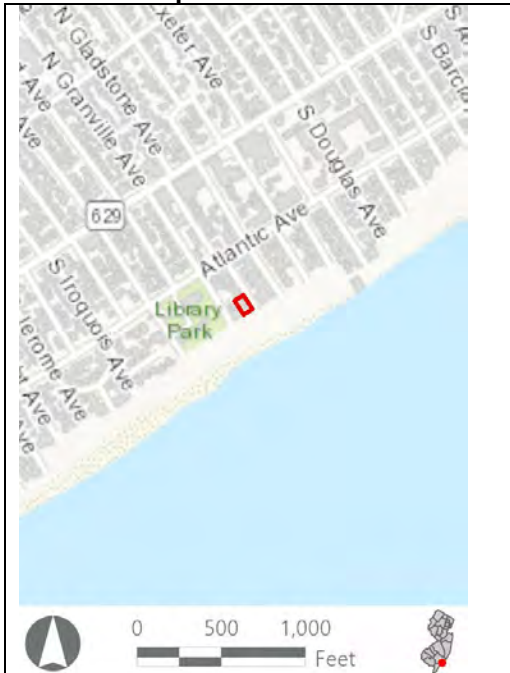
Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: May 31, 2022
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

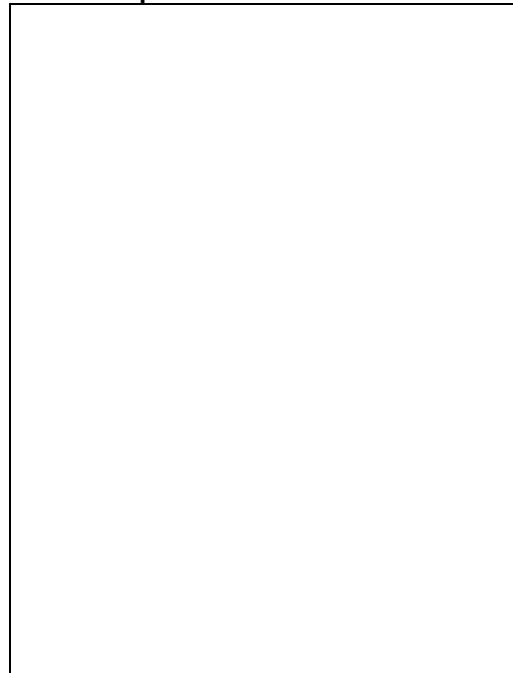
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: Margate Fishing Pier

Street Address: Street #: 121 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: Exeter Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08402

Municipality(s): Margate City **Block(s):** 5.03

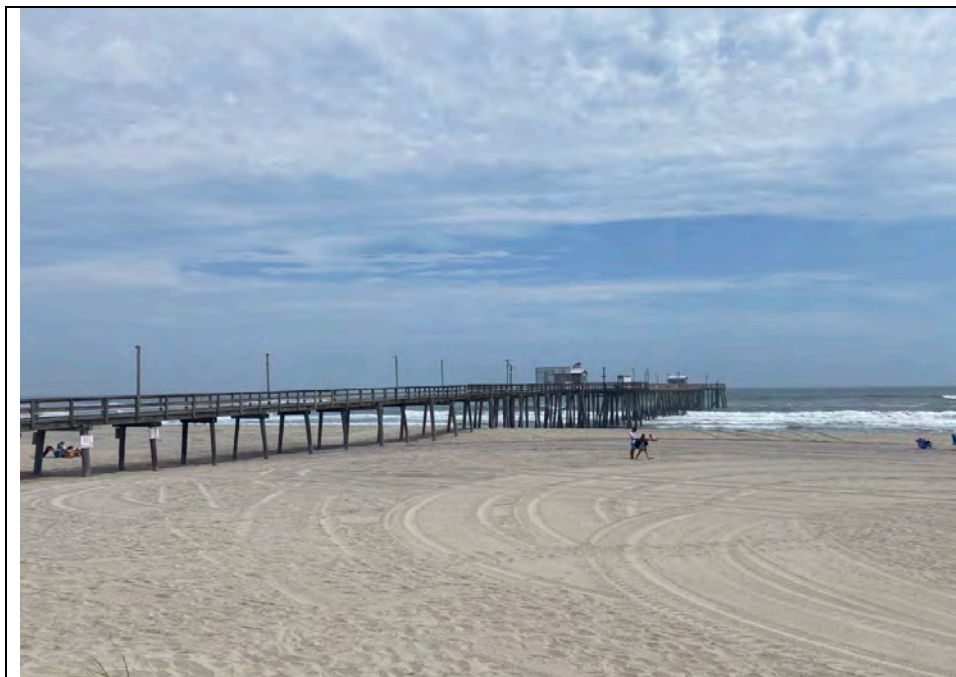
Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The Margate Fishing Pier is an approximately 733-foot wood pier set on round timber piles driven into the beach and shore.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

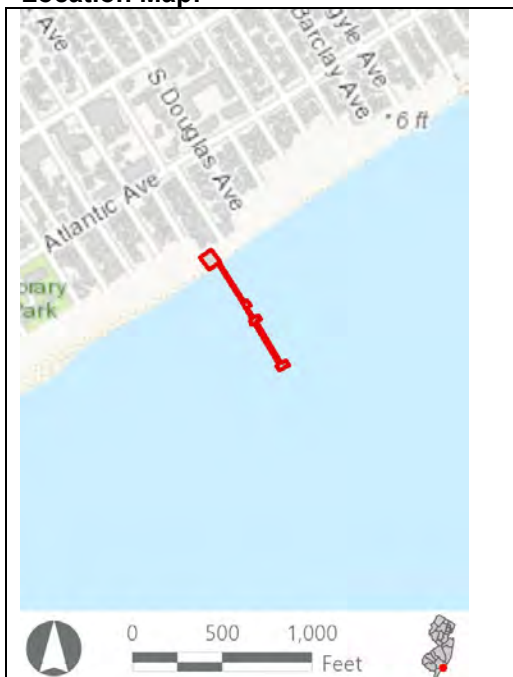


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

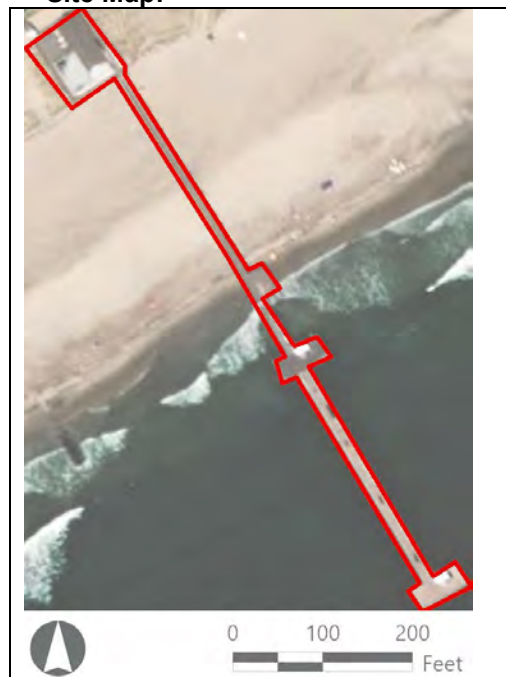
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Anglers Club of Absecon Island. 2022. "Our History." Available at: <https://www.margateanglersclub.com/history> (Accessed November 2022).

History of Margate City, NJ. 2022. Available at: <https://www.visitnjshore.com/margate-city/history/> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☒ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C.
Date: February 24, 2023

STRUCTURE ATTACHMENT

Historic Sites #:

Common Name: Margate Fishing Pier

Historic Name: N/A

Present Use: Recreational and Entertainment Activity, Active recreation

Historic Use: Recreational and Entertainment Activity, Active recreation

Construction Date: 1923 **Source:** Angler's Club, 2022.

Alteration Date(s): 2013 **Source:** Angler's Club, 2022.

Designer: N/A **Physical Condition:** Excellent

Builder: N/A **Remaining Historic Fabric:** Low

Type: Other

Roof Finish Materials: N/A

Exterior Finish Materials Wood, Plank

Exterior Description: The Margate Fishing Pier is an approximately 733-foot wood pier set on round timber piles driven into the beach and shore. The piles support a simple deck with an unadorned railing. There are two "tees" approximately 60 feet in length in the center of the pier (constructed in 1989) and at its end in the Atlantic Ocean (constructed in 2013). Two frame front gable sheds covered in standing seam metal are located along the pier. Additionally, benches are located along the length of the pier.

Interior Description: N/A

Setting: The Margate Fishing Pier extends approximately 733 feet into the Atlantic Ocean from Margate Beach. The pier was constructed exclusively for the purpose of fishing by the Anglers Club of Absecon Island and as a result, the pier has full and unobstructed views of the ocean.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The Margate Fishing Pier was originally built in 1923 by the Anglers Club of Absecon Island, a member-only fishing club. A section of the pier and the adjacent boardwalk was destroyed by a hurricane in 1944. The pier was repaired but another major storm in the 1960s again caused damage. A fire in 1989 destroyed the far end of the pier and a large section was destroyed. A lack of funding prevented the club from rebuilding the pier to its original distance and instead, an outer “tee” was constructed where the fire was eventually extinguished. Super Storm Sandy in 2013 damaged the pilings supporting the inner tee which was left askew at a severe angle. As a result of the devastation caused by the storm, the New Jersey Department of Environmental Protection (NJDEP) implemented a dune and beach reclamation initiative. The NJDEP agreed to fully fund a 125-foot extension; however, the reclamation plan also included a replenishing of the beach every three to five years which would result in a loss of the water levels needed for experienced anglers to enjoy the pier. The Anglers Club of Absecon called on their members and used donations and money from the operating fund to extend the pier another 175 feet to ensure adequate sea levels for fishing (Angler’s Club, 2022).

Margate City is in the southeastern extent of Atlantic County on Absecon Island between Ventnor City and Longport. The area that constitutes Margate City was first incorporated as South Atlantic City in 1869. The trajectory of the community was influenced heavily by entrepreneur James L. Lafferty who in 1881 set out to market his share of parcels in the city in an unusual way with the construction of a hotel and restaurant in the shape of an elephant that he named Lucy. Lafferty’s marketing efforts proved to be a success and in addition to the sale of his lots in the city, the Camden and Atlantic Railroad was constructed through the area in 1884. Margate City was incorporated in 1884 and at the time included portions of modern-day Longport, Ventnor City, and southern Atlantic City. Margate City was so successful that in 1929 the mayor of Atlantic City offered to annex Margate, but Margate City refused. Today, Margate City is known as the location of the iconic Lucy the Elephant and is a popular destination south of Atlantic City (History of Margate City, NJ, 2022).

Significance: The pier retains sufficient integrity to convey its significance under NRHP Criterion A for its association with the Maritime History of Margate and Absecon Island.

Eligibility for New Jersey

and National Registers:

☒ Yes

☐ No

National

Register Criteria:

☒ A

☐ B

☐ C

☐ D

Level of Significance

☒ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Repair and replacement of historic materials is an inherent characteristic of wood piers and the Ventnor City Pier retains its integrity of design, location, association, and feeling despite the loss of historic fabric.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property’s significance:

Margate Fishing Pier Structure Form

Narrative Boundary Description: The pier extends approximately 733 feet into the Atlantic Ocean from Margate Beach.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: Sahara Motel

Street Address: Street #: 510 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: 18th Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08260

Municipality(s): North Wildwood City **Block(s):** 315.01

Local Place Name(s): N/A **Lot(s):** 5

Ownership: Private **USGS Quad(s)** Cape May

Description: The Sahara Motel is a good example of the Doo Wop motels built in Wildwood, New Jersey in the 1950s and 1960s.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

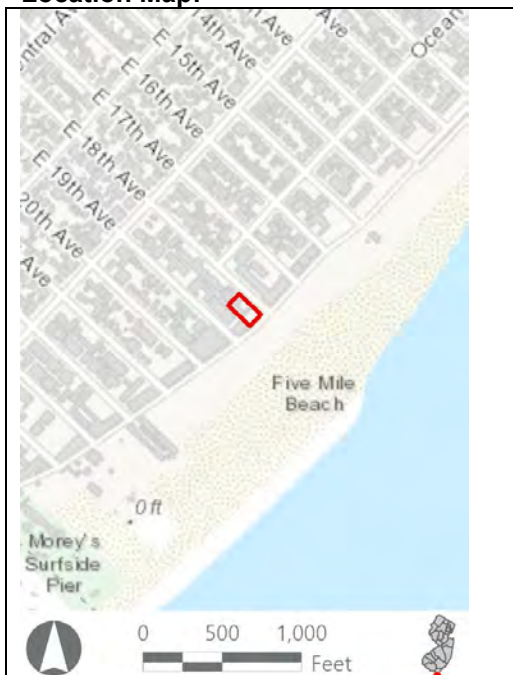


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Visit NJ Shore. 2022. The History of North Wildwood City, NJ. Available at <https://www.visitnjshore.com/north-wildwood/history/> (Accessed August 2022).
Zerbe, N.L., S.M. Hoagland, and K.D. Murphy. 2004. Motels of the Wildwoods. National Register of Historic Places Multiple Property Documentation Form. U.S. Department of the Interior, National Park Service. March 25, 2004.

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>Sahara Motel</u>		
Historic Name:	<u>Sahara Motel</u>		
Present Use:	<u>Residential Activity, Transient, nonfamily</u>		
Historic Use:	<u>Residential Activity, Transient, nonfamily</u>		
Construction Date:	<u>ca. 1960</u>	Source:	<u>Stylistic Evidence</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Excellent</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Medium</u>
Style:	<u>Other</u>		
Form:	<u>Commercial</u>	Stories:	<u>3</u>
Type:	<u>N/A</u>	Bays:	<u>8</u>
Roof Finish Materials:	<u>Unknown</u>		
Exterior Finish Materials	<u>Concrete</u>		

Exterior Description: The Sahara Motel is a good example of the Doo Wop motels built in Wildwood, New Jersey in the 1950s and 1960s. It has many of the defining characteristics of the type, including three stories, continuous porches with wide, overhanging eaves supported by exposed steel beams, and a second-story sundeck positioned at a right angle to the building. The Sahara also has a sky sign and complementary kitschy decor consisting of artificial palm trees.

Interior Description: N/A

Setting: The Sahara Motel is typical of the resort architecture in this oceanside community. It is located adjacent to the raised boardwalk and its ocean views at street level are obstructed.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: With the opening of the Garden State Parkway, new accommodations for highway travelers changed some of the architectural character of Jersey Shore vacation spots. As the Motels of the Wildwoods Multiple Property Documentation Form (64500880) notes:

The architects and builders in The Wildwoods worked to bring the high-style architecture of Florida down to an "everyman's" level. ... Many of the most fantastical motels are constructed of simple concrete block walls and then use wood framing to create the modern appendages such as butterfly roofs, angled walls and porte-cocheres that match the stylistic designs conjured by the exotic names of the motels (Zerbe, et al, 2004).

North Wildwood City is in Cape May County north of Wildwood City on the Atlantic coast barrier island known as Five Mile Beach. The area was used as a fishing, herding, and whale processing locale during the seventeenth and eighteenth centuries and did not have any permanent settlement until the village of Anglesea was established by Swedish fishermen around 1870. The hazardous conditions at the Hereford Inlet at the north end of the island prompted the construction of the Hereford Lighthouse, completed in 1874. A rail line was established between Cape May Courthouse and Anglesea in 1884, which, along with the Rio Grand bridge, made the island more accessible from the mainland. Shortly after, in 1885, Anglesea was designated a borough. The community was renamed North Wildwood in 1906 to capitalize on the tourist trade that was booming in their neighbor to the south. Within eleven years the municipality grew large enough to be designated as a city. The area's economic base is commercial with an emphasis on tourism, including hotels and boardwalk attractions (History of North Wildwood, NJ, 2022).

Significance: Based on exterior analysis only, the resource appears to meet Criterion C as an example of a Doo Wop or Populuxe motel as defined by the Motels of the Wildwoods MPDF.

**Eligibility for New Jersey
and National Registers:**

☒ Yes

☐ No

National

Register Criteria:

☐ A

☐ B

☒ C

☐ D

Level of Significance

☒ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: The Sahara Motel appears to retain a high degree of exterior integrity.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Sahara Motel Building Form

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: American Inn

Street Address: Street #: 510 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: 13th Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08260

Municipality(s): North Wildwood City **Block(s):** 413

Local Place Name(s): N/A **Lot(s):** 6

Ownership: Private **USGS Quad(s)** Cape May

Description: The American Inn is a good example of the Doo Wop motels built in Wildwood, New Jersey in the 1950s and 1960s. It has several of the defining characteristics of the type, including three stories, continuous porches with wide, overhanging eaves supported by exposed steel beams and curved metal railings, and sundecks positioned at a right angle to the building. The exterior lacks the kitschy decor and sky sign typical of the themed motels, an absence that suggests a possible name change.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: May 31, 2022
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

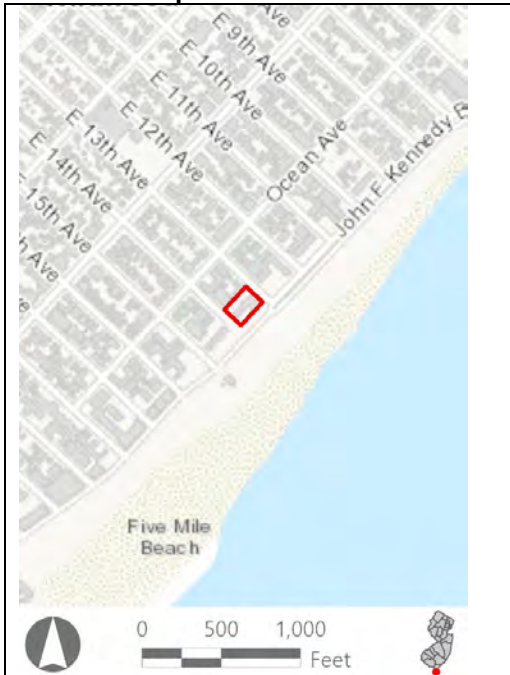


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

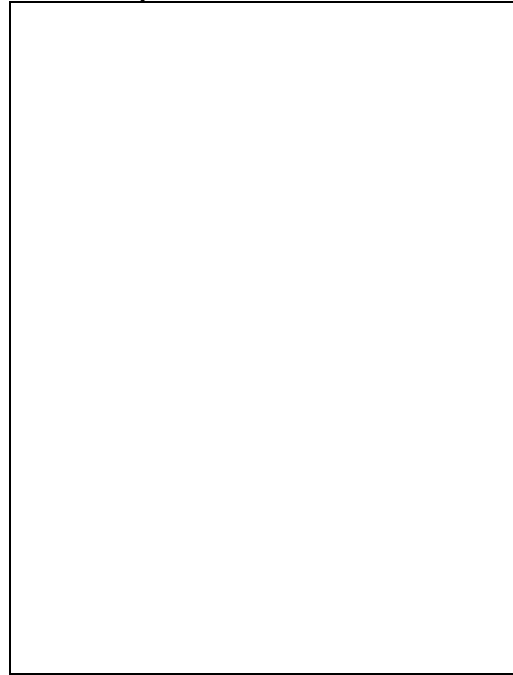
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: Aloha Motel

Street Address: Street #: 210 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: John F Kennedy Suffix: N/A Type: BLVD

County(s): Cape May **Zip Code:** 08260

Municipality(s): North Wildwood City **Block(s):** 424

Local Place Name(s): N/A **Lot(s):** 5

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The Aloha is a late example of the Doo Wop motels built in Wildwood, New Jersey during the 1950s and 1960s.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

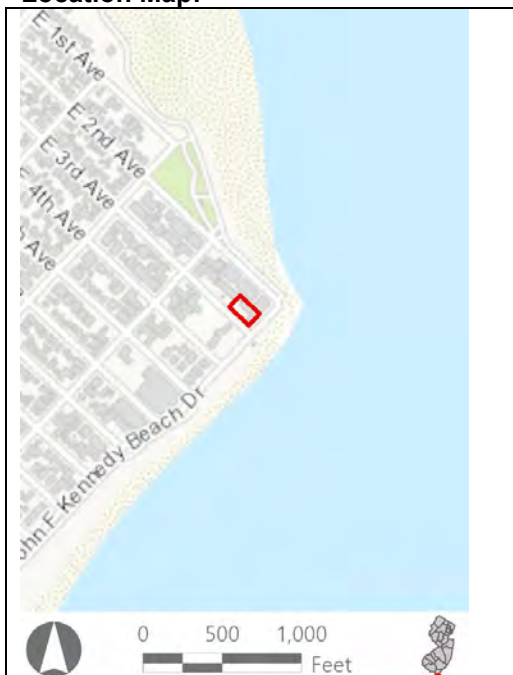


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Zerbe, N.L., S.M. Hoagland, and K.D. Murphy. 2004. Motels of the Wildwoods. National Register of Historic Places Multiple Property Documentation Form. U.S. Department of the Interior, National Park Service. March 25, 2004.

Visit NJ Shore. 2022. The History of North Wildwood City, NJ. Available at <https://www.visitnjshore.com/north-wildwood/history/> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>Aloha Motel</u>		
Historic Name:	<u>Aloha Motel</u>		
Present Use:	<u>Residential, Transient, nonfamily</u>		
Historic Use:	<u>Residential, Transient, nonfamily</u>		
Construction Date:	<u>ca. 1960</u>	Source:	<u>Stylistic Evidence</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Excellent</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>High</u>
Style:	<u>Other</u>		
Form:	<u>Commercial</u>	Stories:	<u>3</u>
Type:	<u>N/A</u>	Bays:	<u>8</u>
Roof Finish Materials:	<u>Unknown</u>		
Exterior Finish Materials	<u>Concrete</u>		

Exterior Description: The Aloha is a late example of the Doo Wop motels built in Wildwood, New Jersey during the 1950s and 1960s. It has several of the defining characteristics of the type, including three stories, continuous porches with wide, overhanging eaves supported by exposed steel beams and metal railings, and a second-story sundeck positioned at a right angle to the building. The themed branding is more restrained than in motels built during the height of the Doo Wop movement.

Interior Description: N/A

Setting: The Aloha is located adjacent to the boardwalk and the Wildwood beach, though the constraints of its narrow lot required that it be oriented perpendicular to the waterfront.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: With the opening of the Garden State Parkway, new accommodations for highway travelers changed some of the architectural character of Jersey Shore vacation spots. As the Motels of the Wildwoods Multiple Property Documentation Form (64500880) notes:

The architects and builders in The Wildwoods worked to bring the high-style architecture of Florida down to an "everyman's" level. ... Many of the most fantastical motels are constructed of simple concrete block walls and then use wood framing to create the modern appendages such as butterfly roofs, angled walls and porte-cocheres that match the stylistic designs conjured by the exotic names of the motels (Zerbe, et al, 2004).

North Wildwood City is in Cape May County north of Wildwood City on the Atlantic coast barrier island known as Five Mile Beach. The area was used as a fishing, herding, and whale processing locale during the seventeenth and eighteenth centuries and did not have any permanent settlement until the village of Anglesea was established by Swedish fishermen around 1870. The hazardous conditions at the Hereford Inlet at the north end of the island prompted the construction of the Hereford Lighthouse, completed in 1874. A rail line was established between Cape May Courthouse and Anglesea in 1884, which, along with the Rio Grand bridge, made the island more accessible from the mainland. Shortly after, in 1885, Anglesea was designated a borough. The community was renamed North Wildwood in 1906 to capitalize on the tourist trade that was booming in their neighbor to the south. Within eleven years the municipality grew large enough to be designated as a city. The area's economic base is commercial with an emphasis on tourism, including hotels and boardwalk attractions (History of North Wildwood, NJ, 2022).

Significance: Based on exterior analysis only, the resource appears to meet Criterion C as an example of a Populuxe motel as defined by the Motels of the Wildwoods MPDF.

**Eligibility for New Jersey
and National Registers:**

☒ Yes

☐ No

National

Register Criteria:

☐ A

☐ B

☒ C

☐ D

Level of Significance

☒ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Appears to retain a high degree of exterior integrity.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Aloha Motel Building Form

Narrative Boundary Description: Corresponds with the boundary of the tax parcel

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: Hereford Lighthouse

Street Address: Street #: 111 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: Central Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08260

Municipality(s): North Wildwood City **Block(s):** 251

Local Place Name(s): N/A **Lot(s):** 5

Ownership: Public **USGS Quad(s)** Atlantic City

Photograph:



Description: The Hereford Lighthouse was designed by Paul Pelz and completed in 1874. His use of the Stick Style is unique on the East Coast, though he designed five similar lighthouses on the West Coast. The structure was residential, with living quarters for the keeper and the tower itself, which is 57 ft tall. The lighthouse was moved 150 ft to its current location after a 1913 storm damaged its foundation. The lighthouse continued to function until 1964 when an automated light nearby rendered it obsolete. In the 1980s, an automated light was installed in the tower to bring it into service again.

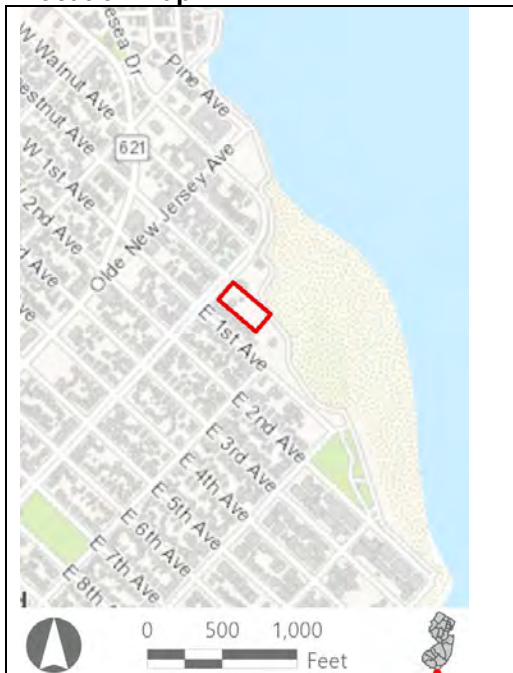
Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: September 20, 1977 Local Designation: _____
New Jersey Register: December 15, 1976 Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

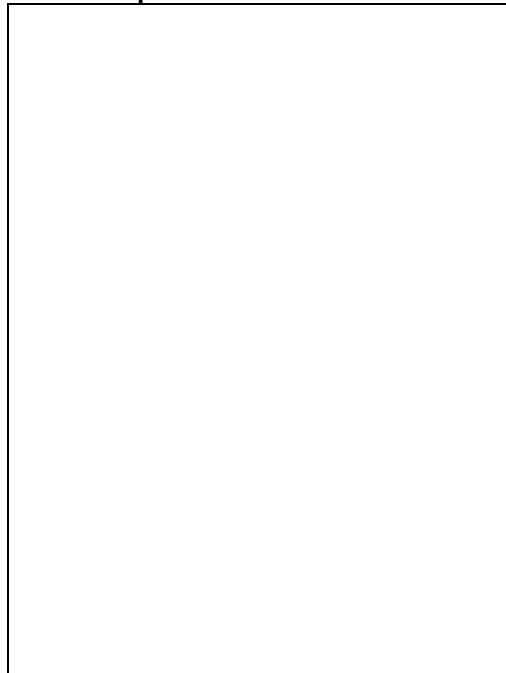
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: North Wildwood Life Saving Station

Street Address: Street #: 113 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: Central Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08260

Municipality(s): North Wildwood City **Block(s):** 251

Local Place Name(s): N/A **Lot(s):** 2 and 5

Ownership: Public **USGS Quad(s)** Atlantic City

Photograph:



Description: The North Wildwood Life Saving Station was built in 1938 by the U.S. Coast Guard. The two-story Colonial Revival building has a columned porch with roof balustrade, single-story flanking wings, gabled dormers, and a large look-out cupola. The station operated the adjacent Hereford Lighthouse until 1964 when both facilities were closed. The station was turned over to the State of New Jersey and became a marine police station.

Registration and Status Dates: National Historic Landmark: _____

National Register: _____

New Jersey Register: _____

Determination of Eligibility: July 26, 2001

SHPO Opinion: _____

Local Designation: _____

Other Designation: _____

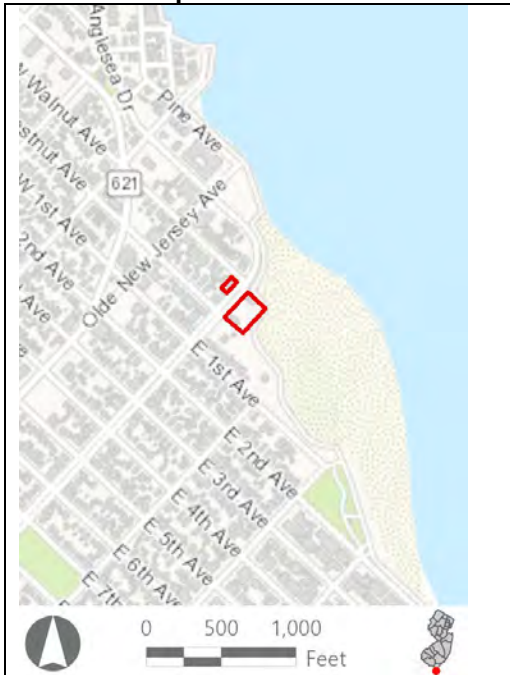
Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

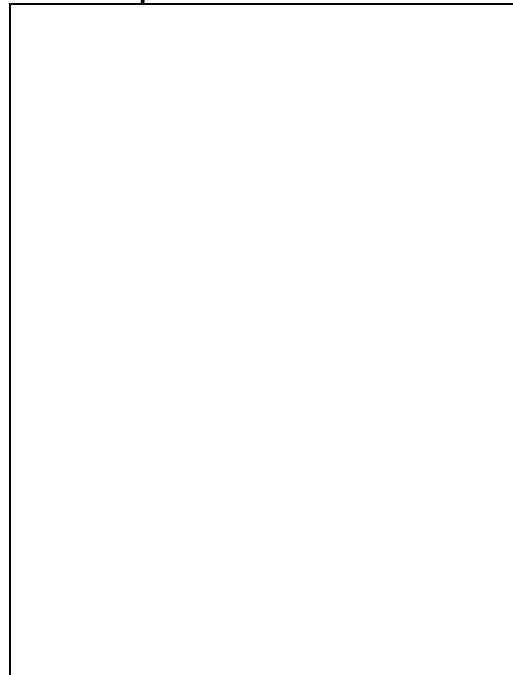
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 5231-5229 Central Avenue

Street Address: Street #: 5229 5231 Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Central Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 5201

Local Place Name(s): N/A **Lot(s):** 7

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 5231-5229 Central Avenue is a two-story Folk Victorian with a side-gable roof and central gabled dormer. It is a simple frame dwelling with a one-story porch that wraps around to the side elevations. There is restrained "gingerbread" decoration on the porch and dormer. Windows are simple flat arch and regularly spaced.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

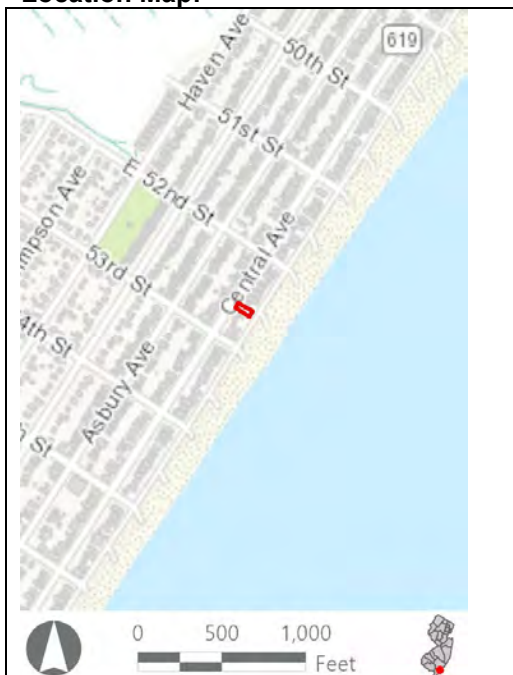
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).
Ocean City New Jersey. 2022. The Untold History of Ocean City, New Jersey. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).
Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	5231-5229 Central Avenue		
Historic Name:	N/A		
Present Use:	Residential, Permanent		
Historic Use:	Residential, Permanent		
Construction Date:	1917	Source:	Real Estate Listing
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	High
Style:	Other		
Form:	Duplex	Stories:	2
Type:	N/A	Bays:	N/A
Roof Finish Materials:	Asphalt Shingles		
Exterior Finish Materials	Wood, Shingles		

Exterior Description: The building at 5231-5229 Central Avenue is a two-story Folk Victorian with a side-gable roof and central gabled dormer. It is a simple frame dwelling with four bays on the first-story façade and two bays on the second-story façade. There is a one-story hipped-roof porch that wraps around to the side elevations. Restrained “gingerbread” decoration is featured on the porch and dormer. Windows are simple flat arch and regularly spaced with 1/1 sash. The exterior wall cladding is wood clapboard on the first story and wood shingles on the second story.

Interior Description: N/A

Setting: The house is located on the southeast side of Ocean Avenue within a dense residential block. The simple porches, strong bilateral symmetry and massing of the house are characteristic of duplex beachfront historic homes of this era. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The resource first appears on a 1920 aerial photograph of Ocean City and was situated along a linear row of dwellings fronting Central Avenue with views to the Atlantic Ocean from the rear of the dwelling. The corridor of Central Avenue was the only visibly improved road along this area of Ocean City and homes were confined to its southeast and northwest sides. By the early 1950s, steadily development is visible in aerial photographs along the orderly grid of avenues and numerical streets. By the late 1970s, the once rural and sparsely developed area of Ocean City was a densely built area of residences lining the blocks to the northwest of the ocean. This configuration is maintained today (NETR, 2022).

Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: Based on exterior analysis only, the resource appears to meet Criterion C as an example of a vernacular Late Victorian dwelling.

Eligibility for New Jersey

and National Registers:

☒ Yes

☐ No

National

Register Criteria:

☐ A

☐ B

☒ C

☐ D

Level of Significance

☒ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Appears to retain a sufficient degree of exterior integrity.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

5231-5229 Central Avenue Building Form

Narrative Boundary Description: Corresponds with the boundary of the tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: St. Augustine Rectory

Street Address: Street #: 1310 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 1302

Local Place Name(s): N/A **Lot(s):** 12

Ownership: Non-profit **USGS Quad(s)** Cape May

Description: St. Augustine Rectory is a three-story brick building with a hipped roof and a two-story porch with an open first story and an infilled second story. The rectory exhibits features of the Mission style, including molded parapets and clay roof tiles.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:

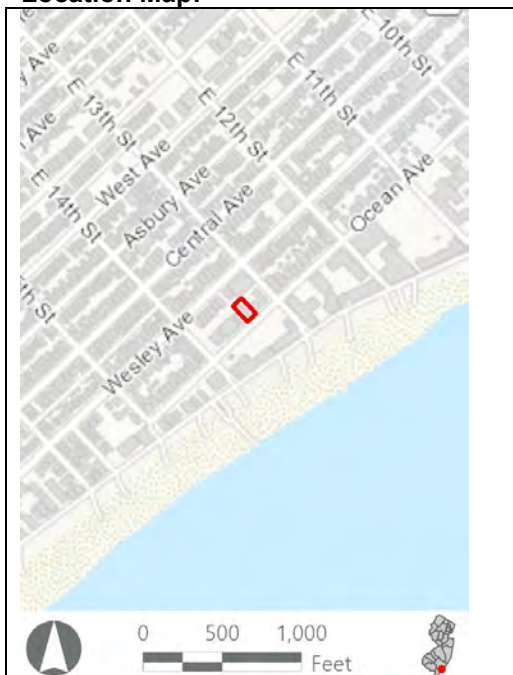


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: March 31, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. The Untold History of Ocean City, New Jersey. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Saint Damien Parish. 2022. Available at <https://stdamienparish.com/> (Accessed November 2022).

Additional Information: N/A

More Research Needed? ☒ Yes ☐ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	March 31, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>St. Augustine Rectory</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>ca. 1920</u>	Source:	<u>Stylistic Evidence</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Excellent</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Medium</u>
Style:	<u>Spanish Colonial Revival</u>		
Form:	<u>Other</u>	Stories:	<u>3</u>
Type:	<u>N/A</u>	Bays:	<u>3</u>
Roof Finish Materials:	<u>Tile, Spanish</u>		
Exterior Finish Materials	<u>Brick, Running Bond</u>		

Exterior Description: St. Augustine Rectory is a three-story running-bond brick building capped by a hip-on-flat roof covered in Spanish tile. The façade features a two-story, three-bay wide, full-width brick porch with a third-story balcony. The porch features three arches on the first floor and the second floor has been enclosed with triple ribbon windows within each bay. Square brick columns run between the porch bays and extend above the balcony. The balcony features decorative metal railings. A central Mission-style parapet is present in the central bay of the façade and within the central bays of the side elevations. Fenestration consists of one-over-one replacement windows. The windows feature soldier-bond brick lintels and brick sills, and the third-story windows feature brick arches. Both side elevations feature bay windows featuring copper cornices near the façade.

Interior Description: N/A

Setting: St. Augustine Rectory is situated on the southwest side of Ocean Avenue within a dense residential block, approximately 0.15 mile to the northwest of Ocean City Beach and the Atlantic Ocean. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>March 31, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The rectory was built for the St. Augustine Roman Catholic Church located immediately to the north at 1337 Asbury Avenue (outside of the PAPE).

Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: Based on exterior analysis only, the resource appears to meet Criterion C as an example of Mission-style ecclesiastical architecture.

Eligibility for New Jersey

and National Registers:

☒ Yes

☐ No

National

Register Criteria:

☐ A

☐ B

☒ C

☐ D

Level of Significance

☒ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Although the dwelling has undergone some alterations, it stands as an extant example of the Mission style.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

St. Augustine Rectory Building Form

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	March 31, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: Music Pier

Street Address: Street #: 825 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Boardwalk Suffix: N/A Type: N/A

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 72.01

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Public **USGS Quad(s)** Ocean City

Photograph:



Description: The Music Pier at Ocean City was opened in the summer of 1929. It was constructed after a fire destroyed a large portion of the boardwalk, including businesses and nearby homes. The Spanish Colonial style pier included a large concert hall and was used for conventions, bazaars, dances, and free summer concerts.

Registration and Status Dates: National Historic Landmark: _____

National Register: _____

New Jersey Register: _____

Determination of Eligibility: January 17, 1990

SHPO Opinion: _____

Local Designation: _____

Other Designation: _____

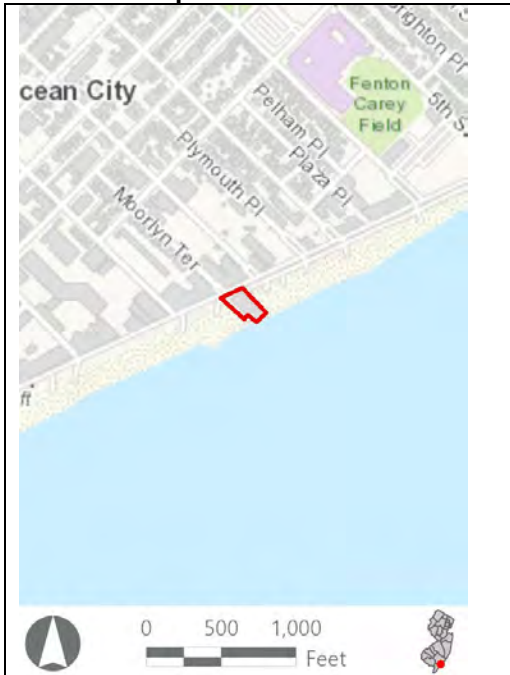
Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

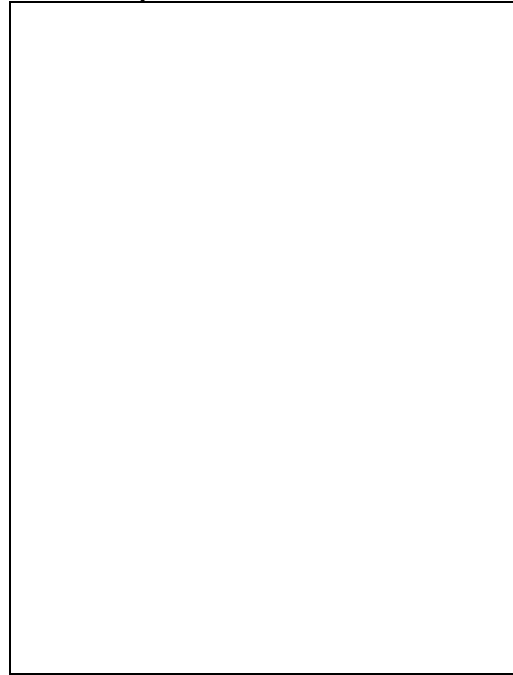
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: Address in LUCY is 811.

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: Gillian's Wonderland Pier

Street Address: Street #: 600 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Boardwalk Suffix: N/A Type: N/A

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 600.05

Local Place Name(s): N/A **Lot(s):** 2

Ownership: Private **USGS Quad(s)** Ocean City

Photograph:



Description: The entertainment pier was opened in 1930 by David Gillian and is currently operated by 3rd generation owner Jay Gillian.

Registration and Status Dates: National Historic Landmark: _____

National Register: _____

New Jersey Register: _____

Determination of Eligibility: _____

SHPO Opinion: May 31, 2022

Local Designation: _____

Other Designation: _____

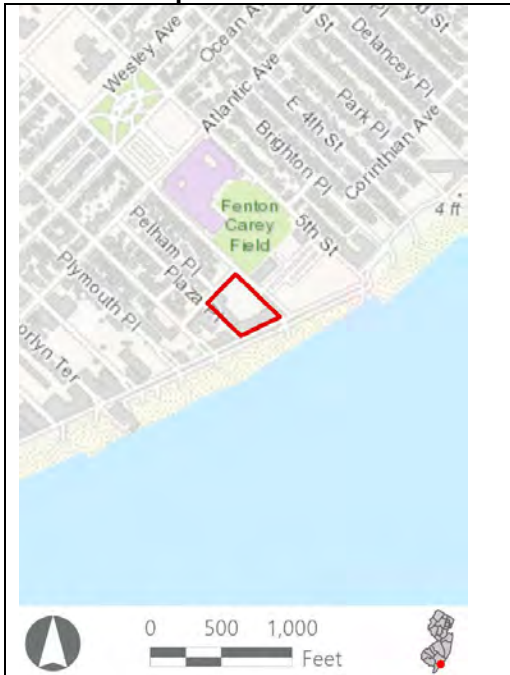
Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

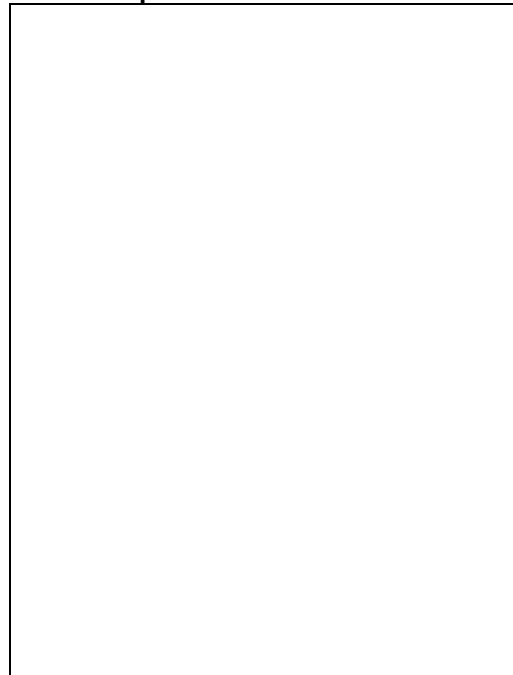
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 319 West Leeds Avenue

Street Address: Street #: 319 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: W Street Name: Leeds Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08232

Municipality(s): Pleasantville City **Block(s):** 400

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Pleasantville

Description: The building at 319 West Leeds Avenue is a two-story Folk Victorian dwelling, three bays wide and two bays deep with a cross-gable roof.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

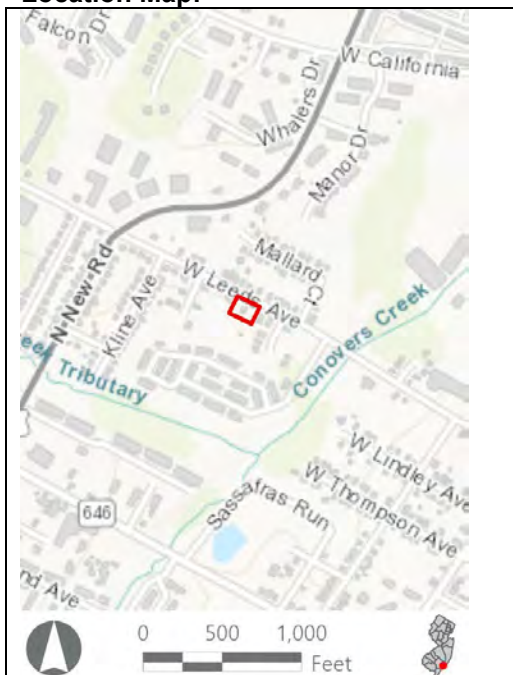


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: NETRonline (NETR). 2022. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed November 2022).

Remington, Vernick & Walberg Engineers. 2008. *Comprehensive Master Plan Update, City of Pleasantville, N.J. Volume 1 of 2*. Available online at: https://www.pleasantville-nj.org/pdf/MP_Historic_Final.pdf (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	319 West Leeds Avenue		
Historic Name:	N/A		
Present Use:	Residential, Permanent		
Historic Use:	Residential, Permanent		
Construction Date:	ca. 1900	Source:	Stylistic Evidence
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	Medium
Style:	Other		
Form:	Center Hall	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingles		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 319 West Leeds Avenue is a two-story Folk Victorian dwelling, three bays wide and two bays deep with a cross-gable roof. The house is clad in wood clapboard and the cross-gable has decorative scalloped shingles and cornice returns. The façade has a full-height central projecting bay with a gabled entry porch supported by columns. The fenestration is flat-arch 1/1 sash, except for the gables, which are pointed-arch in pairs.

Interior Description: N/A

Setting: The resource is located inland in Pleasantville in Ocean County, approximately 6.62 miles to the northwest of the ocean, and does not have a maritime setting.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The resource first appears on a 1931 aerial photograph of Pleasantville City; however stylistic evidence suggests the Folk Victorian dwelling was constructed ca. 1900. The dwelling was set within a large lot surrounded by cultivated fields bordered by areas of tree cover on the southwest side of West Leeds Avenue. The surrounding area was predominantly rural and undeveloped. By the 1950s, a large postwar housing development was constructed to the southeast of the dwelling on the northwest and southeast sides of North New Road. Development continued into the latter half of the twentieth century with a proliferation of new construction occurring in the late 1980s and early-to-mid 1990s which dramatically changed the character of the historical rural landscape (NETR, 2022).

Pleasantville City is located in Atlantic County along the banks of Lakes Bay on the mainland west of Atlantic City. European settlement began in the 1700s as small fishing communities along Lakes Bay and Great Egg Harbor River. These small communities continued to grow and eventually coalesced into a unified community in the late-1800s. This was mostly spurred by the areas located as a gateway into Atlantic City, as well as the migration of whalers and shell-fishers entering the area from the Cape May region. During this time railroads and stagecoach lines brought passengers through Pleasantville on their way to Atlantic City. The areas of Risleyville, Pleasantville, Mt. Pleasant, and Smith's Landing were consolidated and incorporated into the Borough of Pleasantville on December 18, 1888. Pleasantville continued to prosper and grow and a regional trolley service was instituted in 1903. As transportation routes continued to grow, linking Absecon to Somers Point, and the inland areas of New Jersey to Atlantic City, Pleasantville's central location caused more economic growth and the area soon boasted numerous commercial businesses and markets. This growth continued into the 1920s, and the city saw a population increase from 5,887 to over 12,000 as Pleasantville become a commercial hub on the mainland. However, the construction of the Garden State Parkway and the Atlantic City Parkway after World War II, which provided opportunities for residents to move to more distant suburban areas and larger shopping plazas, and also lessened the impact of the importance of railroad transportation, Pleasantville's role as a commercial, economic, social, and transportation hub declined (Remington, Vernick & Walberg Engineers 2008).

Significance: Based on exterior analysis only, the resource appears to meet Criterion C as an example of a vernacular Late Victorian dwelling.

Eligibility for New Jersey

and National Registers:

☒ Yes

☐ No

National

Register Criteria:

☐ A

☐ B

☒ C

☐ D

Level of Significance

☒ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Appears to retain sufficient degree of exterior integrity.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

319 W Leeds Avenue Building Form

Narrative Boundary Description: Corresponds with the boundary of the tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: Wesley Methodist Episcopal Church

Street Address: Street #: 102 110 Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Linden Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08232

Municipality(s): Pleasantville City **Block(s):** 125

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Non-profit **USGS Quad(s)** Pleasantville

Description: The Wesley Methodist Episcopal Church was built 1903 in the Romanesque and Classical Revival styles. The church includes round arch windows and over the entrances, projecting gables decorated with pilasters and topped with simple, unadorned entablatures. The central section of the church includes a curved vaulted roof that formerly featured a cupola.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historical Society of Pennsylvania. 1986. Pennsylvania and New Jersey, U.S., Church and Town Records, 1669-2013. On file, Historical Society of Pennsylvania, Philadelphia, Pennsylvania.

Remington, Vernick & Walberg Engineers. 2008. *Comprehensive Master Plan Update, City of Pleasantville, N.J. Volume 1 of 2*. Available online at: https://www.pleasantville-nj.org/pdf/MP_Historic_Final.pdf (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>Wesley Methodist Episcopal Church</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Institutional Activity, Religious activity</u>		
Historic Use:	<u>Institutional Activity, Religious activity</u>		
Construction Date:	<u>1903</u>	Source:	<u>Historical Society of Pennsylvania, 1986.</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>J. Harvey Shumway</u>	Physical Condition:	<u>Excellent</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>High</u>
Style:	<u>Romanesque Revival</u>		
Form:	<u>Irregular</u>	Stories:	<u>1</u>
Type:	<u>N/A</u>	Bays:	<u>N/A</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Brick, Running Bond</u>		

Exterior Description: The Wesley Methodist Episcopal Church is a 1903 brick church with Romanesque and Classical Revival elements consisting of a single story atop a raised basement. The building has a modified cruciform plan with gable roofs surmounted by a squat, windowless central tower with wood clapboard siding and a convex-hipped roof. This roof and the gable roofs of the nave and transept are sheathed in asphalt shingle. On the primary (south) elevation, the ell's formed by the nave and transepts are filled with flat-roofed single-story volumes. At the western of these two volumes, the primary entrance is via a pair of doorways with arched stained-glass transoms, accessed via a wide flight of concrete steps wrapping around the building's corner. The nave and transepts feature plain corner piers and a painted stone or cast-stone string-course above the raised basement. Basement windows consist of vinyl double-hung and sliding units. The main floor of the building has arched stained glass windows on every elevation, including a flat-roofed rear wing which includes two secondary entrances. A single-bay-wide gable-roofed extension to the east is clad in stucco.

Interior Description: N/A

Setting: The church is located inland in Pleasantville in Ocean County, approximately 5.60 miles to the northwest of the ocean and does not have a maritime setting.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The Wesley Methodist Episcopal Church in Pleasantville was organized in the spring of 1903 after local parishioners realized a need for a Methodist denominational church centrally located in the town. With support from Dr. J. Morgan Reed, a pastor from the St. Paul's Church in nearby Atlantic City, the name Wesley Methodist Episcopal Church was chosen to commemorate the birth of John Wesley, the founder of the Methodist movement. A committee was formed to find an appropriate site for the new church and for a sum of \$17,000 the current building was constructed in the northeastern quadrant of the intersection of Linden Avenue and Pleasant Avenue. Local Atlantic City architect J. Harvey Shumway donated his services to the design of the church. Other local community members donated services for the construction of the church, including Charles A. Adams, construction superintendent; the John E. Blake Lumber Company, who provided lumber at cost; Elias Campbell, who helped with the general construction of the building, and J. Alvin McAnney, who provided the brick for the church at cost. Other parishioners donated money and volunteered throughout the construction (Historical Society of Pennsylvania, 1986). Today, the church is occupied by a Seventh-Day Adventist congregation.

Pleasantville City is located in Atlantic County along the banks of Lakes Bay on the mainland west of Atlantic City. European settlement began in the 1700s as small fishing communities along Lakes Bay and Great Egg Harbor River. These small communities continued to grow and eventually coalesced into a unified community in the late-1800s. This was mostly spurred by the areas located as a gateway into Atlantic City, as well as the migration of whalers and shell-fishers entering the area from the Cape May region. During this time railroads and stagecoach lines brought passengers through Pleasantville on their way to Atlantic City. The areas of Risleyville, Pleasantville, Mt. Pleasant, and Smith's Landing were consolidated and incorporated into the Borough of Pleasantville on December 18, 1888. Pleasantville continued to prosper and grow and a regional trolley service was instituted in 1903. As transportation routes continued to grow, linking Absecon to Somers Point, and the inland areas of New Jersey to Atlantic City, Pleasantville's central location caused more economic growth and the area soon boasted numerous commercial businesses and markets. This growth continued into the 1920s, and the city saw a population increase from 5,887 to over 12,000 as Pleasantville become a commercial hub on the mainland. However, the construction of the Garden State Parkway and the Atlantic City Parkway after World War II, which provided opportunities for residents to move to more distant suburban areas and larger shopping plazas, and also lessened the impact of the importance of railroad transportation, Pleasantville's role as a commercial, economic, social, and transportation hub declined (Remington, Vernick & Walberg Engineers 2008).

Significance: Based on exterior analysis only, the resource appears to meet Criterion C as an example of the Romanesque Revival style in ecclesiastical architecture.

**Eligibility for New Jersey
and National Registers:**

☒ Yes

☐ No

National

Register Criteria:

☐ A

☐ B

☒ C

☐ D

Level of Significance

☒ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Appears to retain a high degree of exterior integrity.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Wesley Methodist Episcopal Church Building Form

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24,
2023

BASE FORM

Historic Sites #:

Property Name: Chestnut Neck Boat Yard

Street Address: Street #: 758 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Old New York Suffix: N/A Type: RD

County(s): Atlantic **Zip Code:** 08241

Municipality(s): Port Republic **Block(s):** 5

Local Place Name(s): N/A **Lot(s):** 24

Ownership: Private **USGS Quad(s)** Hammonton

Photograph:



Description: The Chestnut Neck Boat Yard was determined to be eligible for listing in the NRHP by NJHPO in 2004. It is an approximately 1.4-acre boat yard complex begun as early as the 1930s and eventually growing to include an array of services geared towards recreational boaters, including boat lifting, docking, storage, repair, and fueling; marine supply, bait, and tackle sales; boat sales and rentals; and a snack bar/cafe. The property includes three early-twentieth-century wood frame buildings, docks, a boat ramp, and a ca. 2015 building.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: September 28, 2004
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

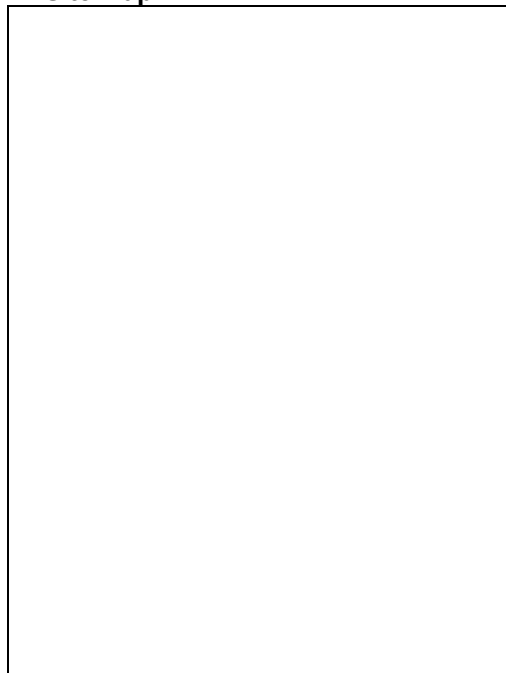
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 22 54th Street

Street Address: Street #: 22 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 54th Suffix: N/A Type: ST

County(s): Cape May Zip Code: 08243

Municipality(s): Sea Isle City Block(s): 54.02

Local Place Name(s): N/A Lot(s): 780

Ownership: Private USGS Quad(s) Atlantic City

Photograph:



Description: 22 54th Street is a raised 1.5 story, side-gabled, wood-shingled, single-family residence with a large, hipped gable dormer centered over the integrated front porch. The porch wraps around the south elevation and has decorative bracketing. There is arched shingling over the dormer windows as well as the arched attic windows; both are original.

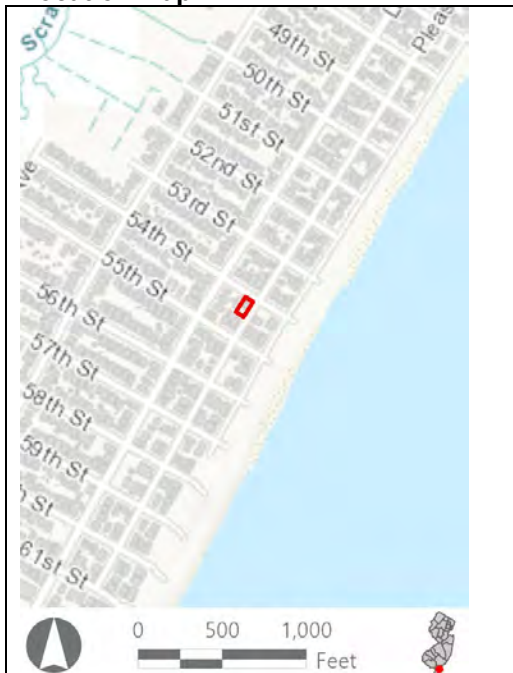
Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: August 1, 1993
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

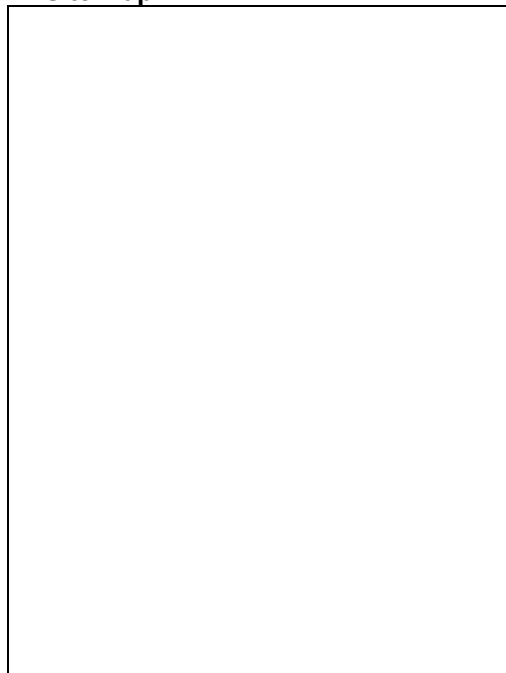
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 24 53rd Street

Street Address: Street #: 24 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 53rd Suffix: N/A Type: ST

County(s): Cape May **Zip Code:** 08243

Municipality(s): Sea Isle City **Block(s):** 53.02

Local Place Name(s): N/A **Lot(s):** 11.01

Ownership: Private **USGS Quad(s)** Atlantic City

Photograph:



Description: The property at 24 53rd Street is a one-story Front Gable dwelling measuring three bays wide and four bays deep. The house is covered in asbestos and vinyl siding and the roof is covered in asphalt shingle. A full-width screen porch supported by square posts and decorated with exposed rafter rails is attached to the northeast (front) elevation.

Registration and Status Dates: National Historic Landmark: _____

National Register: _____

New Jersey Register: _____

Determination of Eligibility: _____

SHPO Opinion: August 1, 1993

Local Designation: _____

Other Designation: _____

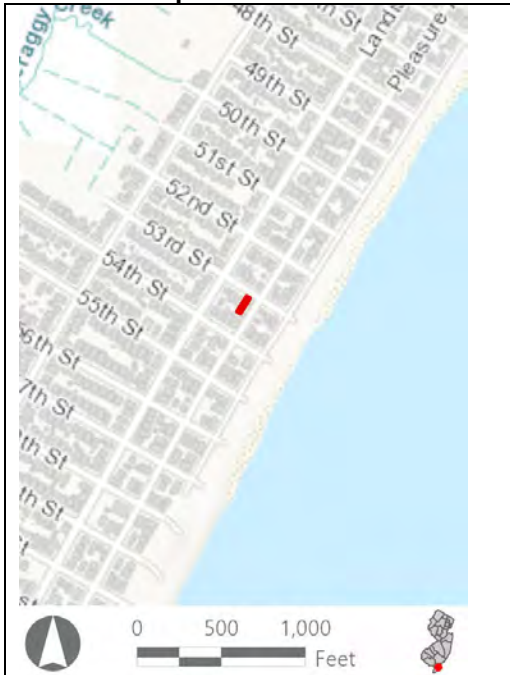
Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

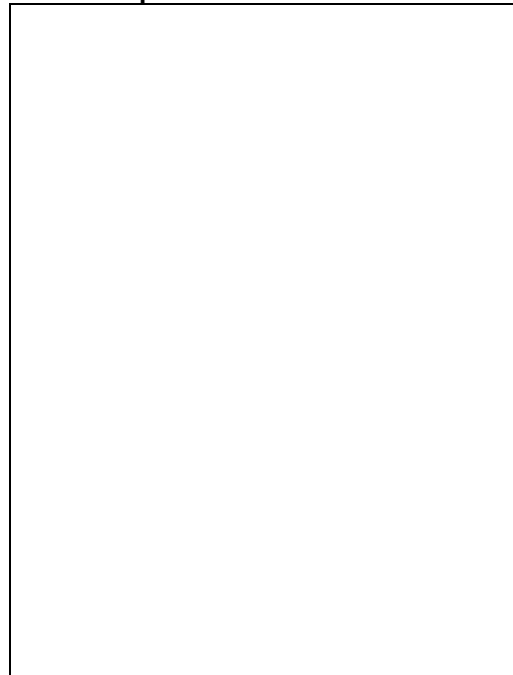
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 12 50th Street

Street Address: Street #: 12 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 50th Suffix: N/A Type: ST

County(s): Cape May **Zip Code:** 08243

Municipality(s): Sea Isle City **Block(s):** 50.01

Local Place Name(s): N/A **Lot(s):** 13

Ownership: Private **USGS Quad(s)** Atlantic City

Photograph:



Description: 12 50th Street is a 1.5 story Folk Victorian built ca. 1885 with a cross-gabled roof and a screened-in wrap around porch with simple decorative elements. The windows and siding have been replaced with vinyl but the gables and portions of the porch area retain decorative wood trim.

Registration and Status Dates: National Historic Landmark: _____

National Register: _____

New Jersey Register: _____

Determination of Eligibility: _____

SHPO Opinion: August 1, 1993

Local Designation: _____

Other Designation: _____

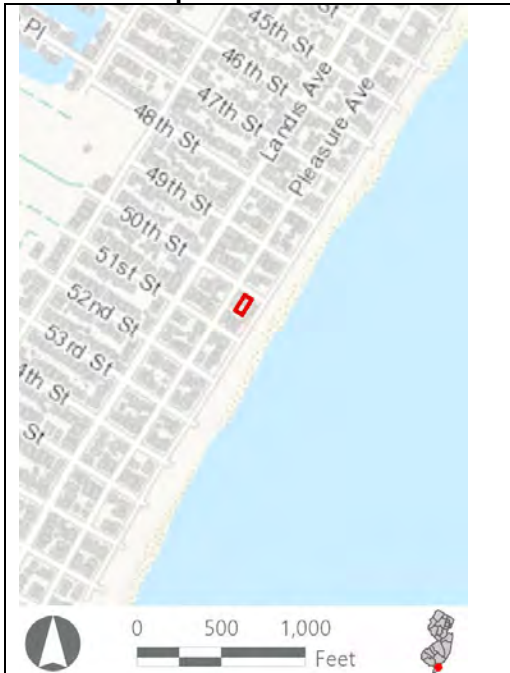
Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

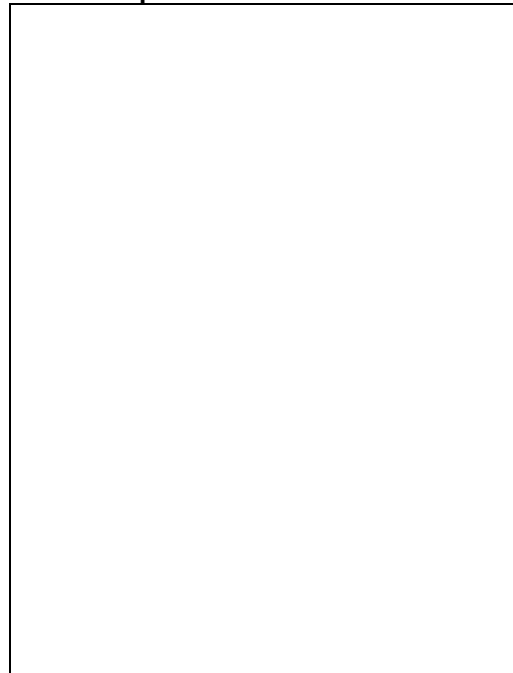
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 26 46th Street

Street Address: Street #: 26 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 46th Suffix: N/A Type: ST

County(s): Cape May **Zip Code:** 08243

Municipality(s): Sea Isle City **Block(s):** 46.02

Local Place Name(s): N/A **Lot(s):** 10

Ownership: Private **USGS Quad(s)** Atlantic City

Photograph:



Description: The property at 26 46th Street is a 2.5 story Second Empire residence with a wrap-around porch with spindle-like brackets. The lot is deep and has a rear outbuilding. Several older residences are located in the vicinity, though none have the integrity of this property.

Registration and Status Dates: National Historic Landmark: _____

National Register: _____

New Jersey Register: _____

Determination of Eligibility: _____

SHPO Opinion: August 1, 1993

Local Designation: _____

Other Designation: _____

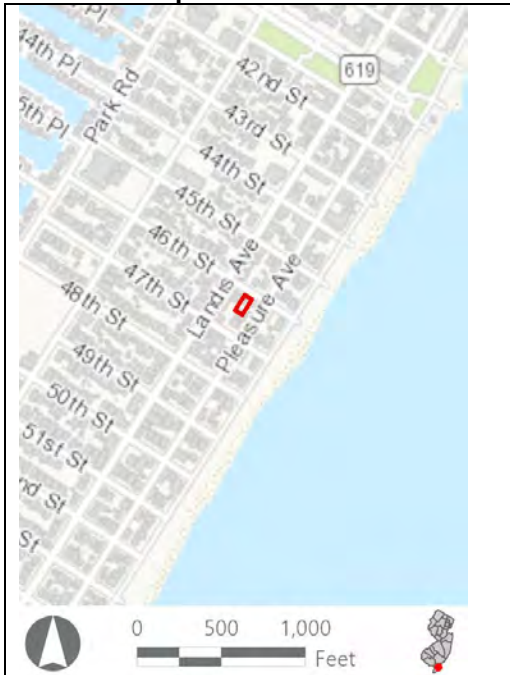
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Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

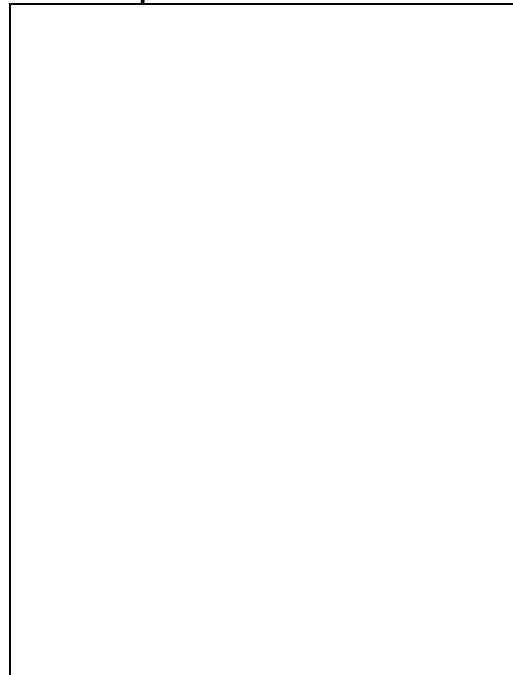
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: In LUCY under both 26 and 28 46th Street.

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 20 46th Street
Street Address: Street #: 20 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)
Prefix: N/A Street Name: 46th Suffix: N/A Type: ST
County(s): Cape May **Zip Code:** 08243
Municipality(s): Sea Isle City **Block(s):** 46.02
Local Place Name(s): N/A **Lot(s):** 11.02
Ownership: Private **USGS Quad(s)** Atlantic City

Photograph:



Description: The property at 20 46th Street is an altered and raised three-story Late Victorian built ca. 1890. The house has replacement siding, windows, and porch materials. A tower is located on the northeast (front) elevation.

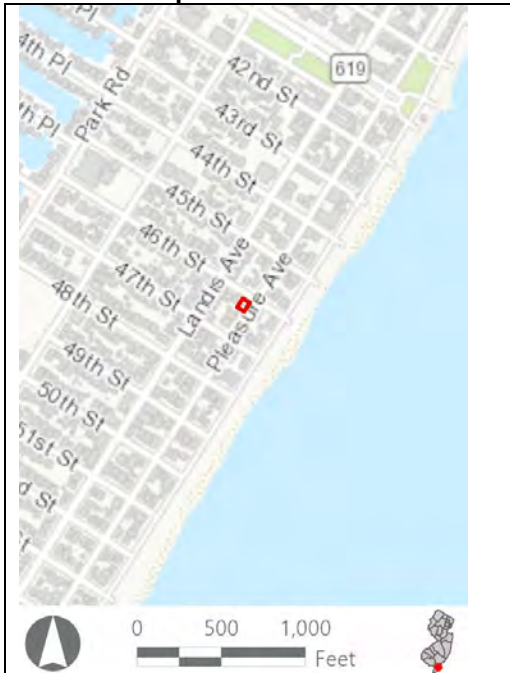
Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: August 1, 1993
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

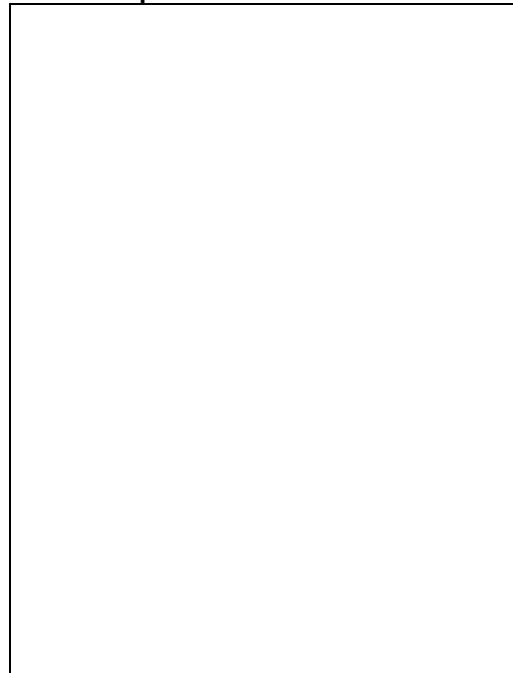
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 13 47th Street
Street Address: Street #: 13 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)
Prefix: N/A Street Name: 47th Suffix: N/A Type: ST
County(s): Cape May **Zip Code:** 08243
Municipality(s): Sea Isle City **Block(s):** 46.01
Local Place Name(s): N/A **Lot(s):** 6
Ownership: Private **USGS Quad(s)** Atlantic City

Photograph:



Description: 15 47th Street is a raised, 2.5 story, end-gabled, Folk Victorian, built ca. 1883. The wrap-around porch has turned balusters and cut-out brackets and is accessed by a sweeping brick staircase. The house retains many of its 2/2 windows and the replacement siding is asphalt shingles laid in a diamond pattern; this pattern is present on the walls or roofs of scattered historic homes in the greater area.

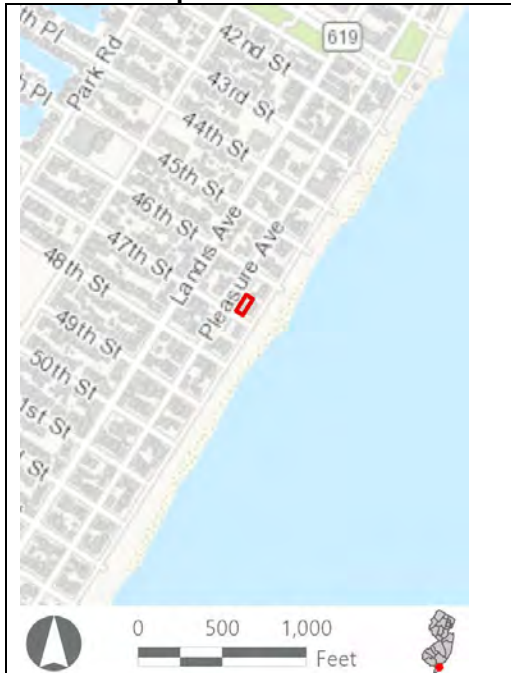
Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: September 1, 2021
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

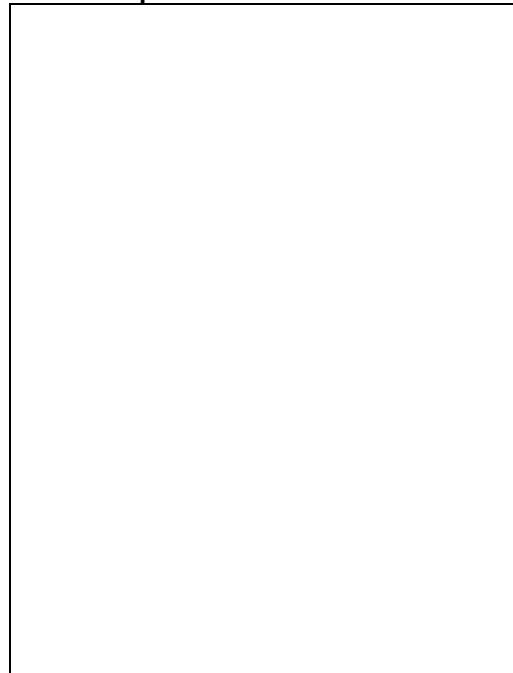
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: Braca Café

Street Address: Street #: 18 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: John F Kennedy Suffix: N/A Type: BLVD

County(s): Cape May **Zip Code:** 08243

Municipality(s): Sea Isle City **Block(s):** 41.01

Local Place Name(s): N/A **Lot(s):** 12.02

Ownership: Private **USGS Quad(s)** Atlantic City

Photograph:



Description: The Braca Café is a family-owned restaurant that opened in 1908 on the first floor of a 2.5 story, ca. 1901 residence. The business has been open for nearly 115 years and is a staple in the Sea Isle commercial district.

Registration and Status Dates: National Historic Landmark: _____

SHPO Opinion: August 1, 1993

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

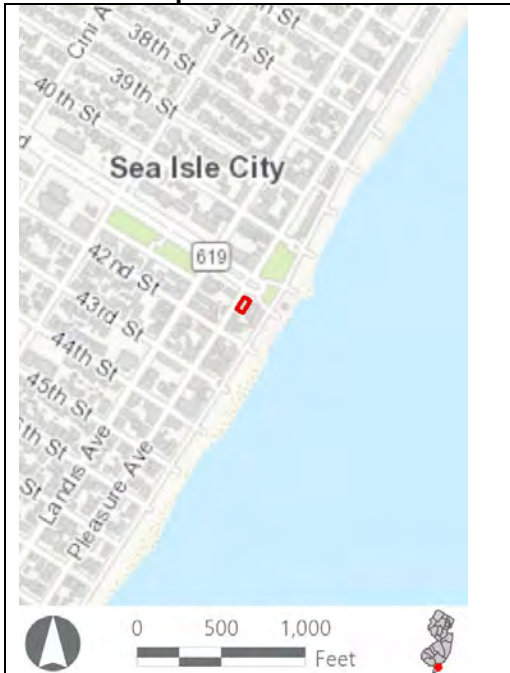
Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

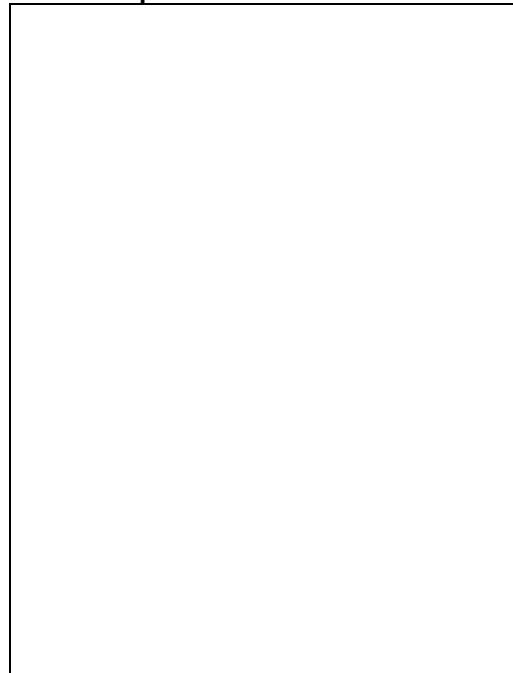
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: US Life Saving Station No. 13

Street Address: Street #: 1701 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: Ocean Suffix: N/A Type: AVE

County(s): Ocean **Zip Code:** 08752

Municipality(s): Seaside Park Borough **Block(s):** 89

Local Place Name(s): N/A **Lot(s):** 22

Ownership: Public **USGS Quad(s)** Seaside Park

Photograph:



Description: U.S. Life Saving Station No. 13 was previously determined to be eligible for NRHP listing by NJHPO. The former lifesaving station now functions as borough offices for Seaside Park and the historic-era garage is used as storage for lifeguard equipment.

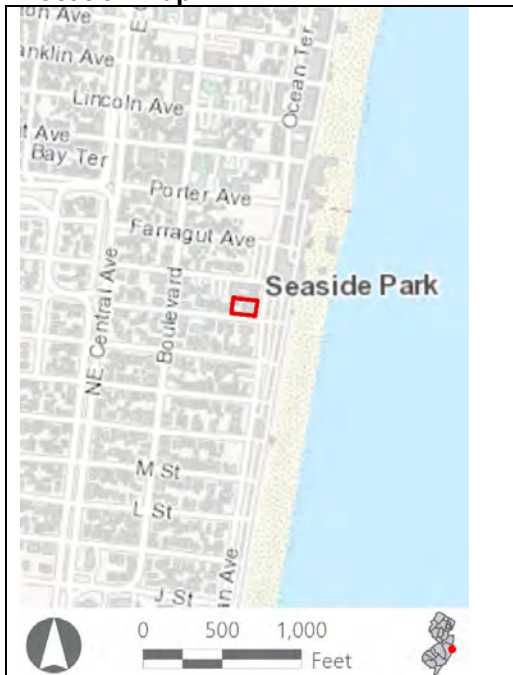
Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: September 17, 2012 Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

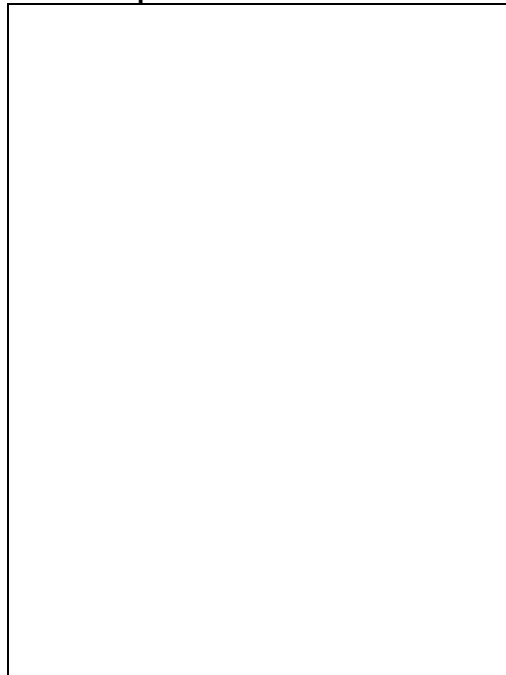
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: Somers Mansion

Street Address: Street #: 1000 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Shore Suffix: N/A Type: RD

County(s): Atlantic **Zip Code:** 08244

Municipality(s): Somers Point **Block(s):** 1913, 1815

Local Place Name(s): N/A **Lot(s):** 1, 9.01

Ownership: Public **USGS Quad(s)** Ocean City

Photograph:



Description: The Somers Mansion is the 2.5 story brick home of Richard Somers, the first member of the family for whom Somers Point is named to be born in New Jersey. Its brick walls are laid in Flemish Bond and it has a gambrel roof and is ringed by the stumps of timbers that supported a balcony that was added sometime after. It was in use by 1726 and is considered the oldest building in Atlantic County.

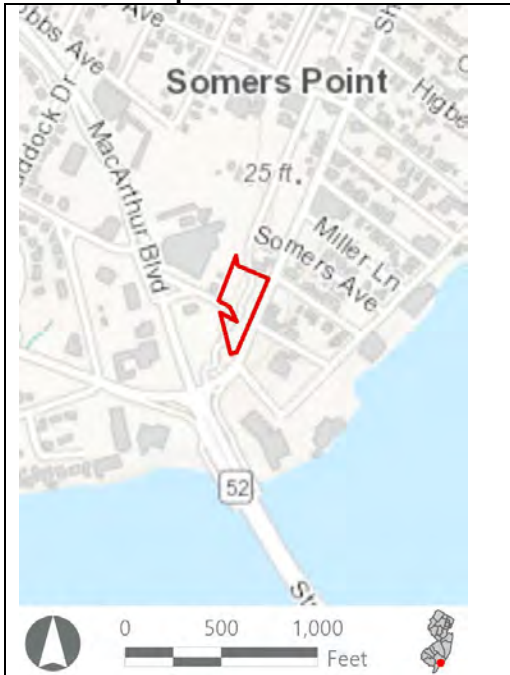
Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: December 18, 1970
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

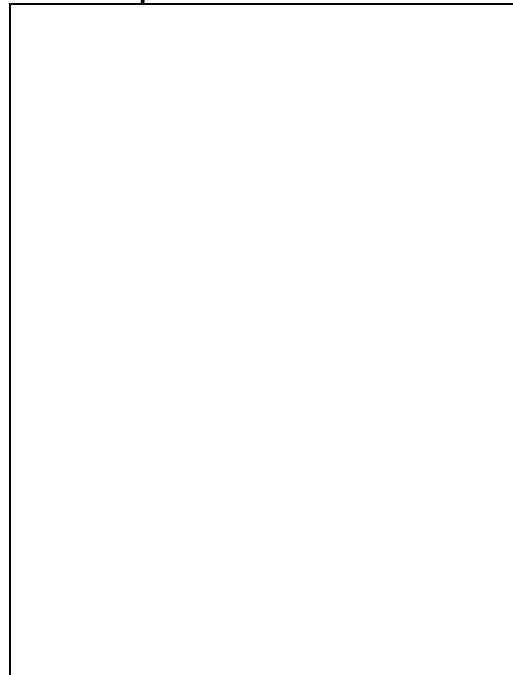
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: New York Avenue School

Street Address: Street #: 121 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: W Street Name: New York Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Somers Point **Block(s):** 1416

Local Place Name(s): N/A **Lot(s):** 12

Ownership: Public **USGS Quad(s)** Ocean City

Description: The New York Avenue School is a three-story Classical Revival school from 1914. The resource is decorated with a brick belt course, a parapet, and a large central entrance with a half-round transom set beneath an entablature with scrolled brackets.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

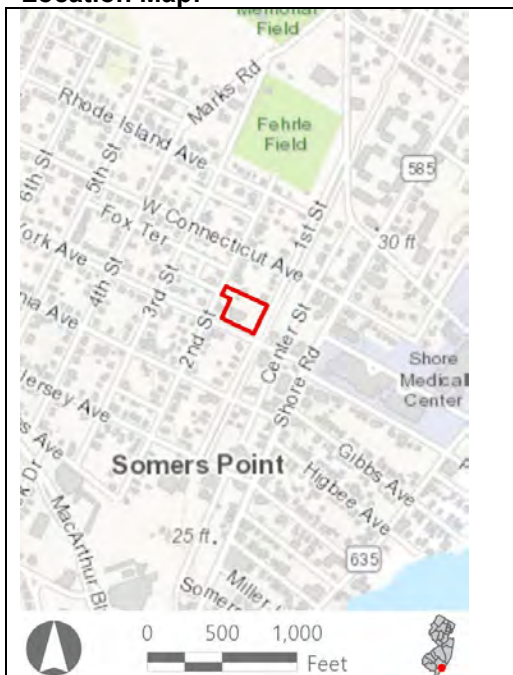


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources:

Somers Point School District, 2022. "About Somers Point Schools." Available at: <https://www.sptsd.org/domain/11> (Accessed November 2022).

Somers Point New Jersey, 2022. History. Available at: <https://visitsomerspoint.com/somers-point-history/> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>New York Avenue School</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Institutional Activities, Educational activity</u>		
Historic Use:	<u>Institutional Activities, Educational activity</u>		
Construction Date:	<u>1914</u>	Source:	<u>Stylistic Evidence; Somers Point School District, 2022.</u>
Alteration Date(s):	<u>1922</u>	Source:	<u>Somers Point School District, 2022.</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Excellent</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Medium</u>
Style:	<u>Other</u>		
Form:	<u>Other</u>	Stories:	<u>3</u>
Type:	<u>N/A</u>	Bays:	<u>3</u>
Roof Finish Materials:	<u>Rubber Membrane</u>		
Exterior Finish Materials	<u>Brick, Running Bond</u>		

Exterior Description: The New York Avenue School is a brick Classical Revival school building consisting of two stories atop a raised basement. The building has a T-shaped plan with a flat roof, low parapets, decorative brick corner panels and spandrels, and a brick water table. The primary elevation is arranged symmetrically, with a central entrance with a transom and fanlight set within an arched opening below a shallow bracketed and modillioned portico. Fenestration consists of replacement sash of varying sizes in singles, pairs, and gangs of four. A low concrete wall partially encloses the site. Also on the site is a small family cemetery plot containing a single burial marker enclosed with a low masonry wall and a wrought-iron gate.

Interior Description: N/A

Setting: The New York Avenue School is surrounded by residential and commercial development in the Shore Road corridor to the west of Ship Channel. As a result, the resource does not have a maritime setting.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The New York Avenue School was constructed in 1914 to serve Somers Point in Atlantic County. An addition was added to the school in 1922 and the building underwent a restoration in 2005. Today, the building houses full-day preschool classes, the Central Office, Business Office, and Child Study Team Offices (Somers Point School District, 2022).

Somers Point is located in Atlantic County, southwest of Atlantic City on Great Egg Harbor Bay. It is the oldest settlement in Atlantic County and was founded in 1693 when the Somers family established their plantation. Originally known as Somerset Plantation, Somers Point became a borough in 1866. Its location on Great Egg Harbor Bay led to it becoming a popular port of call, and its close location to the resort areas of Ocean City and Atlantic City prompted rapid residential and commercial development in the region (Somers Point New Jersey, 2022).

Significance: Based on exterior analysis only, the resource appears to meet Criterion A for its association with Education in Somers Point and Atlantic County.

**Eligibility for New Jersey
and National Registers:**

☒ Yes

☐ No

National

Register Criteria:

☐ A

☐ B

☒ C

☐ D

Level of Significance

☒ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Appears to retain a sufficient degree of exterior integrity.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

New York Avenue School Building Form

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: Corson's Inlet Bridge (SI&A # 3100002)

Street Address: Street #: N/A N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Bay Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08248

Municipality(s): Upper Township **Block(s):** N/A

Local Place Name(s): N/A **Lot(s):** N/A

Ownership: Public **USGS Quad(s)** Atlantic City

Photograph:



Description: The moveable-bascule bridge from 1948 retains sufficient integrity to convey its significance for eligibility in the NRHP.

Registration and Status Dates: National Historic Landmark: _____

National Register: _____

New Jersey Register: _____

Determination of Eligibility: _____

SHPO Opinion: November 13, 2008

Local Designation: _____

Other Designation: _____

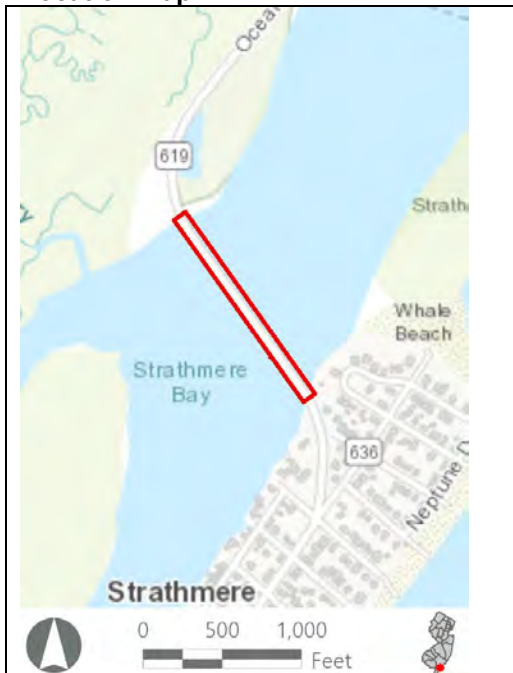
Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

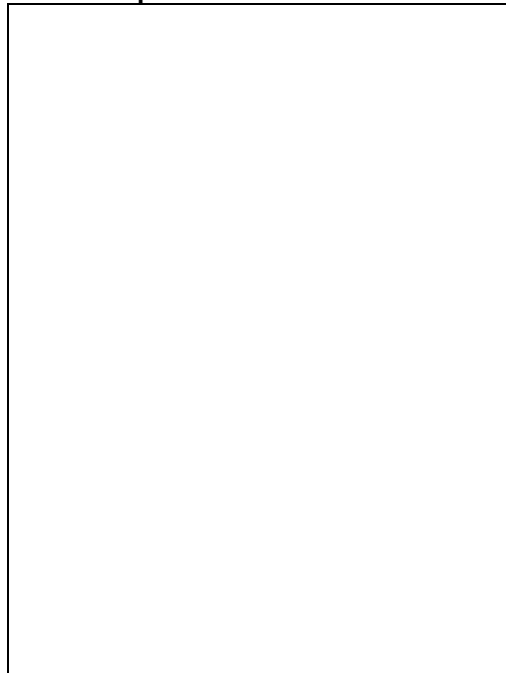
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 25 North Bayview Drive

Street Address: Street #: 25 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: Bayview Suffix: N/A Type: DR

County(s): Cape May **Zip Code:** 08248

Municipality(s): Upper Township **Block(s):** 866

Local Place Name(s): Strathmere **Lot(s):** 2

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 25 North Bayview Drive is a one-and-one-half-story Craftsman bungalow.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:

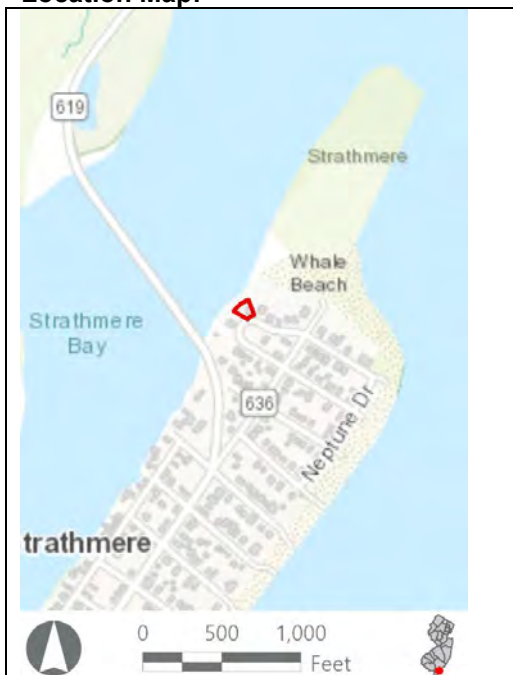


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources:

Holden, Robert F. 2020. Upper Township and Its Ten Villages. Arcadia Publishing, Charleston, SC. Available at https://books.google.com/books?id=0nTADwAAQBAJ&pg=PA7&source=gbs_toc_r&cad=3#v=onepage&q&f=false (Accessed February 2023).

NETRonline (NETR). 2022. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed November 2022).

Rand McNally and Company. 1897. Rand, McNally & Co.'s New Business Atlas Map of New Jersey. Rand McNally and Company, Chicago, IL.

Upper Township, New Jersey. 2023. History. Available at <https://uppertownship.com/general-information/history/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 25 North Bayview Drive

Historic Name: N/A

Present Use: Residential, Permanent

Historic Use: Residential, Permanent

Construction Date: 1919 **Source:** Stylistic Evidence; NETR, 2022.

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Excellent

Builder: N/A **Remaining Historic Fabric:** High

Style: Craftsman

Form: Bungalow **Stories:** 1.5

Type: N/A **Bays:** N/A

Roof Finish Materials: Asphalt Shingles

Exterior Finish Materials Wood, Shingles

Exterior Description: The building at 25 North Bayview Drive is a one-and-one-half-story Craftsman bungalow. The house has a broad cross-gable roof with open brackets in the eaves. The exterior wall cladding is wood shingle. There is an off-center gabled front porch with open brackets and exposed rafter tails. Rusticated CMU porch piers with square columns support a wooden flat arch. The fenestration appears original with a variety of fixed and 1/1 wood sash. Most notably, there is a wide fixed sash window on the façade, adjacent to the porch, that features a multilight transom. Presumably, the primary entrance is within the porch, but porch screens obscure the interior.

Interior Description: N/A

Setting: The building at 25 North Bayview Drive is a waterfront home near Whale Beach and is oriented to face Strathmere Bay. The township consists of several unincorporated communities, including Beesleys Point, Marmora, Palermo, Seaville, Greenfield, Petersburg, Tuckahoe, Marshallville, Steelmantown, and Strathmere. Most of the township is on the mainland, except for Strathmere, which is located on the barrier island of Ludlam Island. Upper Township remains predominantly comprised of small communities with a lot of undeveloped land, including the Tuckahoe Wildlife Management Area in the northeast part of the township.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The residence at 25 North Bayview Drive first appears in a 1920 aerial photograph of Strathmere suggesting a construction date of ca. 1919. The photograph also reveals that the neighborhood contained few additional dwellings, indicating development at this time was ongoing. Development in the neighborhood was slow, evidenced by subsequent aerial photographs from the 1950s through the 1980s. However, by the mid-1990s this area of Strathmere contained dense residential development (NETRonline, 2022).

Upper Township is the northernmost township in Cape May County. One of the original New Jersey townships, Upper Township was incorporated in 1798. For much of the nineteenth century, it was predominantly a fishing, oystering, and farming community and overall had limited development. By the late-nineteenth century, the West Jersey Railroad connected the villages of Tuckahoe, Petersburg, and Seaville. As seaside resorts on the neighboring barrier islands became more popular in the early twentieth century, some villages in Upper Township became popular stops for automobile traffic along the way. General stores and gas stations flourished in villages like Beesley's Point, Marmora, and Palermo. In 1926, a bridge was built connecting Tuckahoe to Corbin City across the Tuckahoe River, and in 1928 the Beesley's Point Bridge was built across Great Egg Harbor. These bridges made Upper Township more accessible from the north and stimulated growth as developers bought more land and built homes and businesses. The construction of the Garden State Parkway through the eastern part of Upper Township in 1954 allowed summer tourists to bypass the communities in the township on their way to the seaside resorts, reducing business in the gas stations and general stores throughout the township (Holden, 2020; Rand McNally, 1897; Upper Township, 2023).

Significance: Based on exterior analysis only, the residence at 25 North Bayview Drive appears to meet Criterion C in the area of Architecture as an example of a bungalow in the Craftsman style.

**Eligibility for New Jersey
and National Registers:**

☒ Yes

☐ No

National

Register Criteria:

☐ A

☐ B

☒ C

☐ D

Level of Significance

☒ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: The residence retains a high degree of exterior integrity.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

25 North Bayview Building Form

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BASE FORM

Historic Sites #:

Property Name: 1 Cove Road

Street Address: Street #: 1 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Cove Suffix: N/A Type: RD

County(s): Cape May Zip Code: 08223

Municipality(s): Upper Township Block(s): 735

Local Place Name(s): Beesley's Point Lot(s): 25

Ownership: Private USGS Quad(s) Ocean City

Description: The resource at 1 Cove Road is located on the shore of Peck Bay, just south of Golders Point. The resource, noted as being constructed in 1880 by county records, is situated off a long private dirt drive and is not visible from the public right-of-way.

Registration and Status Dates: National Historic Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources:

Holden, Robert F. 2020. Upper Township and Its Ten Villages. Arcadia Publishing, Charleston, SC. Available at https://books.google.com/books?id=0nTADwAAQBAJ&pg=PA7&source=gbs_toc_r&cad=3#v=onepage&q&f=false (Accessed February 2023).

NETRonline (NETR). 2022. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed November 2022).

Rand McNally and Company. 1897. Rand, McNally & Co.'s New Business Atlas Map of New Jersey. Rand McNally and Company, Chicago, IL.

Upper Township, New Jersey. 2023. History. Available at <https://uppertownship.com/general-information/history/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☒ Yes ☐ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	1 Cove Road		
Historic Name:	N/A		
Present Use:	Residential, Permanent		
Historic Use:	Residential, Permanent		
Construction Date:	1880	Source:	County Property Records
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Unknown
Builder:	N/A	Remaining Historic Fabric:	Unknown
Style:	Unknown		
Form:	Unknown	Stories:	Unknown
Type:	N/A	Bays:	Unknown
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Unknown		

Exterior Description: The resource at 1 Cove Road is located on the shore of Peck Bay, just south of Golders Point. The resource, noted as being constructed in 1880 by county records, is situated off a long private dirt drive and is not visible from the public right-of-way.

Interior Description: N/A

Setting: This resource is located on the shore of Peck Bay, just south of Golders Point. The resource is situated off a long private dirt drive and is not visible from the public right-of-way. The township consists of several unincorporated communities, including Beesleys Point, Marmora, Palermo, Seaville, Greenfield, Petersburg, Tuckahoe, Marshallville, Steelmantown, and Strathmere. Most of the township is on the mainland, except for Strathmere, which is located on the barrier island of Ludlam Island. Upper Township remains predominantly comprised of small communities with a lot of undeveloped land, including the Tuckahoe Wildlife Management Area in the northeast part of the township.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The resource, noted as being constructed in 1880 by county records, is situated off a long private dirt drive and is not visible from the public right-of-way. Topographic maps from 1890 to 1925 show a road extending straight off present-day Garden State Parkway to the vicinity of the residence, but no residence is mapped. Review of a 1931 aerial photograph reveals the presence of what appears to be a residence in the location of the current resource and cleared fields extending west and north from the residence, and the current road system is present. A 1951 aerial photograph shows the residence, cleared fields, and the road leading to the residence was tree-lined. By 1956, what appear to be two residences and numerous outbuildings are present on the property, and this configuration remains today. By the early 1990s it appears that the cleared fields were no longer being farmed, and reforestation continued throughout the years.

Upper Township is the northernmost township in Cape May County. One of the original New Jersey townships, Upper Township was incorporated in 1798. For much of the nineteenth century, it was predominantly a fishing, oystering, and farming community and overall had limited development. By the late-nineteenth century, the West Jersey Railroad connected the villages of Tuckahoe, Petersburg, and Seaville. As seaside resorts on the neighboring barrier islands became more popular in the early twentieth century, some villages in Upper Township became popular stops for automobile traffic along the way. General stores and gas stations flourished in villages like Beesley's Point, Marmora, and Palermo. In 1926, a bridge was built connecting Tuckahoe to Corbin City across the Tuckahoe River, and in 1928 the Beesley's Point Bridge was built across Great Egg Harbor. These bridges made Upper Township more accessible from the north and stimulated growth as developers bought more land and built homes and businesses. The construction of the Garden State Parkway through the eastern part of Upper Township in 1954 allowed summer tourists to bypass the communities in the township on their way to the seaside resorts, reducing business in the gas stations and general stores throughout the township (Holden, 2020; Rand McNally, 1897; Upper Township, 2023).

Significance: For purposes of this study, this resource is recommended as eligible for the NRHP under Criterion C.

**Eligibility for New Jersey
and National Registers:**

☒ Yes

☐ No

National

Register Criteria:

☐ A

☐ B

☒ C

☐ D

Level of Significance

☒ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: While this resource was not visible during the field survey, a review of aerial photography reveals that the two residences are still extant and appear to retain integrity.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

1 Cove Road Building Form

Narrative Boundary Description: Corresponds with the boundary of the tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

Property Name: 114 South Harvard Avenue

Street Address: Street #: 114 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: Harvard Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08406

Municipality(s): Ventnor City **Block(s):** 23

Local Place Name(s): N/A **Lot(s):** 15

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The residence at 114 South Harvard Avenue is a 2.5-story French Eclectic with a side porch, an attached garage, and a short stair turret tucked into the ell. The house is stucco clad with colored asphalt shingles on the roof. The entry porch is arched and has a small balustrade on the roof.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: May 31, 2022
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

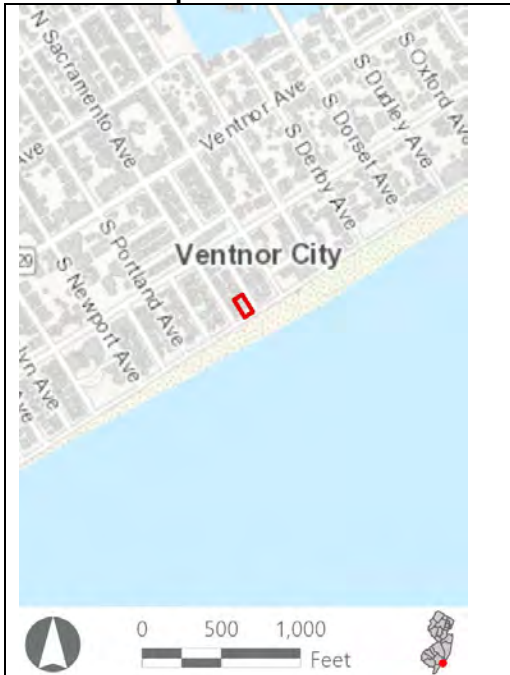


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

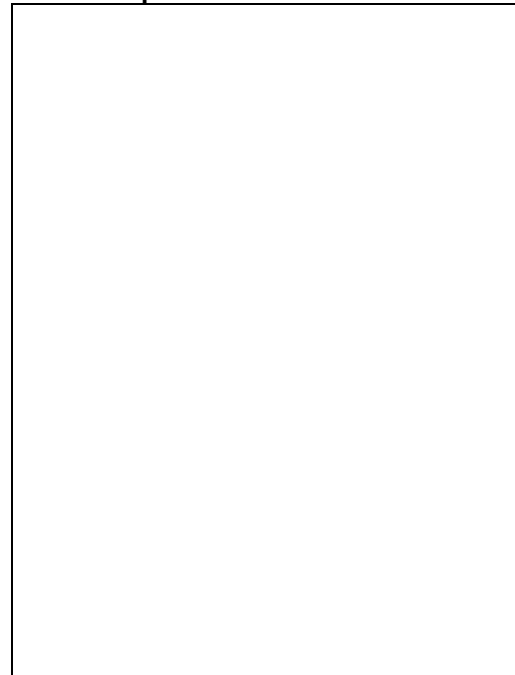
ELIGIBILITY WORKSHEET

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: Ventnor City Fishing Pier

Street Address: Street #: N/A (Low) N/A (High) Apartment #: N/A (Low) N/A (High)

Prefix: N/A Street Name: Cambridge Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08406

Municipality(s): Ventnor City **Block(s):** 500

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Public **USGS Quad(s)** Atlantic City

Description: The Ventnor City Fishing Pier is an approximately 990-foot-long wooden pier supported by wooden posts and features metal railings, benches, cleaning tables, lighting, and a pier house.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

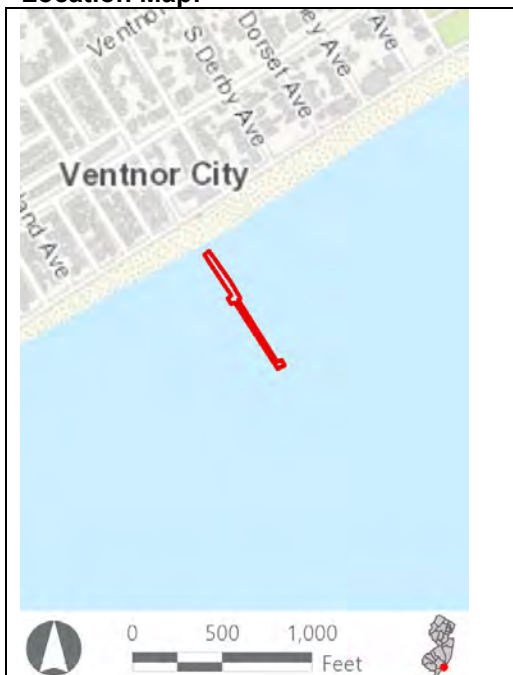


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources:

NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Smith, Sarah Thompson. 1963. The History of Ventnor, New Jersey. Available at <https://downbeachbuzz.com/wp-content/uploads/2015/11/History-Of-Ventnor.pdf> (Accessed February 2023).

Ventnor City, New Jersey. 2022. The History of Ventnor City. Available at: <https://www.ventnorcity.org/the-history-of-ventnor-city> (Accessed August 2022).

Ventnor City. 2022. Fishing Pier. Available at <https://www.ventnorcity.org/departments/FishingPier/fishing-pier> (Accessed October 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included:

☐ Building ☒ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District?

☐ Yes ☒ No

Status:

☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

STRUCTURE ATTACHMENT

Historic Sites #:

Common Name:	<u>Ventnor City Fishing Pier</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Recreational and Entertainment Activity, Active recreation</u>		
Historic Use:	<u>Recreational and Entertainment Activity, Active recreation</u>		
Construction Date:	<u>1963</u>	Source:	<u>Ventnor City, 2022.</u>
Alteration Date(s):	<u>2017</u>	Source:	<u>Ventnor City, 2022.</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Excellent</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Type:	<u>Other</u>		
Roof Finish Materials:	<u>N/A</u>		
Exterior Finish Materials	<u>Wood, Plank</u>		

Exterior Description: The Ventnor City Fishing Pier is an approximately 1,000-foot-long wooden pier supported by wooden posts. The pier features metal railings, as well as benches, cleaning tables, and modern lighting. A modern pier house is located near the entrance of the pier and is clad in vinyl siding and capped by a hip roof covered in standing seam metal. The roof features shed-roof dormers. The pier underwent extensive renovations in 2017.

Interior Description: N/A

Setting: The Ventnor City Fishing Pier extends approximately 990 feet from the boardwalk into the Atlantic Ocean. As the pier was constructed primarily for fishing, there are full and unobstructed views to the Atlantic Ocean from the pier. Historic aerial imagery shows the southern part of Ventnor City fully developed by 1920, with development north of the Inside Thorofare through the first half of the twentieth century, culminating in the present-day level of development by the 1960s. Today, portions of the northern part of the city remain undeveloped marshland, and the rest of the city mainly consists of private developments and enclaves. Ventnor City remains a popular summer resort (NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The Ventnor City Pier was constructed in 1963 and was the fourth pier built at this site. It is the longest fishing pier in New Jersey. The pier underwent extensive renovations in 2017.

Ventnor City is in Atlantic County and is situated on Absecon Island south of Atlantic City and north of Margate. Ventnor City remained undeveloped hills and meadows through most of the nineteenth century, even while Atlantic City and South Atlantic City (present-day Margate) grew and developed in the mid- and late-nineteenth century. In 1881, the Camden and Atlantic Railroad connected Atlantic City to Margate through Ventnor, requiring the grading of many of the hills in the area. In 1888, the Camden and Atlantic Land Company built a train station in Ventnor City, providing direct passenger access to the area for the first time. The land company subsequently built three cottages. The name "Ventnor" was chosen in 1889, referencing the seaside resort in Ventnor, England (Smith, 1963).

By the turn of the twentieth century, the lowland marshes in Ventnor were filled, and Ventnor had several houses, a post office, and a few additional buildings. In 1900, the county built the Longport Speedway, a gravel road connecting Atlantic City to Longport through Ventnor. Ventnor City was officially incorporated in 1903. Following incorporation, the city continued to develop, adding additional houses, bath houses, a newspaper, a boat works, a pharmacy, and a boardwalk over the next decade. The twentieth century saw increased development, solidifying Ventnor City as a popular summer resort (Smith, 1963; Ventnor City, 2022).

Significance: The resource retains sufficient integrity to convey its significance under Criterion A for its association with the Maritime History of Ventnor City.

**Eligibility for New Jersey
and National Registers:**

☒ Yes

☐ No

National

Register Criteria:

☒ A

☐ B

☐ C

☐ D

Level of Significance

☒ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Repair and replacement of historic materials is an inherent characteristic of wood piers and the Ventnor City Pier retains its integrity of design, location, association, and feeling despite the loss of historic fabric.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Ventnor City Fishing Pier Structure Form

Narrative Boundary Description: The Ventnor City Fishing Pier extends approximately 990 feet from the boardwalk into the Atlantic Ocean.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: Vassar Square Condominiums

Street Address: Street #: 4800 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Boardwalk Suffix: N/A Type: N/A

County(s): Atlantic **Zip Code:** 08406

Municipality(s): Ventnor City **Block(s):** 1

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Atlantic City

Photograph:



Description: The Vassar Square Condominiums are sited in a high-rise brick and glass clad 20-story building located directly on the Boardwalk. Construction on the building began in 1968 and originally contained apartments. Following the real estate boom in the region in the 1970s, the building was converted into condominiums, the first high-rise building to make that conversion on the Ventnor Boardwalk. The building is recommended eligible for the NRHP under Criterion C for its architecture. The building exhibits elements of Modern architecture including the cantilevered curved balconies with glass railings, and curved columns.

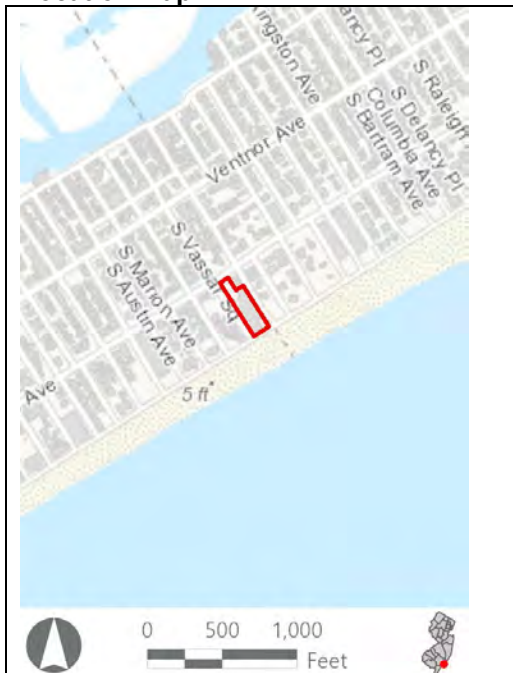
Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: September 1, 2021
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: BOEM-Determined
Determination of Eligibility: _____ Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: George A. Redding Bridge (SI&A # 0506150)

Street Address: Street #: N/A N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: NJ Route 47 Suffix: N/A Type: N/A

County(s): Cape May **Zip Code:** 08260

Municipality(s): Wildwood City **Block(s):** N/A

Local Place Name(s): N/A **Lot(s):** N/A

Ownership: Public **USGS Quad(s)** Cape May

Photograph:



Description: The George A. Redding Bridge was dedicated on July 27, 1950 and connects the mainland to Wildwoods barrier island. The bridge is a single-span Bascule bridge with the lift consisting of steel grate and the approaches covered in asphalt. The superstructure of the bridge consists of steel girders resting on poured concrete piers and abutments. The gate keeper houses are designed with Art Deco elements, and the bridge features sidewalks with poured concrete and metal railings on both sides of the road.

Registration and Status Dates: National Historic Landmark: _____

SHPO Opinion: April 12, 2018

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

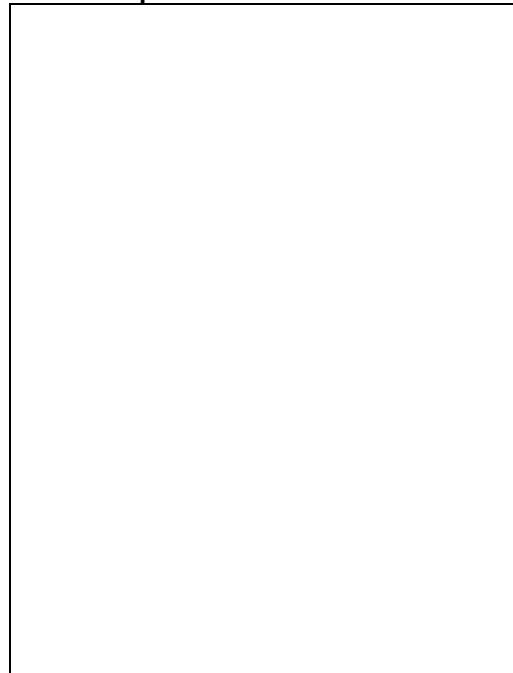
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: U.S. Life Saving Station No. 14

Street Address: Street #: N/A N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Central Suffix: N/A Type: AVE

County(s): Ocean **Zip Code:** 08752

Municipality(s): Berkeley Township **Block(s):** 1750

Local Place Name(s): Island Beach State Park **Lot(s):** 1

Ownership: Public **USGS Quad(s)** Seaside Park

Photograph:



Description: The U.S. Lifesaving Station No. 14 was constructed in 1894 as a rescue station by the United States Life Saving Service. The building is significant for its architecture under Criterion C and Under Criterion A its association as a life saving station for commerce and transportation.

Registration and Status Dates: National Historic Landmark: _____

National Register: January 30, 1978

New Jersey Register: _____

Determination of Eligibility: _____

SHPO Opinion: _____

Local Designation: _____

Other Designation: _____

Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

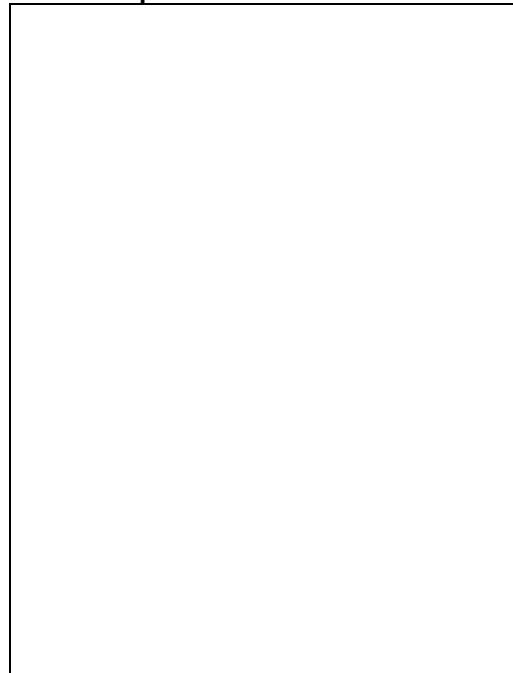
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Property Name:	Missouri Avenue Beach						
Street Address:	Street #:	N/A	N/A	Apartment #:	N/A	N/A	
		(Low)	(High)		(Low)	(High)	
Prefix:	N/A	Street Name:	Boardwalk	Suffix:	N/A	Type:	N/A
County(s):	Atlantic			Zip Code:	08401		
Municipality(s):	Atlantic City			Block(s):	1		
Local Place Name(s):	N/A			Lot(s):	83 and 92		
Ownership:	Public			USGS Quad(s)	Atlantic City		

Description: Missouri Avenue Beach is an expanse of beach bounded by the Playground Pier on the east, the Boardwalk on the north, and the Kennedy Plaza to the northwest. The beach is the widest on the east adjacent to the pier and tapers toward its west end. Restoration projects since the 1990s have converted a strip of the sand on the ocean side of the Boardwalk into a dune that is traversed by wood-plank ramps to maintain public access to the beach from the boardwalk. Aside from a non-historic wood frame arch with the name "Missouri Avenue Beach," there are no structures currently associated with the beach.

Registration and Status Dates:	National Historic Landmark:	SHPO Opinion:
	National Register:	Local Designation:
	New Jersey Register:	Other Designation:
	Determination of Eligibility:	Other Designation Date:

Photograph:



Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Bear, C. 2019. *Keeping the History of African American Tourism Alive in Atlantic City's Northside*. National Trust for Historic Preservation. January 19, 2019. Available at <https://savingplaces.org/stories/keeping-the-history-of-african-american-tourism-alive-in-atlantic-citys-northside#.Y0g0s9fMldU> (Accessed October 2022).

Chicken Bone Beach Historical Foundation, Inc. 2022. *Chicken Bone Beach in Atlantic City: Our History*. Available at <https://chickenbonebeach.org/history/> (Accessed October 2022).

Historic American Buildings Survey. HABS No. NJ-1161. Atlantic City Boardwalk, Beachfront between Fredericksburg & Maine Avenues, Atlantic City, Atlantic County, NJ. Library of Congress Prints and Photographs Division Washington, D.C. Available at <https://tile.loc.gov/storage-services/master/pnp/habshaer/nj/nj1400/nj1459/data/nj1459data.pdf> (Accessed December 2022).

PBS. 2019. *State of the Arts: Chicken Bone Beach Jazz*. Available at <https://www.pbs.org/video/chicken-bone-beach-jazz-f59gkj/> (Accessed October 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

ELIGIBILITY WORKSHEET

Historic Sites #:

History: From the end of the 1920s to the 1960s, Missouri Avenue Beach was effectively Atlantic City's official Black beach. African Americans were discouraged, to the point of effective exclusion, from enjoying the city's beaches, Boardwalk, hotels, and eating establishments outside of formally designated places, times of day, or times of the year. African American members of the Atlantic City Beach Patrol were assigned exclusively to what locals came to call Chicken Bone Beach. What started as a derogatory name was in time adopted by some as a demonstration of pride for their beach. During this time, the Northside neighborhood grew as a popular black entertainment district known for its music scene at Black-owned nightclubs like Club Harlem. Both Black tourists and celebrities who came for the city's nightlife spent their days at Missouri Avenue Beach (HABS No. NJ-1161; Bear, 2019; PBS, 2019; CBB 2022).

Significance: The resource appears to meet Criterion A in the area of Black Heritage for its association with Atlantic City's African American community in the early to mid-twentieth century and appears to be the only resource with that association along the city's Boardwalk.

**Eligibility for New Jersey
and National Registers:**

☒ Yes

☐ No

National

Register Criteria:

☒ A

☐ B

☐ C

☐ D

Level of Significance

☒ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: While there are no extant buildings and there has been some dune restoration, overall, the resource retains integrity of location, feeling, association, and setting. While there are no extant buildings and there has been some dune restoration, overall, the resource retains integrity of location, feeling, association, and setting.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Narrative Boundary Description: A city tax map dated 1997 shows that the beach is divided among 10 parallel tax parcels bound by the beach owned by the Playground Pier on the east and land reserved for the Kennedy Plaza on the west. All parcels are owned by the city.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: Rivera Apartments

Street Address: Street #: 116 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: Raleigh Suffix: N/A Type: AVE

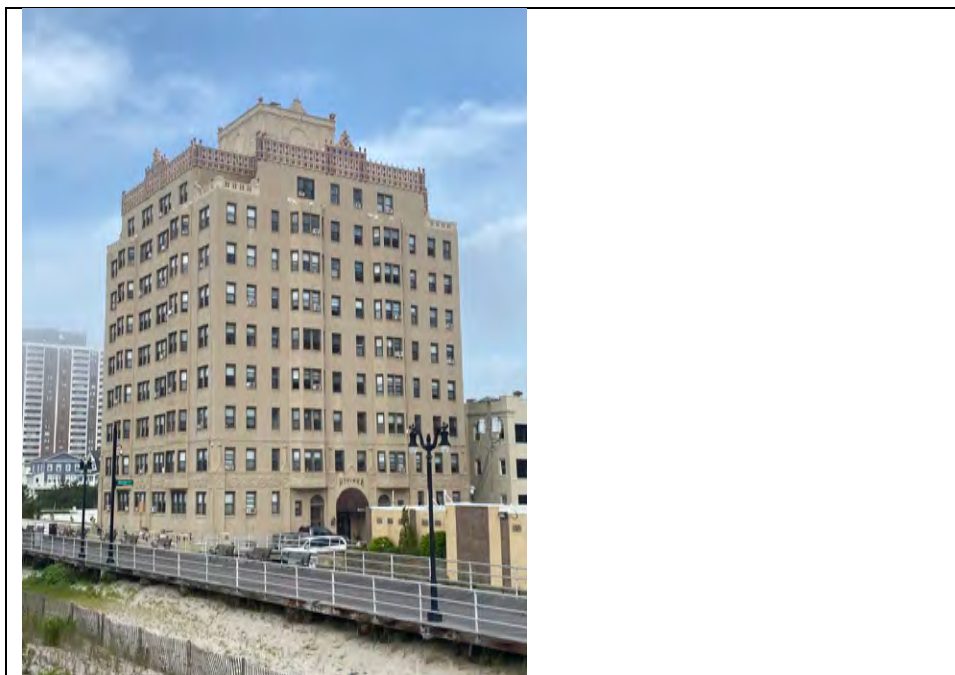
County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 11

Local Place Name(s): N/A **Lot(s):** 6

Ownership: Private **USGS Quad(s)** Atlantic City

Photograph:



Description: The Riviera Apartments building was designed by architect Henry Sternfeld and was constructed between 1929-30. The building has been determined eligible for the NRHP by the NJHPO under Criterion C for its Spanish and Art Deco-style architecture.

Registration and Status Dates: National Historic Landmark: _____

National Register: _____

New Jersey Register: _____

Determination of Eligibility: _____

SHPO Opinion: May 31, 2022

Local Designation: _____

Other Designation: _____

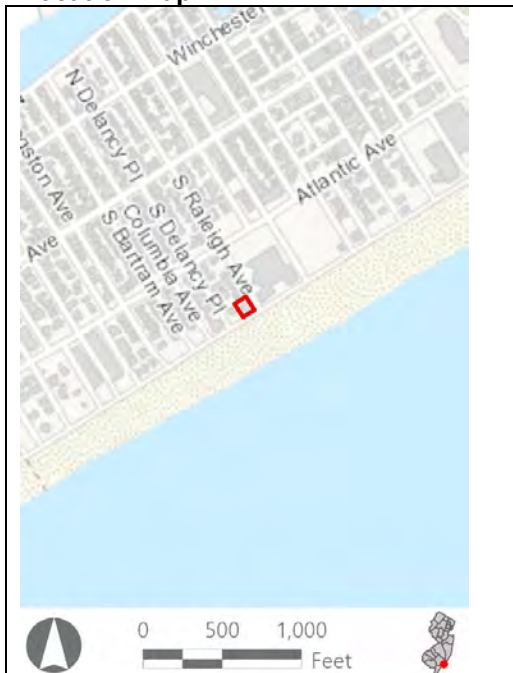
Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

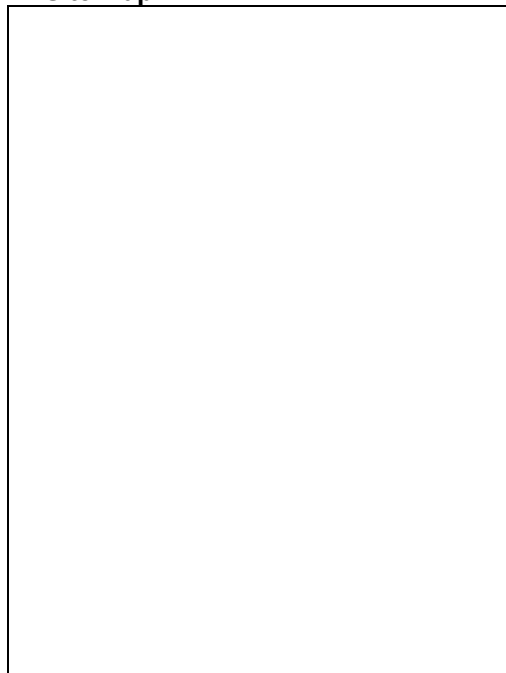
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: Trylon Motel

Street Address: Street #: 1200 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: JFK Suffix: N/A Type: DR

County(s): Cape May **Zip Code:** 08260

Municipality(s): Wildwood City **Block(s):** 414

Local Place Name(s): N/A **Lot(s):** 6

Ownership: Private **USGS Quad(s)** Cape May

Photograph:



Description: The Trylon Motel was constructed c.1959 and is identified as a contributing resource to the Motels of the Wildwoods MPDF. NJHPO determined the building eligible for the NRHP in 2022 under Criterion A and C.

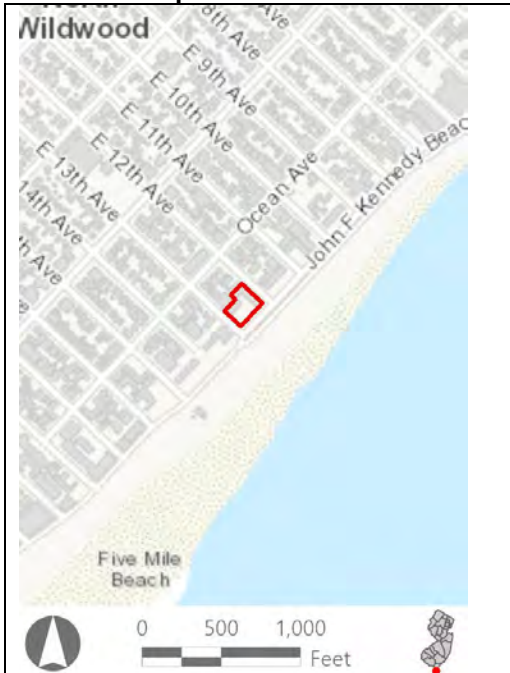
Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: May 31, 2022
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

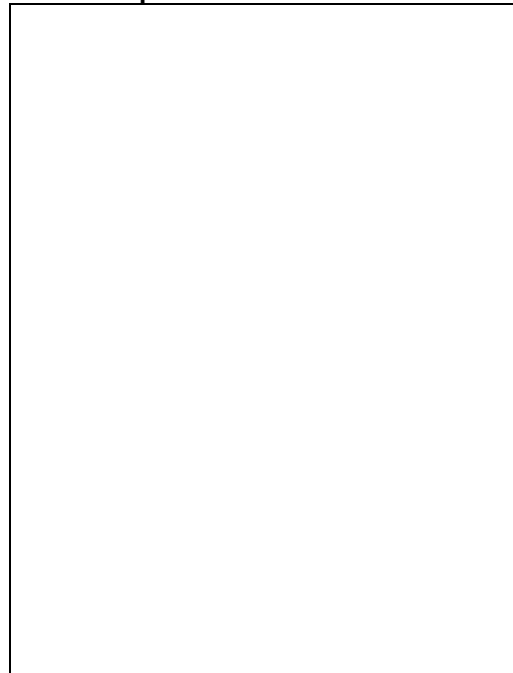
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: Clairidge Hotel

Street Address: Street #: 120 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: Indiana Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 46

Local Place Name(s): N/A **Lot(s):** 4

Ownership: Private **USGS Quad(s)** Atlantic City

Photograph:



Description: The Clairidge Hotel is a 24-story hotel constructed in 1930 and is significant under Criterion C as an excellent example of a Georgian Revival-style high-rise hotel on the New Jersey shore.

Registration and Status Dates: National Historic Landmark: _____

National Register: _____

New Jersey Register: _____

Determination of Eligibility: _____

SHPO Opinion: May 31, 2022

Local Designation: _____

Other Designation: _____

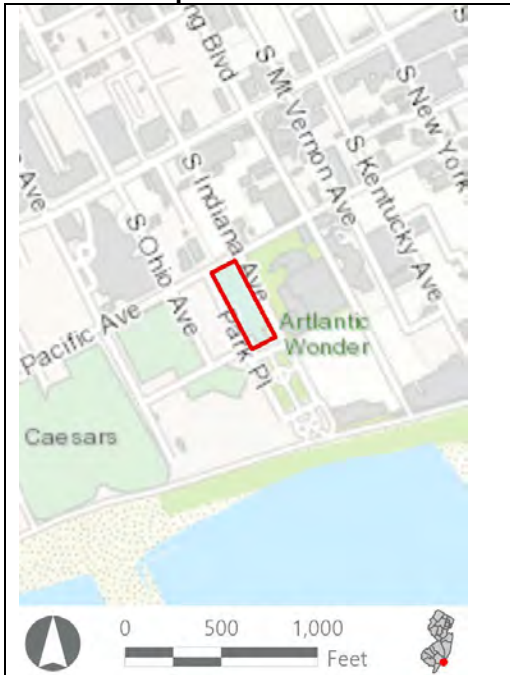
Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

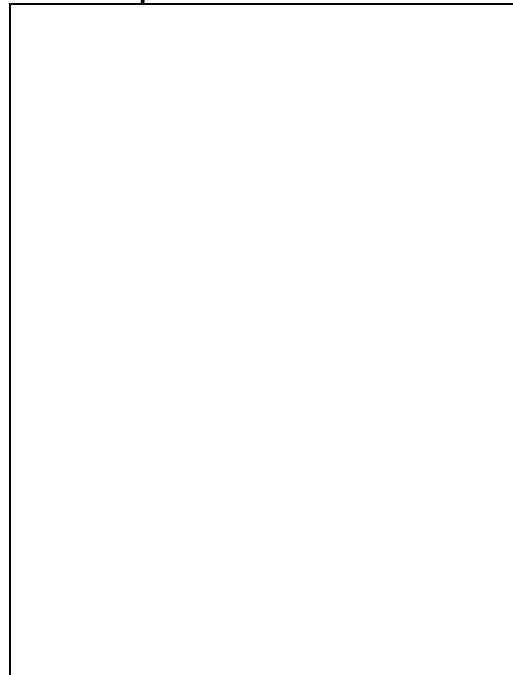
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: Central Pier

Street Address: Street #: 1400 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Boardwalk Suffix: N/A Type: N/A

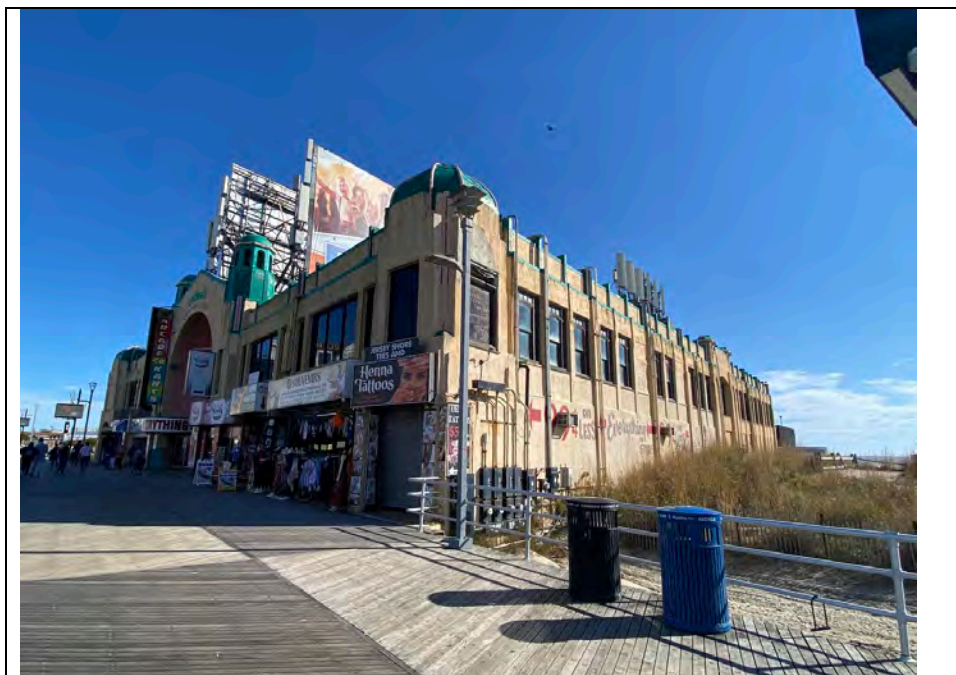
County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 1

Local Place Name(s): N/A **Lot(s):** 125

Ownership: Private **USGS Quad(s)** Atlantic City

Photograph:



Description: Central Pier is a two-story, seven-bay building located on the Atlantic City beach adjacent to the boardwalk. The pier is significant for its association with recreation and entertainment on the Atlantic City boardwalk under Criterion A and also for its architecture under Criterion C.

Registration and Status Dates: National Historic Landmark: _____

National Register: _____

New Jersey Register: _____

Determination of Eligibility: _____

SHPO Opinion: May 31, 2022

Local Designation: _____

Other Designation: _____

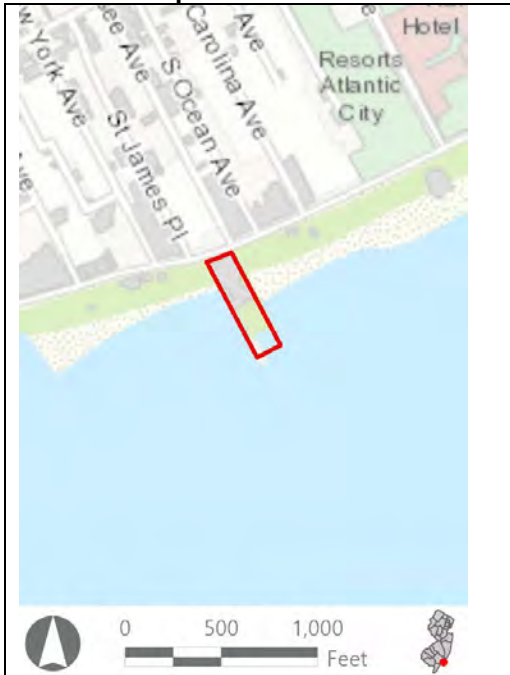
Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

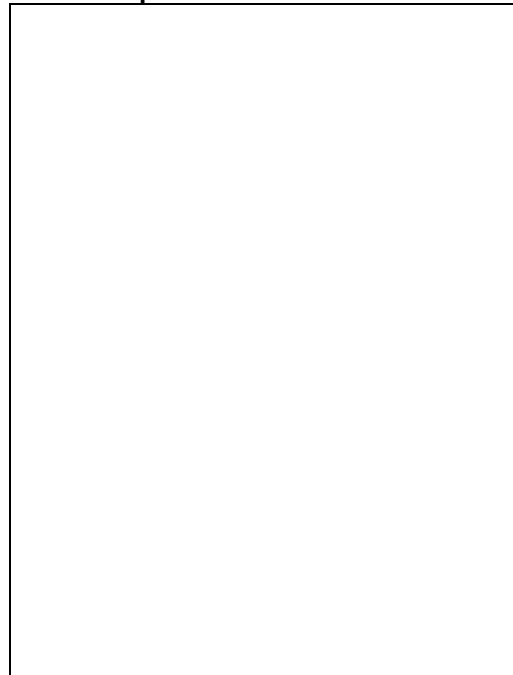
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: Le Sabre Condominiums

Street Address: Street #: 510 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: 8th Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08260

Municipality(s): Wildwood City **Block(s):** 418.06

Local Place Name(s): N/A **Lot(s):** 107

Ownership: Private **USGS Quad(s)** Cape May

Photograph:



Description: The Le Sabre Condominiums was constructed in the late 1960s and is identified as a contributing resource to the Motels of the Wildwoods MPDF. NJHPO determined the building eligible for the NRHP in 2022 under Criterion A and C.

Registration and Status Dates: National Historic Landmark: _____

National Register: _____

New Jersey Register: _____

Determination of Eligibility: _____

SHPO Opinion: September 1, 2021

Local Designation: _____

Other Designation: _____

Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023

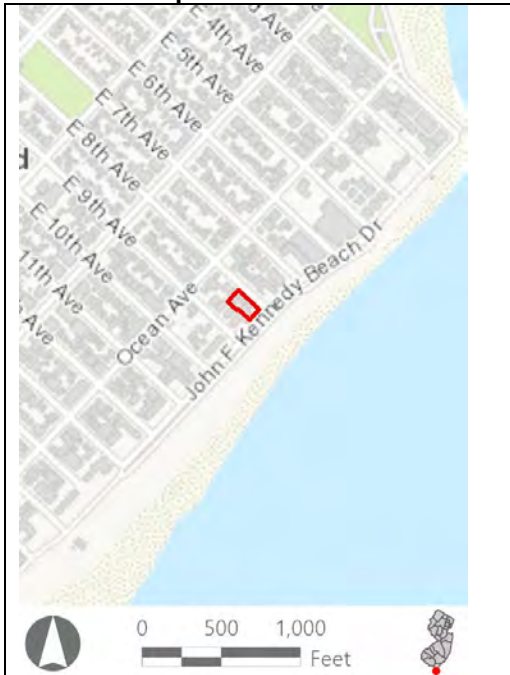
Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

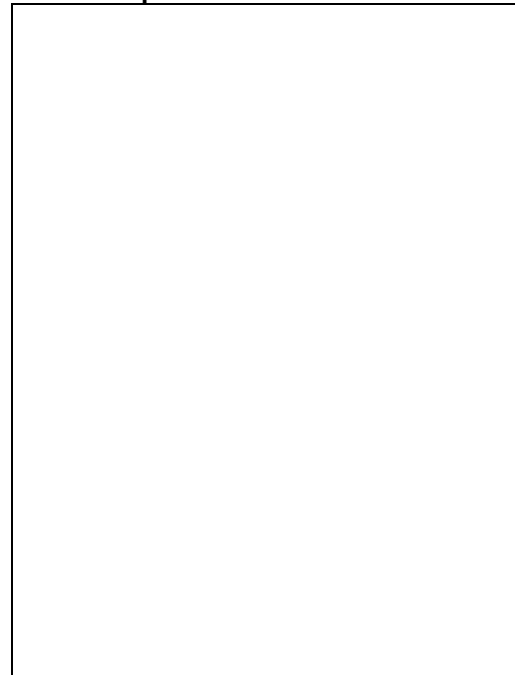
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: European Motel

Street Address: Street #: 300 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Suffix: N/A Type: AVE

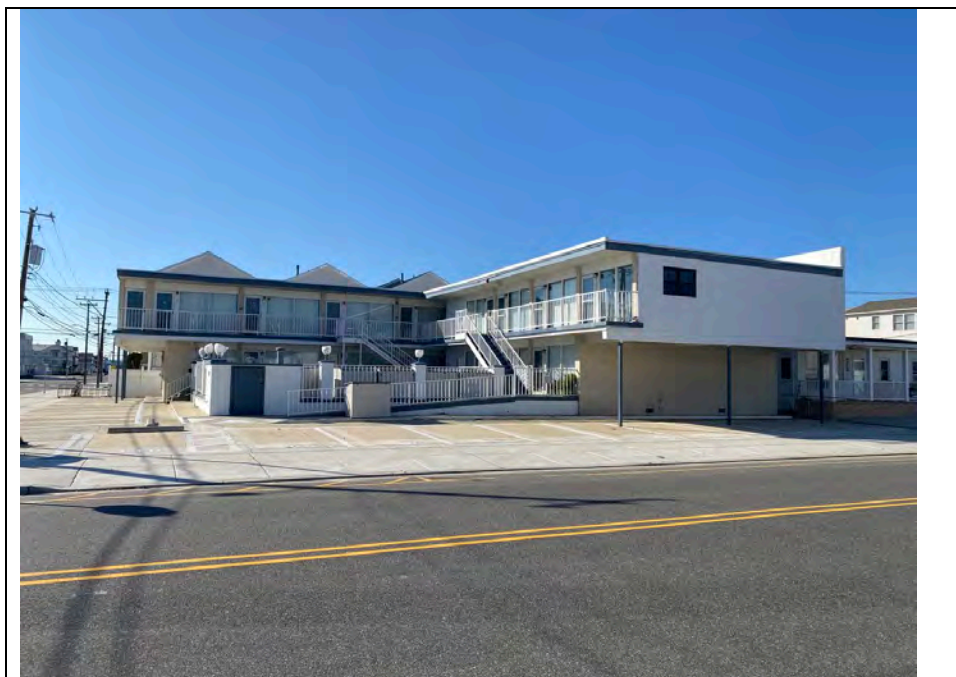
County(s): Cape May **Zip Code:** 08260

Municipality(s): Wildwood City **Block(s):** 323

Local Place Name(s): N/A **Lot(s):** 9

Ownership: Private **USGS Quad(s)** Atlantic City

Photograph:



Description: The European Motel was constructed c. 1960 and is identified as a contributing resource to the Motels of the Wildwoods MPDF. NJHPO determined the building eligible for the NRHP in 2022 under Criterion A and C.

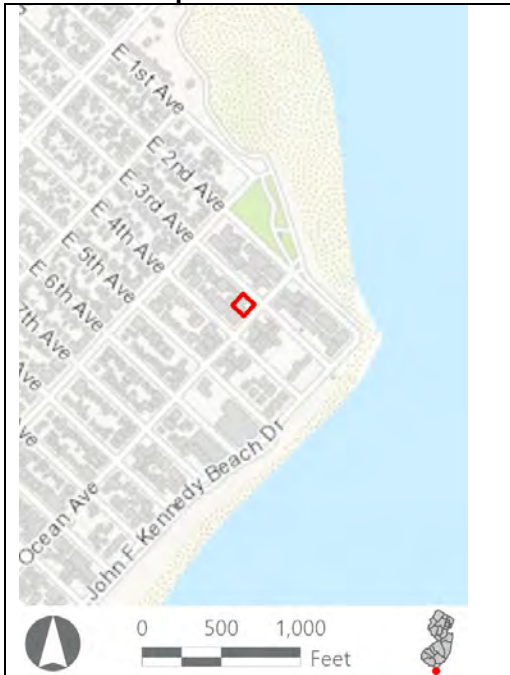
Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

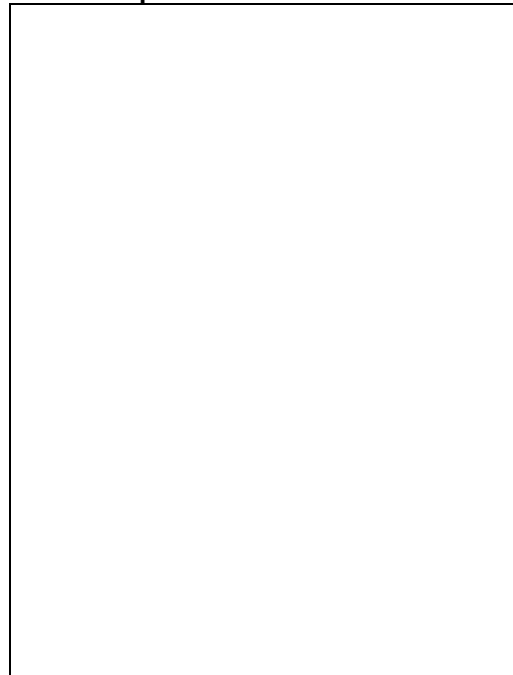
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: Beach Hugger Motel (ex Al Sann)

Street Address: Street #: 210 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08260

Municipality(s): Wildwood City **Block(s):** 324

Local Place Name(s): N/A **Lot(s):** 7

Ownership: Private **USGS Quad(s)** Atlantic City

Photograph:



Description: The Beach Hugger Motel (ex Al Sann) is identified as a contributing resource to the Motels of the Wildwoods MPDF. NJHPO determined the building eligible for the NRHP in 2022 under Criterion A and C.

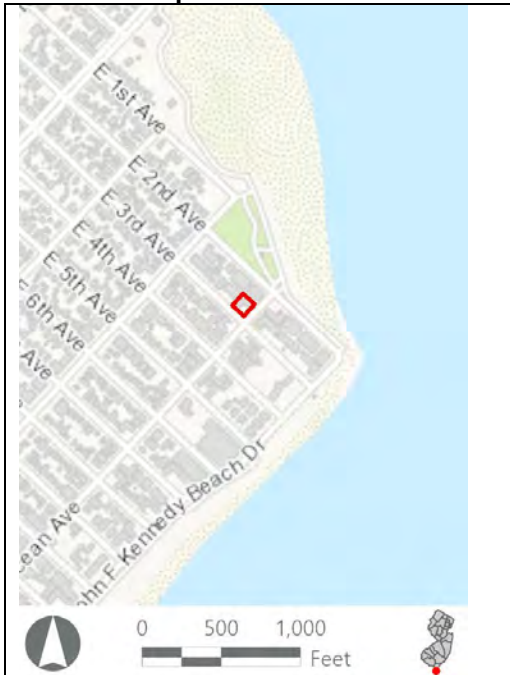
Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

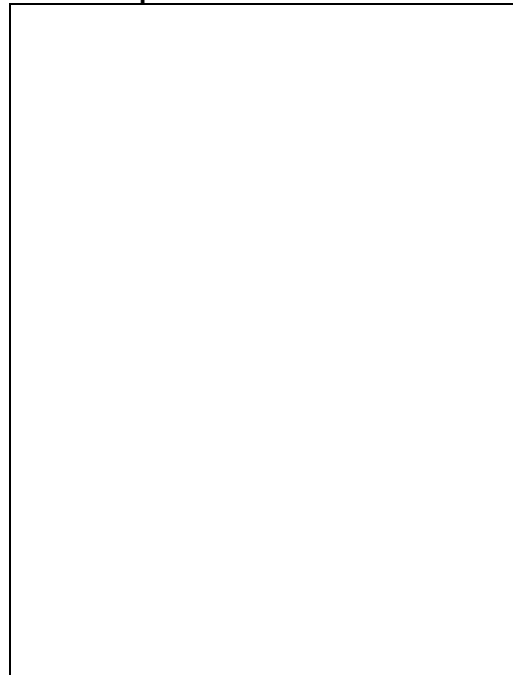
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: Athens II Motor Inn

Street Address: Street #: 201 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08260

Municipality(s): North Wildwood City **Block(s):** 424

Local Place Name(s): N/A **Lot(s):** 2

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The Athens II Motor Inn is four-story L-shaped brick and concrete motel with a mansard roof, continuous balconies at each upper floor, and a prominent rooftop sign. The building's L-shaped massing wraps around an outdoor swimming pool at grade. The Athens II Motor Inn is identified as a contributing resource to the Motels of the Wildwoods MPDF.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

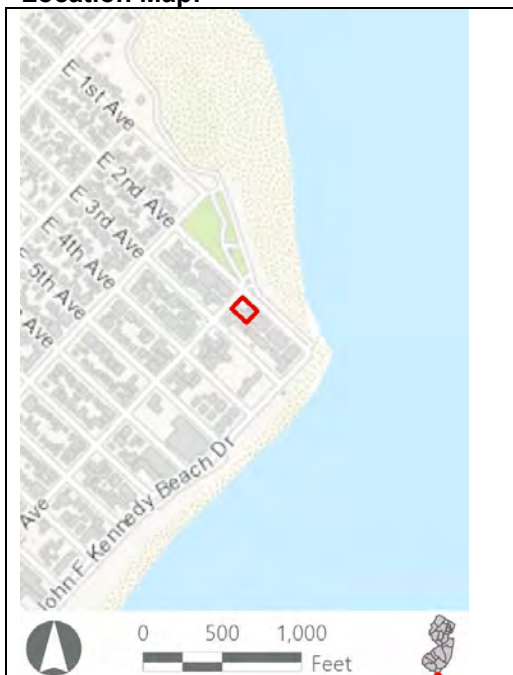


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed January 2023).

Oldpostcards.com. 1980. "Athens II North Wildwood, New Jersey Postcard." Available at https://www.oldpostcards.com/uspostcards/new-jersey/north-wildwood-nj_zz_13173-athens-ii.html#gallery-1 (Accessed February 2023).

Visit NJ Shore. 2022. The History of North Wildwood City, NJ. Available at <https://www.visitnjshore.com/north-wildwood/history/> (Accessed August 2022).

Zerbe, N.L., S.M. Hoagland, and K.D. Murphy. 2004. Motels of the Wildwoods. National Register of Historic Places Multiple Property Documentation Form. U.S. Department of the Interior, National Park Service. March 25, 2004.

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>Athens II Motor Inn</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Transient, nonfamily</u>		
Historic Use:	<u>Residential Activity, Transient, nonfamily</u>		
Construction Date:	<u>ca. 1970</u>	Source:	<u>NETR</u>
Alteration Date(s):	<u>post-1980</u>	Source:	<u>Oldpostcards.com</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Commercial</u>	Stories:	<u>4</u>
Type:	<u>N/A</u>	Bays:	<u>6</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Stucco</u>		

Exterior Description: The Athens II Motor Inn is a four-story L-shaped motel with a mansard roof clad in asphalt shingle. The primary elevation faces northeast to East Second Avenue across an outdoor swimming pool at grade. The northeast-facing elevations are characterized by continuous balconies at each upper floor supported on concrete beams and brick-clad columns, which divide the elevations into structural bays. Generally, one motel room occupies each structural bay, with a large window and door leading to the balconies. One bay in the northern volume of the building is occupied by an open-air stair. A non-historic elevator enclosure is located at the inside corner of the "L". At the northeast-facing elevations, the first-story exterior walls are clad in brick while the upper floors have a rough stucco finish. The south- and west-facing elevations have stucco finishes and fewer windows. A prominent rooftop sign reads, "Athens II" and additional signage is applied to the building's northwest elevation.

Interior Description: N/A

Setting: The Athens II Motor Inn occupies a corner lot across East Second Avenue from a public beach at the mouth of Hereford Inlet, in a densely built part of North Wildwood City exhibiting a grid pattern of development. Nearby buildings are primarily mid-twentieth-century motels along with two-story to five-story condominiums of the late twentieth and early twenty-first centuries. The Athens II Motor Inn is surrounded by paved parking and concrete sidewalks.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: North Wildwood City is in Cape May County north of Wildwood City on the Atlantic coast barrier island known as Five Mile Beach. The area was used as a fishing, herding, and whale processing locale during the seventeenth and eighteenth centuries and did not have any permanent settlement until the village of Anglesea was established by Swedish fishermen around 1870. The hazardous conditions at the Hereford Inlet at the north end of the island prompted the construction of the Hereford Lighthouse, completed in 1874. A rail line was established between Cape May Courthouse and Anglesea in 1884, which, along with the Rio Grand bridge, made the island more accessible from the mainland. Shortly after, in 1885, Anglesea was designated a borough. The community was renamed North Wildwood in 1906 to capitalize on the tourist trade that was booming in their neighbor to the south. Within eleven years the municipality grew large enough to be designated as a city. The area's economic base is commercial with an emphasis on tourism, including hotels and boardwalk attractions (History of North Wildwood, NJ, 2022). With the construction of the Garden State Parkway beginning in the late 1940s, new accommodations for highway travelers changed some of the architectural character of Jersey Shore vacation spots. As the *Motels of the Wildwoods* Multiple Property Documentation Form (MPDF; 64500880) notes:

The architects and builders in The Wildwoods worked to bring the high-style architecture of Florida down to an "everyman's" level. ... Many of the most fantastical motels are constructed of simple concrete block walls and then use wood framing to create the modern appendages such as butterfly roofs, angled walls and porte-cocheres that match the stylistic designs conjured by the exotic names of the motels.

Although much of North Wildwood City was densely developed in the early postwar period, the block upon which the Athens II Motor Inn was built remained undeveloped until after 1970. The building's fourth floor and mansard roof were added after 1980.

Significance: Based on exterior analysis only, the Athens II Motor Inn satisfies the registration requirements set forth in the *Motels of the Wildwoods* MPDF and appears to meet Criterion A for its association with tourism in the Wildwoods and Criterion C as an example of a Populuxe motel defined by the MPDF.

**Eligibility for New Jersey
and National Registers:**

☒ Yes

☐ No

National

Register Criteria:

☒ A

☐ B

☒ C

☐ D

Level of Significance

☒ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Although altered with the addition of a fourth floor and mansard roof, the Athens II Motor Inn satisfies the registration requirements set forth in the *Motels of the Wildwoods* MPDF, namely, it was built during the period of significance, was constructed as a motel, has a continuous balcony along the exterior supported by beams, an L-shaped footprint, on-site parking, a distinctive illuminated sign, an extended roof overhang, and is constructed of concrete.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C.		

BASE FORM

Historic Sites #:

Property Name: Acacia Beachfront Resort

Street Address: Street #: 9101 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Atlantic Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08260

Municipality(s): Wildwood Crest Borough **Block(s):** 170

Local Place Name(s): N/A **Lot(s):** 1 C0101

Ownership: Private **USGS Quad(s)** Cape May

Description: The Acacia is a four-story, multi-unit residential building and motel with a flat roof on a twin rectangular plan. A concrete grid on the ocean-facing elevation forms a series of balconies for each unit on that side. Side elevations feature additional rows of concrete balconies for the remaining units. The Acacia is identified as a contributing resource to the Motels of the Wildwoods MPDF.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

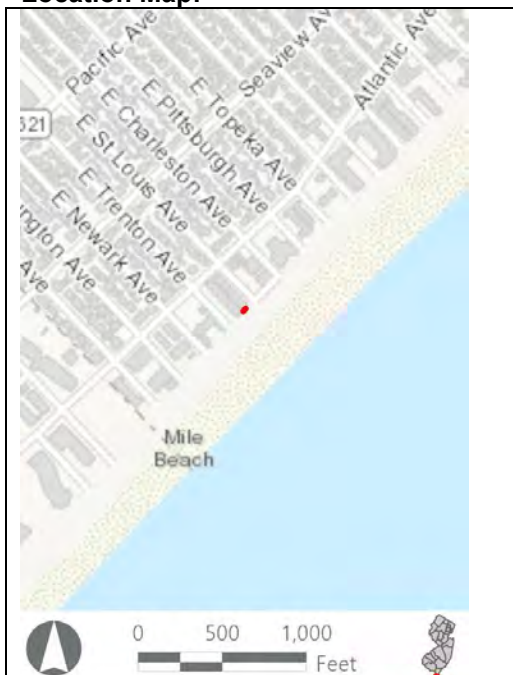


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed January 2023).

Oldpostcards.com. 1980. "Athens II North Wildwood, New Jersey Postcard." Available at https://www.oldpostcards.com/uspostcards/new-jersey/north-wildwood-nj_zz_13173-athens-ii.html#gallery-1 (Accessed February 2023).

Visit NJ Shore. 2022. The History of North Wildwood City, NJ. Available at <https://www.visitnjshore.com/north-wildwood/history/> (Accessed August 2022).

Zerbe, N.L., S.M. Hoagland, and K.D. Murphy. 2004. Motels of the Wildwoods. National Register of Historic Places Multiple Property Documentation Form. U.S. Department of the Interior, National Park Service. March 25, 2004.

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>Acacia Beachfront Resort</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential activity, transient, nonfamily</u>		
Historic Use:	<u>Residential activity, transient, nonfamily</u>		
Construction Date:	<u>1978</u>	Source:	<u>www.njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Fair</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Commercial</u>	Stories:	<u>4</u>
Type:	<u>N/A</u>	Bays:	<u>15</u>
Roof Finish Materials:	<u>Unknown</u>		
Exterior Finish Materials	<u>Concrete</u>		

Exterior Description: The Acacia is a four-story, multi-unit concrete residential building and motel with a flat roof and a narrow rectangular plan. Continuous balconies along the ocean-facing northeast and southeast elevation are supported on concrete beams. On the northeast elevation, the exterior walls of the individual units are angled so that each unit's large picture window is tilted towards the ocean. Open-air parking is located beneath the upper floors along most of the building's length. A pair of porte-cocheres topped by roof decks are located at each end of the building. An in-ground outdoor swimming pool is adjacent to the southeast end. The building also features distinctive signage mounted to the northwest and northeast elevations.

Interior Description: N/A

Setting: The Acacia is located in a residential neighborhood with sidewalks located along the shore. Nearby buildings are primarily mid-twentieth-century motels along with two-story to five-story condominiums of the late twentieth and early twenty-first centuries.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: North Wildwood City is in Cape May County north of Wildwood City on the Atlantic coast barrier island known as Five Mile Beach. The area was used as a fishing, herding, and whale processing locale during the seventeenth and eighteenth centuries and did not have any permanent settlement until the village of Anglesea was established by Swedish fishermen around 1870. The hazardous conditions at the Hereford Inlet at the north end of the island prompted the construction of the Hereford Lighthouse, completed in 1874. A rail line was established between Cape May Courthouse and Anglesea in 1884, which, along with the Rio Grand bridge, made the island more accessible from the mainland. Shortly after, in 1885, Anglesea was designated a borough. The community was renamed North Wildwood in 1906 to capitalize on the tourist trade that was booming in their neighbor to the south. Within eleven years the municipality grew large enough to be designated as a city. The area's economic base is commercial with an emphasis on tourism, including hotels and boardwalk attractions (History of North Wildwood, NJ, 2022). With the construction of the Garden State Parkway beginning in the late 1940s, new accommodations for highway travelers changed some of the architectural character of Jersey Shore vacation spots. As the *Motels of the Wildwoods* Multiple Property Documentation Form (MPDF; 64500880) notes:

The architects and builders in The Wildwoods worked to bring the high-style architecture of Florida down to an "everyman's" level. ... Many of the most fantastical motels are constructed of simple concrete block walls and then use wood framing to create the modern appendages such as butterfly roofs, angled walls and porte-cocheres that match the stylistic designs conjured by the exotic names of the motels.

Although much of North Wildwood City was densely developed in the early postwar period, the block upon which the Athens II Motor Inn was built remained undeveloped until after 1970. The building's fourth floor and mansard roof were added after 1980.

Significance: Based on exterior analysis only, the Acacia satisfies the registration requirements set forth in the *Motels of the Wildwoods* MPDF and appears to meet Criterion A for its association with tourism in the Wildwoods and Criterion C as an example of a Populuxe motel defined by the MPDF.

Eligibility for New Jersey

and National Registers:

☒ Yes

☐ No

National

Register Criteria:

☒ A

☐ B

☒ C

☐ D

Level of Significance

☒ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Appears to retain sufficient exterior integrity.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: Atlantic City Armory

Street Address: Street #: 1008 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Absecon Suffix: N/A Type: BLVD

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 538

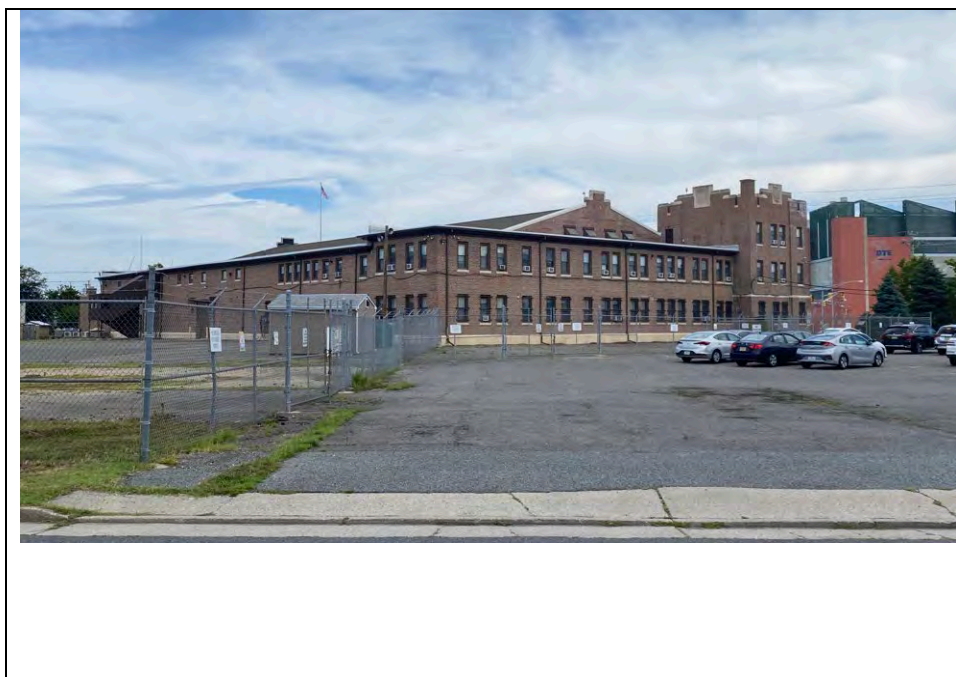
Local Place Name(s): N/A **Lot(s):** 3

Ownership: Private **USGS Quad(s)** Atlantic City

Description: Atlantic City Armory, located at 1008 Absecon Boulevard is a large, two-story, 11-bay, brick building. The primary façade features a stepped parapet above the primary entrance, which is inset with three narrow windows. The primary façade is flanked on both sides by four additional bays which each feature three narrow, vertical windows midway up the façade. The entire primary façade is flanked with two taller, attached structures which feature asymmetrical parapets, and secondary entrances. The southerly façade features two rows of 18 symmetrical, single 1/1 windows. This window pattern continues around the southeasterly side.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: September 10th, 2004
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

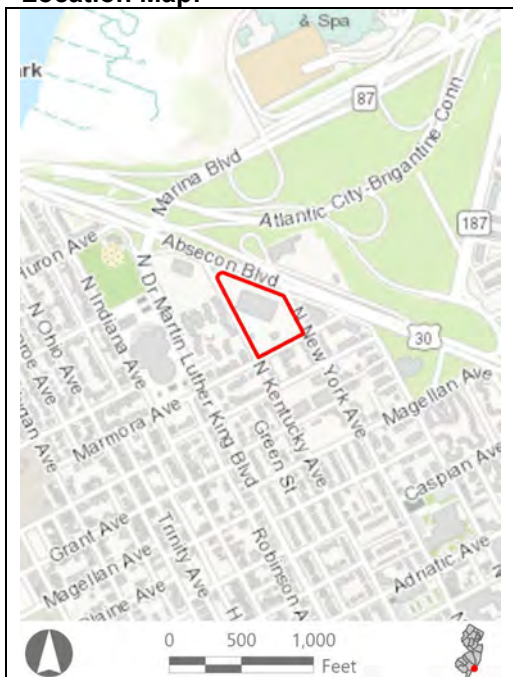


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 419 Carson Avenue

Street Address: Street #: 419 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Carson Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 566

Local Place Name(s): N/A **Lot(s):** 17

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 419 Carson Avenue is a two-story hipped-roof dwelling with wood shingle siding and a one-story shed-roof porch. There is a hipped-roof dormer on the street-facing elevation. The dormer and roof feature exposed rafter tails. The residence is two bays wide and four bays deep with 1/1 sash fenestration. The entrance is in the right bay within the porch. The left bay has a tripartite window with a fixed center sash flanked by 1/1 sash. The porch is simply framed with square posts and a wood deck raised on pilings, without skirting, and a homemade balustrade. The foundation of the house is rusticated CMU.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: May 29, 2017
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

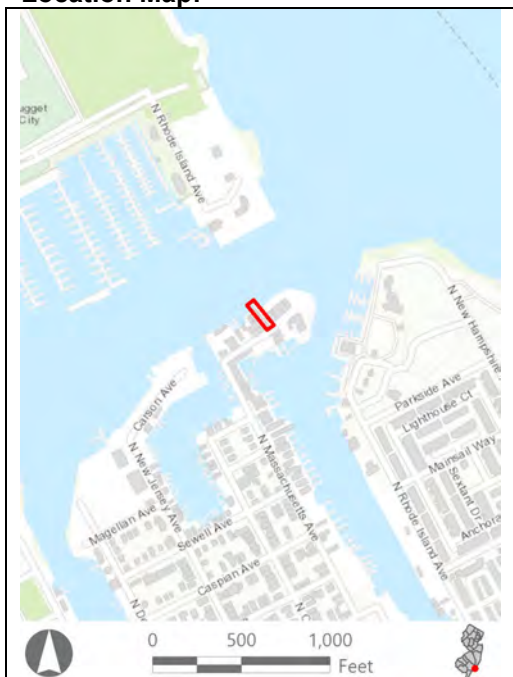


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☐ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☐ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: BARTLETT BUILDING

Street Address: Street #: 1125 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: ATLANTIC Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 298

Local Place Name(s): N/A **Lot(s):** 6

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The Bartlett Building is a seven-story, brick and stone Beaux Arts style commercial building.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

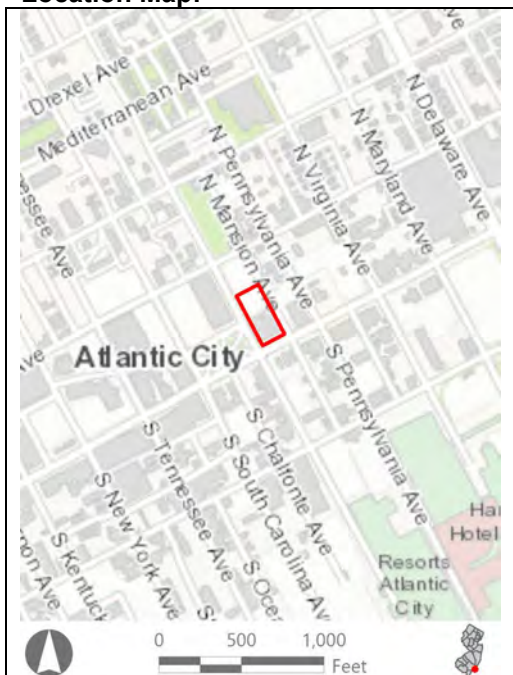


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: April 6, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

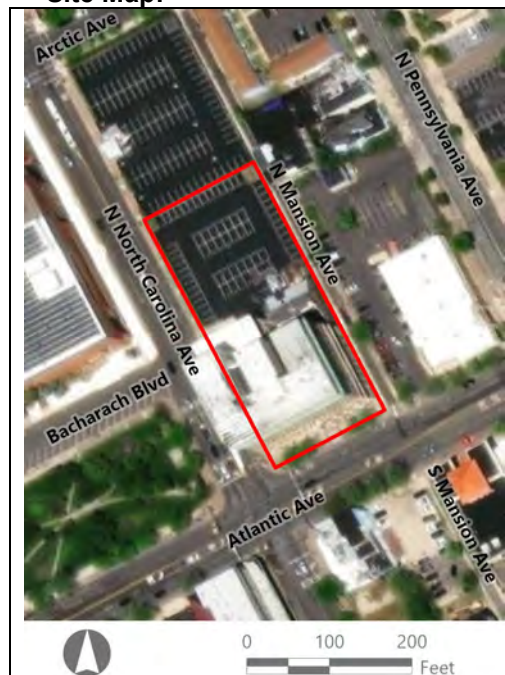
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Experience. 2023. "Prohibition in a Wide Open Town." Available at:

https://www.atlanticcityexperience.org/index.php?option=com_content&view=article&id=12&Itemid=4#the-places (Accessed April 2023).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials*. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: April 6, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>BARTLETT BUILDING</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Commercial Activity</u>		
Historic Use:	<u>Commercial Activity</u>		
Construction Date:	<u>1903</u>	Source:	<u>Atlantic City Experience</u>
Alteration Date(s):	<u>1927</u>	Source:	<u>Atlantic City Experience</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>High</u>
Style:	<u>Beaux Arts</u>		
Form:	<u>Other</u>	Stories:	<u>7</u>
Type:	<u>N/A</u>	Bays:	<u>9</u>
Roof Finish Materials:	<u>Unknown</u>		
Exterior Finish Materials	<u>Brick, Stone</u>		

Exterior Description: The Bartlett Building is a rectangular, seven-story, Beaux Arts style commercial building. The building is seven bays wide and nine bays long. The cladding is brick and stone veneer. The building features a two-story rusticated base with an entablature, as well as a full cornice on the sixth floor. The building has been altered, notably the removal of the original fenestration and corner tower, which was removed when the attic story was added in 1927 (Atlantic City Experience, 2023).

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023). The Bartlett Building is situated about three blocks from the Atlantic Ocean in a commercial district along Atlantic Avenue.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>April 6, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022). The Bartlett Building was built in 1903 as an office building and originally included a tower at the southwest corner which was removed when the seventh floor was added in 1927 (Atlantic City Experience, 2023).

Significance: Based on exterior analysis only, the Bartlett Building appears to meet Criterion C in the area of Architecture as an example of a Beaux Arts style commercial building.

**Eligibility for New Jersey
and National Registers:**

☒ Yes

☐ No

National

Register Criteria:

☐ A

☐ B

☒ C

☐ D

Level of Significance

☒ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Despite the loss of its tower, the Bartlett Building appears to retain a high degree of exterior integrity and continues to be utilized as an office building.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	April 6, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: Fire Station #9

Street Address: Street #: 734 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: Indiana Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 618

Local Place Name(s): **Lot(s):** 1

Ownership: Public **USGS Quad(s)** Atlantic City

Description: The building at 734 North Indiana Avenue is a two-story brick Renaissance Revival-style fire station with a 3-story square tower.

Registration and Status Dates: National Historic Landmark:

SHPO Opinion: 03/29/1981

National Register:

Local Designation:

New Jersey Register:

Other Designation:

Determination of Eligibility: 04/22/1981

Other Designation Date:

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: April 6, 2023

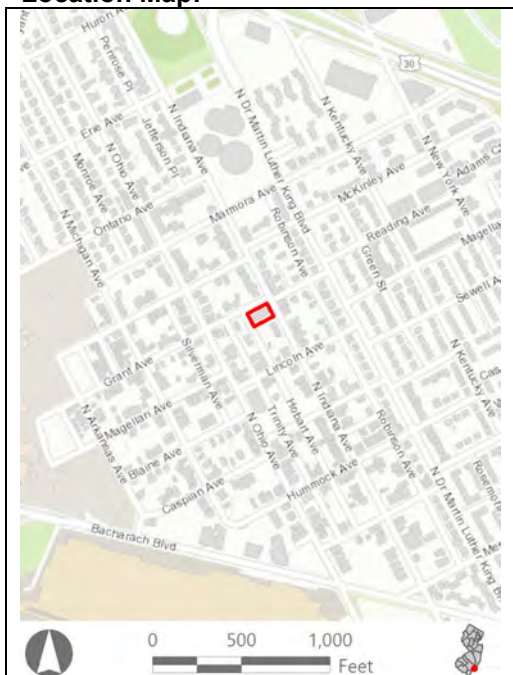
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

Atlantic City Weekly. 2018. "Lookback at Atlantic City Fire Department." Atlantic City Weekly. Available at https://atlanticcityweekly.com/lookback-at-atlantic-city-fire-department/collection_94f0e2c9-cce0-5277-b09d-8061cddea73.html#1 (Accessed March 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: April 6, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: Deputy Chief Pierre Hollingsworth Fire Station / Atlantic City Fire Station 3
Historic Name: Engine Co. 9 / Fire Station #9
Present Use: Institutional activities, government services
Historic Use: Institutional activities, government services
Construction Date: 1909 **Source:** Njmap2.com
Alteration Date(s): **Source:**
Designer: N/A **Physical Condition:** Good
Builder: N/A **Remaining Historic Fabric:** High
Style: Renaissance Revival
Form: Other **Stories:** 2
Type: Other **Bays:** 2
Roof Finish Materials: Asphalt Shingle
Exterior Finish Materials Brick

Exterior Description: The building at 734 North Indiana Avenue is a two-story, two-bay-by-five-bay brick Renaissance Revival-style fire station with a three-story square tower flanked by single-story volumes on the southeast elevation. The hipped roof of the main volume is clad in asphalt shingle while the tower and single-story volumes have flat roofs. The exterior brick features horizontal stringcourses which are more widely spaced at the first floor and more narrowly spaced at the second floor. The primary (southwest) elevation facing North Indiana Avenue has a pair of overhead garage doors at the first floor and paired windows with wrought-iron balcony railings at the second floor. Windows are generally one-over-one or single-light vinyl replacement sash with stone sills and brick headers. The belfry level of the tower features louvered arched openings surmounted by a modillioned sheet copper cornice.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023). The building at 734 North Indiana Avenue is located in a residential neighborhood of two-story row homes and detached residences of the early twentieth century.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: April 6, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Atlantic City suffered devastating fires in 1898 and 1902. The volunteer Atlantic City Fire Department was founded in 1874 and became a paid department in 1904. The building at 734 North Indiana Avenue, then known as Engine Company 9, was built in 1909 in a residential area that developed between about 1900 and 1950 (NETR, 2023). The station shared several design elements with the 1903 Station 3 located at Maryland and Arctic Avenues (Atlantic City Weekly, 2018). The station was renamed as Atlantic City Station 3 in the late twentieth or early twenty-first century.

Significance: Fire Station #9 has been determined eligible for listing in the NRHP by the NJHPO. It appears to meet National Register Criteria A and C in the areas of Community Planning and Development and Architecture for its association with the development of firefighting in Atlantic City and as an example of a Renaissance Revival-style firehouse of the early twentieth century.

**Eligibility for New Jersey
and National Registers:**

☒ Yes

☐ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Fire Station #9 retains sufficient integrity to convey its eligibility under Criteria A and C.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	April 6, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ATTACHMENT K

Architectural Survey Forms: Properties Recommended Not NRHP-Eligible

Attachment K:
Architectural Survey Forms: Properties Recommended Not NRHP-Eligible

Survey ID	Property Name	Address	Municipality	PAPE	Page Number
7835	1808 E RIVERSIDE DR	1808 E RIVERSIDE DR	Atlantic City	O&M	1245
161005	Resource at NJ Parcel 0102_104_1	700 N RHODE ISLAND AVE	Atlantic City	O&M	1305
162889	Resource at NJ Parcel 0102_307_18	113 N CONGRESS AVE	Atlantic City	O&M	1249
163213	Resource at NJ Parcel 0102_310_10	711 ARCTIC AVE	Atlantic City	O&M	1253
162112	Resource at NJ Parcel 0102_312_1	129 N MARYLAND AVE	Atlantic City	O&M	1257
162114	Resource at NJ Parcel 0102_312_2	127 N MARYLAND AVE	Atlantic City	O&M	1261
162890	Resource at NJ Parcel 0102_312_6	121 N MARYLAND AVE	Atlantic City	O&M	1265
161800	Resource at NJ Parcel 0102_312_9	117 N MARYLAND AVE	Atlantic City	O&M	1269
161496	Resource at NJ Parcel 0102_405_6	218 N SOUTH CAROLINA AVE.	Atlantic City	O&M	1273
161853	Resource at NJ Parcel 0102_415_1	822 LEXINGTON AVE	Atlantic City	O&M	1277
163960	Resource at NJ Parcel 0102_432_1	311 N DELAWARE AVE	Atlantic City	O&M	2049
164023	Resource at NJ Parcel 0102_434_1	728 ADRIATIC AVE	Atlantic City	O&M	1281
163775	Resource at NJ Parcel 0102_443_14	362 N PENNSYLVANIA AVE	Atlantic City	O&M	1285
162788	Resource at NJ Parcel 0102_451_2	1226 ADRIATIC AVE	Atlantic City	O&M	1289
162787	Resource at NJ Parcel 0102_451_3	1224 ADRIATIC AVE	Atlantic City	O&M	1293
163791	Resource at NJ Parcel 0102_451_4	1222 ADRIATIC AVE	Atlantic City	O&M	1297
159635	Resource at NJ Parcel 0102_476_19	912 N ARKANSAS AVE	Atlantic City	O&M	1301
164323	Resource at NJ Parcel 0102_541_16	438 N MARYLAND AVE	Atlantic City	O&M	1309
2698	143 -149 S. St. James Place	149 St. James Place	Atlantic City	WTA	9
2944	112 S Texas Avenue	112 S Texas Avenue	Atlantic City	WTA	13
2950	139 S Texas Avenue	139 S Texas Avenue	Atlantic City	WTA	17
3011	242 S Vermont Avenue	242 S Vermont Avenue	Atlantic City	WTA	21
3081	137 S Texas Avenue	137 S Texas Avenue	Atlantic City	WTA	25
3087	116 S Texas Avenue	116 S Texas Avenue	Atlantic City	WTA	29
3140	135 S Texas Avenue	135 S Texas Avenue	Atlantic City	WTA	33
3256	143 S Texas Avenue	143 S Texas Avenue	Atlantic City	WTA	37
3275	145 S Texas Avenue	145 S Texas Avenue	Atlantic City	WTA	41
3292	204 S Vermont Avenue	204 S Vermont Avenue	Atlantic City	WTA	45
3320	109 S California Avnenue	109 S California Avnenue	Atlantic City	WTA	49
3334	114 S Texas Avenue	114 S Texas Avenue	Atlantic City	WTA	53
3422	217 S Metropolitan Avenue	217 S Metropolitan Avenue	Atlantic City	WTA	57
3431	108 Albion Pl.	108 Albion Pl.	Atlantic City	WTA	61
3440	141 S Texas Avenue	141 S Texas Avenue	Atlantic City	WTA	65

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Survey ID	Property Name	Address	Municipality	PAPE	Page Number
3600	162 St. James Pl.	162 St. James Pl.	Atlantic City	WTA	69
3730	147 S Texas Avenue	147 S Texas Avenue	Atlantic City	WTA	73
3765	142 S Tennessee Avenue	142 S Tennessee Avenue	Atlantic City	WTA	77
3788	223 Oriental Avenue	223 Oriental Avenue	Atlantic City	WTA	81
3811	227 S Metropolitan Avenue	227 S Metropolitan Avenue	Atlantic City	WTA	85
3834	205 S Vermont Avenue	205 S Vermont Avenue	Atlantic City	WTA	89
160981	Resource at NJ Parcel 0102_27_6	3211 BOARDWALK	Atlantic City	WTA	93
160983	Resource at NJ Parcel 0102_36_58	2514 PACIFIC AVE	Atlantic City	WTA	97
162210	Resource at NJ Parcel 0102_204_10	4301 ATLANTIC AVE	Atlantic City	WTA	101
159344	Resource at NJ Parcel 0102_565_5	628 CARSON AVE	Atlantic City	O&M	2045
161286	Resource at NJ Parcel 0102_546_15	401 N DELAWARE AVE	Atlantic City	O&M	1369
161288	Resource at NJ Parcel 0102_553_1	559 N DELAWARE AVE	Atlantic City	O&M	1377
161292	Resource at NJ Parcel 0102_553_23	553 N DELAWARE AVE	Atlantic City	O&M	1405
161301	Resource at NJ Parcel 0102_553_22	545 N DELAWARE AVE	Atlantic City	O&M	1397
161307	Resource at NJ Parcel 0102_553_21	745 SEWELL AVE	Atlantic City	O&M	1401
161315	Resource at NJ Parcel 0102_609_1	919 N DR MARTIN LUTHER K	Atlantic City	O&M	1421
162850	Resource at NJ Parcel 0102_589_2	818 N MARYLAND AVE #K	Atlantic City	O&M	1425
162851	Resource at NJ Parcel 0102_589_5	1062 BRIGANTINE BLVD	Atlantic City	O&M	1429
162852	Resource at NJ Parcel 0102_567_1	701 N MARYLAND AVE	Atlantic City	O&M	1433
162853	Resource at NJ Parcel 0102_560_1	827 N MASSACHUSETTS AVE	Atlantic City	O&M	1437
164110	Resource at NJ Parcel 0102_544_13	809 WABASH AVE	Atlantic City	O&M	1345
164309	Resource at NJ Parcel 0102_591_2	1030 SEWELL AVE	Atlantic City	O&M	1441
164311	Resource at NJ Parcel 0102_546_17	403 N DELAWARE AVE	Atlantic City	O&M	1373
164313	Resource at NJ Parcel 0102_541_6	450 N MARYLAND AVE	Atlantic City	O&M	1321
164315	Resource at NJ Parcel 0102_541_7	448 N MARYLAND AVE	Atlantic City	O&M	1325
164316	Resource at NJ Parcel 0102_543_2	806 WABASH AVE	Atlantic City	O&M	1337
164318	Resource at NJ Parcel 0102_541_8	446 N MARYLAND AVE	Atlantic City	O&M	1329
164320	Resource at NJ Parcel 0102_541_9	444 N MARYLAND AVE	Atlantic City	O&M	1333
164322	Resource at NJ Parcel 0102_591_11	1029 CASPIAN AVE	Atlantic City	O&M	1445

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Survey ID	Property Name	Address	Municipality	PAPE	Page Number
164325	Resource at NJ Parcel 0102_591_12	1037 CASPIAN AVE	Atlantic City	O&M	1449
164326	Resource at NJ Parcel 0102_541_17	436 N MARYLAND AVE	Atlantic City	O&M	1313
164634	Resource at NJ Parcel 0102_565_8	555 N NEW JERSEY AVE	Atlantic City	O&M	1453
164639	Resource at NJ Parcel 0102_563_2	610 N NEW JERSEY AVE	Atlantic City	O&M	1457
164640	Resource at NJ Parcel 0102_589_3	732 N MARYLAND AVE #A	Atlantic City	O&M	1461
164667	Resource at NJ Parcel 0102_566_15	423 CARSON AVE	Atlantic City	O&M	1465
164668	Resource at NJ Parcel 0102_566_13	427 CARSON AVE	Atlantic City	O&M	1469
164670	Resource at NJ Parcel 0102_566_10	477 CARSON AVE	Atlantic City	O&M	1473
164672	Resource at NJ Parcel 0102_563_1	600 N NEW JERSEY AVE	Atlantic City	O&M	1477
164681	Resource at NJ Parcel 0102_556_32	537 N NEW JERSEY AVE	Atlantic City	O&M	1481
164686	Resource at NJ Parcel 0102_556_30	535 N NEW JERSEY AVE	Atlantic City	O&M	1485
164691	Resource at NJ Parcel 0102_556_29	531 N NEW JERSEY AVE	Atlantic City	O&M	1489
164694	Resource at NJ Parcel 0102_553_12	560 N NEW JERSEY AVE	Atlantic City	O&M	1389
164696	Resource at NJ Parcel 0102_589_6	814 N VIRGINIA AVE	Atlantic City	O&M	1497
164702	Resource at NJ Parcel 0102_553_11	712 MAGELLAN AVE	Atlantic City	O&M	1385
164704	Resource at NJ Parcel 0102_553_10	714 MAGELLAN AVE	Atlantic City	O&M	1381
164710	Resource at NJ Parcel 0102_556_27	627 SEWELL AVE	Atlantic City	O&M	1505
164711	Resource at NJ Parcel 0102_553_7	722 MAGELLAN AVE	Atlantic City	O&M	1501
164712	Resource at NJ Parcel 0102_553_6	724 MAGELLAN AVE	Atlantic City	O&M	1509
164714	Resource at NJ Parcel 0102_553_5	726 MAGELLAN AVE	Atlantic City	O&M	1417
164717	Resource at NJ Parcel 0102_553_4	728 MAGELLAN AVE	Atlantic City	O&M	1413
164719	Resource at NJ Parcel 0102_553_3	732 MAGELLAN AVE	Atlantic City	O&M	1409
164726	Resource at NJ Parcel 0102_553_2	734 MAGELLAN AVE	Atlantic City	O&M	1393
164753	Resource at NJ Parcel 0102_554_1	740 SEWELL AVE	Atlantic City	O&M	1513
164756	Resource at NJ Parcel 0102_594_5	555 N MARYLAND AVE	Atlantic City	O&M	1517
164762	Resource at NJ Parcel 0102_594_7	501 N MARYLAND AVE	Atlantic City	O&M	1521

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Survey ID	Property Name	Address	Municipality	PAPE	Page Number
164771	Resource at NJ Parcel 0102_554_26	507 N DELAWARE AVE	Atlantic City	O&M	1525
164788	Resource at NJ Parcel 0102_590_1	700 N VIRGINIA AVE	Atlantic City	O&M	1529
164799	Resource at NJ Parcel 0102_545_1	451 N DELAWARE AVE	Atlantic City	O&M	1357
164815	Resource at NJ Parcel 0102_545_18	447 N DELAWARE AVE	Atlantic City	O&M	1365
164816	Resource at NJ Parcel 0102_545_17	743 WABASH AVE	Atlantic City	O&M	1361
164817	Resource at NJ Parcel 0102_544_3	449 N MARYLAND AVE	Atlantic City	O&M	1349
164822	Resource at NJ Parcel 0102_544_5	441 N MARYLAND AVE	Atlantic City	O&M	1353
164823	Resource at NJ Parcel 0102_541_20	434 N MARYLAND AVE	Atlantic City	O&M	1317
164824	Resource at NJ Parcel 0102_543_9	413 DELTA AVE	Atlantic City	O&M	1341
164826	Resource at NJ Parcel 0102_596_1	501 N SOUTH CAROLINA AVE	Atlantic City	O&M	1533
165017	Resource at NJ Parcel 0102_662_1	1001 N NEW YORK AVE	Atlantic City	O&M	1537
165020	Resource at NJ Parcel 0102_662_4	1415 MARMORA AVE	Atlantic City	O&M	1541
165118	Resource at NJ Parcel 0102_611_1	725 N DR MARTIN LUTHER K	Atlantic City	O&M	1545
165131	Resource at NJ Parcel 0102_612_1	736 N DR MARTIN LUTHER K	Atlantic City	O&M	1549
165133	Resource at NJ Parcel 0102_617_3	1720 GRANT AVE	Atlantic City	O&M	1553
165410	Resource at NJ Parcel 0102_677_3	1440 ABSECON BLVD	Atlantic City	O&M	1557
165419	Resource at NJ Parcel 0102_677_8	1400 ABSECON BLVD	Atlantic City	O&M	1561
165475	Resource at NJ Parcel 0102_659_1	1600 ABSECON BLVD	Atlantic City	O&M	1565
165526	Resource at NJ Parcel 0102_674_6	1300 N INDIANA AVE	Atlantic City	O&M	1569
165566	Resource at NJ Parcel 0102_672_4	1915 HURON AVE	Atlantic City	O&M	1573
165645	Resource at NJ Parcel 0102_620_1	914 N INDIANA AVE	Atlantic City	O&M	1577
165650	Resource at NJ Parcel 0102_620_2	912 N INDIANA AVE	Atlantic City	O&M	1581
165657	Resource at NJ Parcel 0102_620_3	910 N INDIANA AVE	Atlantic City	O&M	1585
165678	Resource at NJ Parcel 0102_663_5	1230 N INDIANA AVE	Atlantic City	O&M	1589
165694	Resource at NJ Parcel 0102_663_6	1222 N INDIANA AVE	Atlantic City	O&M	1593
165746	Resource at NJ Parcel 0102_657_1	1142 N INDIANA AVE	Atlantic City	O&M	1597

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165831	Resource at NJ Parcel 0102_609_4	1616 MARMORA AVE	Atlantic City	O&M	1601
165877	Resource at NJ Parcel 0102_628_9	1011 N OHIO AVE	Atlantic City	O&M	1605
51172	2-story flat roof residence	3955 FIRST AVENUE	AVALON BORO	WTA	105
51647	Resource at NJ Parcel 0501_8.02_6	26 W 8TH STREET	AVALON BORO	WTA	109
52187	2.5-story Queen Anne residence	56 W 7TH STREET	AVALON BORO	WTA	113
52363	2-story Modern residence	61 N INLET DRIVE	AVALON BORO	WTA	117
52438	Resource at NJ Parcel 0501_5.04_59	273 6TH STREET	AVALON BORO	WTA	121
52677	1-story Modern residence	688 FIRST AVENUE	AVALON BORO	WTA	125
76047	Ca. 1981 Modern/Shed style dwelling	2013 SEAVIEW AVE	Barnegat Light Borough	WTA	129
76953	Blurred out in streetview	107 CHATSWORTH AVE	Beach Haven Borough	WTA	133
77106	Altered Folk Victorian	101 CENTRE STREET	Beach Haven Borough	WTA	137
77166	Altered stucco-covered Colonial Revival dwelling	1000 S ATLANTIC AVE	Beach Haven Borough	WTA	141
77632	Altered 2 1/2 story Colonial Revival dwelling	910 S ATLANTIC AVE	Beach Haven Borough	WTA	145
77666	Only partially visible on streetview - Ranch dwelling	133 PELHAM AVE	Beach Haven Borough	WTA	149
92776	Resource at NJ Parcel 1507_42.04_13	13 OCEAN FRONT TERR	Brick Twp	WTA	229
92826	Resource at NJ Parcel 1507_3.19_1	546 OCEAN TERR.	Brick Twp	WTA	233
93066	Resource at NJ Parcel 1507_42.04_11	11 OCEAN FRONT TERR.	Brick Twp	WTA	237
93092	Resource at NJ Parcel 1507_32_17.01	498 SUNSET BLVD.	Brick Twp	WTA	241
93136	Resource at NJ Parcel 1507_37_8	394 Ocean Boulevard	Brick Twp	WTA	245
93175	Resource at NJ Parcel 1507_39_6	101 FABER LANE	Brick Twp	WTA	249
93300	Resource at NJ Parcel 1507_50.02_1	252 SUNSET LANE SO.	Brick Twp	WTA	254
93368	Resource at NJ Parcel 1507_36_10.08	104 LYNDHURST DR.	Brick Twp	WTA	258
93438	Resource at NJ Parcel 1507_62_14	166 SUNSET LANE NO.	Brick Twp	WTA	262
93553	Resource at NJ Parcel 1507_32_12.01	492 SUNSET BLVD.(13)	Brick Twp	WTA	266
93579	Resource at NJ Parcel 1507_42.06_14	14 FALLS RD.	Brick Twp	WTA	270
93592	Resource at NJ Parcel 1507_32_21	502 SUNSET BLVD	Brick Twp	WTA	274

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93687	Resource at NJ Parcel 1507_42.06_11	11 FALLS RD.	Brick Twp	WTA	278
93758	Resource at NJ Parcel 1507_42.06_12	12 FALLS RD.	Brick Twp	WTA	282
93939	Resource at NJ Parcel 1507_62_3	142 SUNSET LANE NO.	Brick Twp	WTA	286
94152	Resource at NJ Parcel 1507_50.02_4	256 SUNSET LANE SO.	Brick Twp	WTA	290
94940	Resource at NJ Parcel 1507_62_5	146 SUNSET LANE NO.	Brick Twp	WTA	294
486	222 3rd Street South	222 3rd Street South	Brigantine City	WTA	298
487	Leeds House	226 3rd Street South	Brigantine City	WTA	302
488	223 10th Street North	223 10th Street North	Brigantine City	WTA	306
166044	Resource at NJ Parcel 0103_806_21	250 9TH STREET SO	Brigantine City	WTA	310
166153	Resource at NJ Parcel 0103_601_9	205 2ND STREET SO	Brigantine City	WTA	314
166154	Resource at NJ Parcel 0103_601_15	206 VERNON PLACE	Brigantine City	WTA	318
166468	Resource at NJ Parcel 0103_704_10	223 6TH STREET SO	Brigantine City	WTA	322
166470	Resource at NJ Parcel 0103_704_22	230 5TH STREET SO	Brigantine City	WTA	326
166533	Resource at NJ Parcel 0103_601_7	209 2ND STREET SO	Brigantine City	WTA	330
166535	Resource at NJ Parcel 0103_505_17	215 VERNON PLACE	Brigantine City	WTA	334
166536	Resource at NJ Parcel 0103_601_17	210 VERNON PLACE	Brigantine City	WTA	338
166540	Resource at NJ Parcel 0103_602_16	202 2ND STREET SO	Brigantine City	WTA	342
166548	Resource at NJ Parcel 0103_803_20	352 8TH STREET SO	Brigantine City	WTA	346
166628	Resource at NJ Parcel 0103_704_23	234 5TH STREET SO	Brigantine City	WTA	350
166630	Resource at NJ Parcel 0103_706_18	218 6TH STREET SO	Brigantine City	WTA	354
166633	Resource at NJ Parcel 0103_704_8	231 6TH STREET SO	Brigantine City	WTA	358
166801	Resource at NJ Parcel 0103_601_6	211 2ND STREET SO	Brigantine City	WTA	362
166803	Resource at NJ Parcel 0103_602_12	206 W BEACH AVE	Brigantine City	WTA	366
166806	Resource at NJ Parcel 0103_602_17	204 2ND STREET SO	Brigantine City	WTA	370
167098	Resource at NJ Parcel 0103_706_25	250 6TH STREET SO	Brigantine City	WTA	374
167104	Resource at NJ Parcel 0103_802_20	236 7TH STREET SO	Brigantine City	WTA	378
167111	Resource at NJ Parcel 0103_802_21	240 7TH STREET SO	Brigantine City	WTA	382
167134	Resource at NJ Parcel 0103_802_23	250 7TH STREET SO	Brigantine City	WTA	386

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167145	Resource at NJ Parcel 0103_804_19	242 8TH STREET SO	Brigantine City	WTA	390
167249	Resource at NJ Parcel 0103_505_2	206 ROOSEVELT BLVD SO	Brigantine City	WTA	394
167252	Resource at NJ Parcel 0103_806_20	246 9TH STREET SO	Brigantine City	WTA	398
167371	Resource at NJ Parcel 0103_102_11	1219 E BRIGANTINE AVE	Brigantine City	WTA	402
167467	Resource at NJ Parcel 0103_704_27	254 5TH STREET SO	Brigantine City	WTA	406
167468	Resource at NJ Parcel 0103_706_22	234 6TH STREET SO	Brigantine City	WTA	410
167470	Resource at NJ Parcel 0103_704_4	247 6TH STREET SO	Brigantine City	WTA	414
167475	Resource at NJ Parcel 0103_706_23	238 6TH STREET SO	Brigantine City	WTA	418
167741	Resource at NJ Parcel 0103_602_15	200 2ND STREET SO	Brigantine City	WTA	422
167745	Resource at NJ Parcel 0103_505_15	211 VERNON PLACE	Brigantine City	WTA	426
167748	Resource at NJ Parcel 0103_601_8	207 2ND STREET SO	Brigantine City	WTA	430
167751	Resource at NJ Parcel 0103_601_16	208 VERNON PLACE	Brigantine City	WTA	434
167753	Resource at NJ Parcel 0103_505_16	213 VERNON PLACE	Brigantine City	WTA	438
167756	Resource at NJ Parcel 0103_602_11	201 3RD STREET SO	Brigantine City	WTA	442
167757	Resource at NJ Parcel 0103_505_19	219 VERNON PLACE	Brigantine City	WTA	446
167760	Resource at NJ Parcel 0103_601_5	213 2ND STREET SO	Brigantine City	WTA	450
167761	Resource at NJ Parcel 0103_602_18	206 2ND STREET SO	Brigantine City	WTA	454
167762	Resource at NJ Parcel 0103_601_19	214 VERNON PLACE	Brigantine City	WTA	458
167764	Resource at NJ Parcel 0103_603_13	200 3RD STREET SO	Brigantine City	WTA	462
167912	Resource at NJ Parcel 0103_503_20	210 2ND STREET NO	Brigantine City	WTA	466
167923	Resource at NJ Parcel 0103_601_11	108 W BEACH AVE	Brigantine City	WTA	470
167925	Resource at NJ Parcel 0103_505_3	208 ROOSEVELT BLVD SO	Brigantine City	WTA	474
167928	Resource at NJ Parcel 0103_505_12	205 VERNON PLACE	Brigantine City	WTA	478
167931	Resource at NJ Parcel 0103_601_13	202 VERNON PLACE	Brigantine City	WTA	482
167936	Resource at NJ Parcel 0103_505_13	207 VERNON PLACE	Brigantine City	WTA	486
167937	Resource at NJ Parcel 0103_601_10	203 2ND STREET SO	Brigantine City	WTA	490

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Survey ID	Property Name	Address	Municipality	PAPE	Page Number
167939	Resource at NJ Parcel 0103_505_5	212 ROOSEVELT BLVD SO	Brigantine City	WTA	494
167943	Resource at NJ Parcel 0103_505_14	209 VERNON PLACE	Brigantine City	WTA	498
167946	Resource at NJ Parcel 0103_603_14	202 3RD STREET SO	Brigantine City	WTA	502
167947	Resource at NJ Parcel 0103_601_4	215 2ND STREET SO	Brigantine City	WTA	506
167948	Resource at NJ Parcel 0103_603_15	204 3RD STREET SO	Brigantine City	WTA	510
167949	Resource at NJ Parcel 0103_602_9	209 3RD STREET SO	Brigantine City	WTA	514
167956	Resource at NJ Parcel 0103_603_16	206 3RD STREET SO	Brigantine City	WTA	518
167961	Resource at NJ Parcel 0103_603_17	208 3RD STREET SO	Brigantine City	WTA	522
167963	Resource at NJ Parcel 0103_603_12	201 4TH STREET SO	Brigantine City	WTA	526
167965	Resource at NJ Parcel 0103_603_18	210 3RD STREET SO	Brigantine City	WTA	530
167966	Resource at NJ Parcel 0103_602_20	210 2ND STREET SO	Brigantine City	WTA	534
167969	Resource at NJ Parcel 0103_603_19	212 3RD STREET SO	Brigantine City	WTA	538
167970	Resource at NJ Parcel 0103_601_21	218 VERNON PLACE	Brigantine City	WTA	542
167972	Resource at NJ Parcel 0103_603_20	214 3RD STREET SO	Brigantine City	WTA	546
167979	Resource at NJ Parcel 0103_603_21	216 3RD STREET SO	Brigantine City	WTA	550
167981	Resource at NJ Parcel 0103_602_21	212 2ND STREET SO	Brigantine City	WTA	554
167983	Resource at NJ Parcel 0103_601_2	219 2ND STREET SO	Brigantine City	WTA	558
167985	Resource at NJ Parcel 0103_602_6	221 3RD STREET SO	Brigantine City	WTA	562
167990	Resource at NJ Parcel 0103_602_5	225 3RD STREET SO	Brigantine City	WTA	566
167996	Resource at NJ Parcel 0103_602_4	229 3RD STREET SO	Brigantine City	WTA	570
168009	Resource at NJ Parcel 0103_603_26	230 3RD STREET SO	Brigantine City	WTA	574
168014	Resource at NJ Parcel 0103_702_17	214 4TH STREET SO	Brigantine City	WTA	578
168017	Resource at NJ Parcel 0103_603_27	238 3RD STREET SO	Brigantine City	WTA	582
168022	Resource at NJ Parcel 0103_702_18	218 4TH STREET SO	Brigantine City	WTA	586
168026	Resource at NJ Parcel 0103_702_11	215 5TH STREET SO	Brigantine City	WTA	591
168035	Resource at NJ Parcel 0103_702_10	219 5TH STREET SO	Brigantine City	WTA	596

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Survey ID	Property Name	Address	Municipality	PAPE	Page Number
168041	Resource at NJ Parcel 0103_702_9	223 5TH STREET SO	Brigantine City	WTA	600
168047	Resource at NJ Parcel 0103_702_8	227 5TH STREET SO	Brigantine City	WTA	604
168051	Resource at NJ Parcel 0103_702_7	231 5TH STREET SO	Brigantine City	WTA	608
168054	Resource at NJ Parcel 0103_702_22	238 4TH STREET SO	Brigantine City	WTA	612
168056	Resource at NJ Parcel 0103_704_12	215 6TH STREET SO	Brigantine City	WTA	616
168057	Resource at NJ Parcel 0103_702_6	235 5TH STREET SO	Brigantine City	WTA	620
168063	Resource at NJ Parcel 0103_704_21	226 5TH STREET SO	Brigantine City	WTA	624
168064	Resource at NJ Parcel 0103_702_4	243 5TH STREET SO	Brigantine City	WTA	628
168070	Resource at NJ Parcel 0103_704_9	227 6TH STREET SO	Brigantine City	WTA	632
168072	Resource at NJ Parcel 0103_704_24	238 5TH STREET SO	Brigantine City	WTA	636
168078	Resource at NJ Parcel 0103_706_19	222 6TH STREET SO	Brigantine City	WTA	640
168082	Resource at NJ Parcel 0103_706_20	226 6TH STREET SO	Brigantine City	WTA	644
168083	Resource at NJ Parcel 0103_704_6	239 6TH STREET SO	Brigantine City	WTA	648
168091	Resource at NJ Parcel 0103_704_26	248 5TH STREET SO	Brigantine City	WTA	652
168092	Resource at NJ Parcel 0103_706_21	230 6TH STREET SO	Brigantine City	WTA	656
168118	Resource at NJ Parcel 0103_704_5	243 6TH STREET SO	Brigantine City	WTA	660
168122	Resource at NJ Parcel 0103_704_2	255 6TH STREET SO	Brigantine City	WTA	664
168127	Resource at NJ Parcel 0103_802_19	230 7TH STREET SO	Brigantine City	WTA	668
168145	Resource at NJ Parcel 0103_804_20	246 8TH STREET SO	Brigantine City	WTA	672
168154	Resource at NJ Parcel 0103_804_21	250 8TH STREET SO	Brigantine City	WTA	676
168359	Resource at NJ Parcel 0103_1601_15	318 16TH STREET SO	Brigantine City	WTA	680
168401	Resource at NJ Parcel 0103_1406_4	1900 OCEAN AVE	Brigantine City	WTA	684
168579	Resource at NJ Parcel 0103_2101_20	2201 OCEAN AVE	Brigantine City	WTA	688
168584	Resource at NJ Parcel 0103_1801_8	406 20TH STREET SO	Brigantine City	WTA	692
168756	Resource at NJ Parcel 0103_2301_5	400 26TH STREET SO	Brigantine City	WTA	696
665	Pleasantville Mobile Home Court	6737 Black Horse Pike	Egg Harbor Township	Onshore	1185

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Architectural Survey Forms: Properties Recommended Not NRHP-Eligible

Survey ID	Property Name	Address	Municipality	PAPE	Page Number
95782	Shed style dwelling with gray wood shingles and blue detail	15 E SUSSEX AVE	Harvey Cedars	WTA	700
95786	Ca. 1980 dwelling - no streetview	7101 LONG BEACH BLVD	Harvey Cedars	WTA	704
95826	Ca. 1975 dwelling - no streetview	12 E CUMBERLAND AVE	Harvey Cedars	WTA	708
95851	Ca. 1970 International style dwelling	8-A E 69TH ST	Harvey Cedars	WTA	712
95892	Ca. 1971 dwelling - no streetview	6311F LONG BEACH BLVD	Harvey Cedars	WTA	716
95967	3 story dwelling with shed roofs - only partially visible on streetview	13 E 86TH ST	Harvey Cedars	WTA	720
96002	Ca. 1982 dwelling - no streetview	5309D LONG BEACH BLVD	Harvey Cedars	WTA	724
96053	Ca. 1968 altered dwelling - no streetview	7-B E 70TH ST	Harvey Cedars	WTA	728
96082	No streetview - ca. 1982 Dwelling	12 E BERGEN AVE	Harvey Cedars	WTA	732
96194	No streetview - appears to be Modern style dwelling	6403G LONG BEACH BLVD	Harvey Cedars	WTA	736
96208	No streetview - potentially a ca. 1962 Modern dwelling	13 E MERCER AVE	Harvey Cedars	WTA	740
96211	Ca. 1980 dwelling - no streetview	14 E 82ND ST	Harvey Cedars	WTA	744
96249	Two-story with rectangular footprint and vertical board	14 E 77TH ST	Harvey Cedars	WTA	748
329646	Resource at NJ Parcel_1321_26_34.01	111 LANES POND ROAD	Howell	Onshore	1188
332958	Resource at NJ Parcel_1321_29_32	337 LANES MILL RD	Howell	Onshore	1197
333355	Resource at NJ Parcel_1321_38_7.01	1139 Lakewood Farmingdale	Howell	Onshore	1217
329877	Resource at NJ Parcel_1321_38_2	79 RANDOLPH ROAD	Howell	Onshore	1192
333166	Resource at NJ Parcel_1321_38_23	662 Oak Glen Road	Howell	Onshore	1205
333394	Resource at NJ Parcel_1321_38_8.02	1117 LAKEWOOD FARMINGDALE	Howell	Onshore	1225
333153	Resource at NJ Parcel_1321_4_10.02	730 RIDGE AVE/23 Brook Road	Howell	Onshore	1237
333156	Resource at NJ Parcel_1321_38_10.01	768 OAK GLEN RD	Howell	Onshore	1201
333157	Resource at NJ Parcel_1321_38_10.02	798 JOE PARKER RD/760 Oak Glen Road	Howell	Onshore	1241
333168	Resource at NJ Parcel_1321_38_20	680 OAK GLEN RD	Howell	Onshore	1209

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Architectural Survey Forms: Properties Recommended Not NRHP-Eligible

Survey ID	Property Name	Address	Municipality	PAPE	Page Number
333318	Resource at NJ Parcel_1321_4_7.01	4 Arnold Blvd	Howell	Onshore	1213
333370	Resource at NJ Parcel_1321_3_4	2880 Lakeview-Allenwood Road	Howell	Onshore	1221
333425	Resource at NJ Parcel_1321_26_29.01	411 ALEXANDER AVENUE	Howell	Onshore	1229
333426	Resource at NJ Parcel_1321_26_29	403 ALEXANDER AVE	Howell	Onshore	1233
129935	Cape Cod with Colonial Revival detail	2306 OCEAN FRONT	Lavallette Borough	WTA	752
130058	No streetview	1102 OCEAN FRONT	Lavallette Borough	WTA	756
130189	Two-story with wood shingle	602 OCEAN FRONT	Lavallette Borough	WTA	760
131166	Two-story with wood shingles and cross gable roof	900 OCEAN FRONT	Lavallette Borough	WTA	764
131323	No streetview	5615 WEST AVE	Long Beach	WTA	768
131659	Ca. 1980 dwelling - no streetview	1129C LONG BEACH BLVD	Long Beach	WTA	772
131708	Ca. 1960 Dwelling	1113A LONG BEACH BLVD	Long Beach	WTA	776
131978	Altered Cape Cod dwelling with wood shingles	6312 OCEAN BLVD	Long Beach	WTA	780
132202	Altered two-story dwelling with side gable roof and ground level garage	3707 S LONG BEACH BLVD	Long Beach	WTA	784
132445	Altered two-story New Traditional dwelling	4909 S LONG BEACH BLVD	Long Beach	WTA	788
132459	Potentially a Modern dwelling - no streetview	107F LONG BEACH BLVD	Long Beach	WTA	792
132467	Ca. 1975 dwelling - no streetview	77D LONG BEACH BLVD	Long Beach	WTA	796
132552	No streetview	171E LONG BEACH BLVD	Long Beach	WTA	800
132791	Heavily altered two-story Colonial Revival	201 E SOUTH 31ST STREET	Long Beach	WTA	804
132928	Altered two-story Front Gable with second level patio	12309 OCEAN AVE	Long Beach	WTA	808
133433	Altered ca. 1948 raised Craftsman dwelling	3207 OCEAN BLVD	Long Beach	WTA	812
133567	Ca. 1970 altered raised 2 story dwelling	1111B LONG BEACH BLVD	Long Beach	WTA	816
133797	Altered two-story raised dwelling	6109 OCEAN BLVD	Long Beach	WTA	820
133813	Heavily altered Colonial Revival dwelling	115 E NEW YORK AVE	Long Beach	WTA	824
133936	Ca. 1964 Front Gable - no streetview	1075 LONG BEACH BLVD	Long Beach	WTA	828
134221	Altered raised two-story dwelling	3905 OCEAN BLVD	Long Beach	WTA	832

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Survey ID	Property Name	Address	Municipality	PAPE	Page Number
134425	One-story hipped roof dwelling	7605 OCEAN BLVD	Long Beach	WTA	836
134434	Heavily altered two-story dwelling with ground level garage	4009 OCEAN BLVD	Long Beach	WTA	840
134495	Heavily altered Craftsman dwelling	5812 OCEAN BLVD	Long Beach	WTA	844
134549	Altered two-story raised hipped roof dwelling	6107 OCEAN BLVD	Long Beach	WTA	848
134564	Modern dwelling with wood shingle, stucco, vinyl	7 E SEASHELL LANE	Long Beach	WTA	852
134565	Ca. 1965 dwelling - no streetview	5 E SEASHELL LANE	Long Beach	WTA	857
134597	Altered two-story side gable house	6503 OCEAN BLVD	Long Beach	WTA	861
134619	Altered two-story side gable dwelling	109 E HOBART AVE	Long Beach	WTA	865
134627	Potentially a Modern dwelling - no streetview	7 COAST AVE	Long Beach	WTA	869
134667	Late Brutalist dwelling - potentially eligible	15C LONG BEACH BLVD	Long Beach	WTA	873
134853	Ca. 1979 altered Shed style dwelling	1051C LONG BEACH BLVD	Long Beach	WTA	878
134856	Side gable dwelling - no streetview	175G LONG BEACH BLVD	Long Beach	WTA	883
134951	Residence	75D LONG BEACH BLVD	Long Beach	WTA	887
135344	Potentially Modern dwelling - no streetview	93B LONG BEACH BLVD	Long Beach	WTA	891
135355	Ca. 1970 dwelling - no streetview	71E LONG BEACH BLVD	Long Beach	WTA	895
171937	Resource at NJ Parcel 0115_21_12.01	112 SO 25TH AVE	Longport Borough	WTA	903
171982	Resource at NJ Parcel 0115_13_7	111 SO 17TH AVE	Longport Borough	WTA	907
171987	Resource at NJ Parcel 0115_103_1	105 SO 36TH AV	Longport Borough	WTA	911
172161	Resource at NJ Parcel 0115_24_3	107 SO 25TH AVE	Longport Borough	WTA	915
172170	Resource at NJ Parcel 0115_17_7	105 SO 21ST AVE	Longport Borough	WTA	919
172171	Resource at NJ Parcel 0115_17_12	110 SO 22ND AVE	Longport Borough	WTA	923
172198	Resource at NJ Parcel 0115_6_5.01	109 SO 13TH AVE	Longport Borough	WTA	927
172219	Resource at NJ Parcel 0115_2_6	115 SO 11TH AVE	Longport Borough	WTA	931
3511	111 21st Avenue	111 21st Avenue	Longport Borough	WTA	899
35023	Resource at NJ Parcel 0507_30_4	135 SEAVIEW CT	North Wildwood City	WTA	935
35232	Resource at NJ Parcel 0507_222_1	101 E WALNUT AVE	North Wildwood City	WTA	939

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Survey ID	Property Name	Address	Municipality	PAPE	Page Number
35262	Resource at NJ Parcel 0507_6.01_5	8 N NEW YORK AVE	North Wildwood City	WTA	943
35404	Resource at NJ Parcel 0507_221_11	204 N CENTRAL AVE	North Wildwood City	WTA	947
35433	Resource at NJ Parcel 0507_6.03_12	202 HEREFORD AVE	North Wildwood City	WTA	951
4993	912 Stenton Place	912 Stenton Place	Ocean City	WTA	1609
5026	826 North Street	826 North Street	Ocean City	WTA	1613
5212	Harris House Motor Inn	1200-30 Boardwalk	Ocean City	WTA	1617
5384	880 Park Place	880-82 Park Place	Ocean City	WTA	1621
5411	Franconia Apartments	1132 Ocean Avenue	Ocean City	WTA	1625
5676	830 North Street	830 North Street	Ocean City	WTA	1629
5726	Andrew's	1320-24 Ocean Avenue	Ocean City	WTA	1633
5753	850 Stenton Place	850 Stenton Place	Ocean City	WTA	1637
5767	848 Stenton Place	848 Stenton Place	Ocean City	WTA	1641
5908	The Gardens Plaza	322 Boardwalk	Ocean City	WTA	1645
6026	1304-08 Ocean Avenue	1308 Ocean Avenue	Ocean City	WTA	1649
6080	908 Park Place	908 Park Place	Ocean City	WTA	1653
6149	852 Stenton Place	852 Stenton Place	Ocean City	WTA	1657
6244	Days Inn	870 Seventh Street	Ocean City	WTA	1661
6294	16th Street at Boardwalk	1600 Boardwalk	Ocean City	WTA	1665
6403	872 North Street	872 North Street	Ocean City	WTA	1669
6446	1122 Ocean Avenue	1122 Ocean Avenue	Ocean City	WTA	1673
6662	921 Fifth to Boardwalk	925 Fifth Street	Ocean City	WTA	1677
6744	608 Chelsea Place	608 Chelsea Place	Ocean City	WTA	1681
6755	904 North Street	904 North Street	Ocean City	WTA	1685
6801	900-24 Pennlyn Place	900 Pennlyn Place	Ocean City	WTA	1689
7140	906 North Street	906 North Street	Ocean City	WTA	1693
7399	330 Corinthian Avenue	330 Corinthian Avenue	Ocean City	WTA	2041
8125	Seaview Beach	1619 WESLEY AVE	Ocean City	WTA	1701
65382	Resource at NJ Parcel 0508_70.53_12	507 SEACLIFF RD	Ocean City	WTA	1705
65553	Resource at NJ Parcel 0508_70.38_18.01	20 GARDENS RD	Ocean City	WTA	1709
65554	Resource at NJ Parcel 0508_70.38_19	14 GARDENS RD	Ocean City	WTA	1713
65555	Resource at NJ Parcel 0508_70.38_20	10 GARDENS RD	Ocean City	WTA	1717
65556	Resource at NJ Parcel 0508_70.38_22	4 GARDENS RD	Ocean City	WTA	1721
65908	Resource at NJ Parcel 0508_4_12	828 NORTH ST	Ocean City	WTA	1725
66030	Resource at NJ Parcel 0508_2300_4_C1	2313-15 WESLEY AVE	Ocean City	WTA	1729
66034	Resource at NJ Parcel 0508_70.37_8	66 GARDENS RD	Ocean City	WTA	1734
66035	Resource at NJ Parcel 0508_70.37_9	54 GARDENS RD	Ocean City	WTA	1738
66037	Resource at NJ Parcel 0508_70.37_10	46 GARDENS RD	Ocean City	WTA	1741
66038	Resource at NJ Parcel 0508_70.38_14	44 GARDENS RD	Ocean City	WTA	1745

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Survey ID	Property Name	Address	Municipality	PAPE	Page Number
66039	Resource at NJ Parcel 0508_70.38_15	38 GARDENS RD	Ocean City	WTA	1749
66040	Resource at NJ Parcel 0508_70.38_16	30 GARDENS RD	Ocean City	WTA	1753
66041	Resource at NJ Parcel 0508_70.38_17	28 GARDENS RD	Ocean City	WTA	1757
66042	Resource at NJ Parcel 0508_70.38_23	829 NORTH ST	Ocean City	WTA	1761
66058	Resource at NJ Parcel 0508_1902_15	1900 WESLEY AVE	Ocean City	WTA	1765
66262	Resource at NJ Parcel 0508_2300_7	2321 WESLEY AVE	Ocean City	WTA	1769
66287	Resource at NJ Parcel 0508_2301_16	2312A&B WESLEY AVE	Ocean City	WTA	1773
66770	Resource at NJ Parcel 0508_70.40_10	22 BEACH RD	Ocean City	WTA	1861
66778	Resource at NJ Parcel 0508_70.40_6	29 GARDENS RD	Ocean City	WTA	1845
66848	Resource at NJ Parcel 0508_2901_19	2908-10 WESLEY AVE	Ocean City	WTA	1849
66869	Resource at NJ Parcel 0508_70.34_26	26 MORNINGSIDE RD	Ocean City	WTA	1853
66870	Resource at NJ Parcel 0508_70.34_31	16 MORNINGSIDE RD	Ocean City	WTA	1857
66871	Resource at NJ Parcel 0508_70.34_27	24 MORNINGSIDE RD	Ocean City	WTA	1777
66872	Resource at NJ Parcel 0508_70.34_29	20 MORNINGSIDE RD	Ocean City	WTA	1781
66873	Resource at NJ Parcel 0508_70.42_4.01	233 BEACH RD	Ocean City	WTA	1785
66875	Resource at NJ Parcel 0508_70.42_5	237 BEACH RD	Ocean City	WTA	1789
66885	Resource at NJ Parcel 0508_70.34_13	123 E ATLANTIC BLVD	Ocean City	WTA	1793
66891	Resource at NJ Parcel 0508_70.28_33	200 E ATLANTIC BLVD	Ocean City	WTA	1797
66894	Resource at NJ Parcel 0508_70.33_32	164 E ATLANTIC BLVD	Ocean City	WTA	1801
66905	Resource at NJ Parcel 0508_70.29_24	365 E SURF RD	Ocean City	WTA	1805
164630	Resource at NJ Parcel 0102_564_2	614 N NEW JERSEY AVE	Atlantic City	O&M	
66911	Resource at NJ Parcel 0508_70.26_30	334 E SURF RD	Ocean City	WTA	1809
66914	Resource at NJ Parcel 0508_70.26_29	340 E SURF RD	Ocean City	WTA	1813
66916	Resource at NJ Parcel 0508_70.26_28	344 E SURF RD	Ocean City	WTA	1817
66917	Resource at NJ Parcel 0508_70.26_27	350 E SURF RD	Ocean City	WTA	1821
66920	Resource at NJ Parcel 0508_70.26_26	356 E SURF RD	Ocean City	WTA	1825

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Survey ID	Property Name	Address	Municipality	PAPE	Page Number
66922	Resource at NJ Parcel 0508_70.26_25	360 E SURF RD	Ocean City	WTA	1829
66936	Resource at NJ Parcel 0508_70.41_3.01	19 BEACH RD	Ocean City	WTA	1833
66939	Resource at NJ Parcel 0508_70.39_7	16 NASSAU RD	Ocean City	WTA	1837
66942	Resource at NJ Parcel 0508_70.39_5	15 GARDENS RD	Ocean City	WTA	1865
66943	Resource at NJ Parcel 0508_70.39_4	11 GARDENS RD	Ocean City	WTA	1869
66944	Resource at NJ Parcel 0508_70.39_3	7 GARDENS RD	Ocean City	WTA	1873
66945	Resource at NJ Parcel 0508_70.39_1	1 GARDENS RD	Ocean City	WTA	1877
66946	Resource at NJ Parcel 0508_70.38_21	8 GARDENS RD	Ocean City	WTA	1881
66947	Resource at NJ Parcel 0508_70.37_5	79 MORNINGSIDE RD	Ocean City	WTA	1885
66948	Resource at NJ Parcel 0508_70.37_4	71 MORNINGSIDE RD	Ocean City	WTA	1889
66949	Resource at NJ Parcel 0508_70.37_3	65 MORNINGSIDE RD	Ocean City	WTA	1893
66950	Resource at NJ Parcel 0508_70.37_2	61 MORNINGSIDE RD	Ocean City	WTA	1897
66951	Resource at NJ Parcel 0508_70.38_13	53 MORNINGSIDE RD	Ocean City	WTA	1901
66953	Resource at NJ Parcel 0508_70.38_11	45 MORNINGSIDE RD	Ocean City	WTA	1905
66954	Resource at NJ Parcel 0508_70.38_9	33 MORNINGSIDE RD	Ocean City	WTA	1909
66955	Resource at NJ Parcel 0508_70.38_3	9 MORNINGSIDE RD	Ocean City	WTA	1913
66956	Resource at NJ Parcel 0508_70.38_4	15 MORNINGSIDE RD	Ocean City	WTA	1917
66957	Resource at NJ Parcel 0508_70.38_8	29 MORNINGSIDE RD	Ocean City	WTA	1921
66958	Resource at NJ Parcel 0508_70.38_5	19 MORNINGSIDE RD	Ocean City	WTA	1925
66959	Resource at NJ Parcel 0508_70.38_6	23 MORNINGSIDE RD	Ocean City	WTA	1929
66962	Resource at NJ Parcel 0508_70.34_38	2 MORNINGSIDE RD	Ocean City	WTA	1933
66964	Resource at NJ Parcel 0508_70.35_11	58 MORNINGSIDE RD	Ocean City	WTA	1937
66965	Resource at NJ Parcel 0508_70.35_12	56 MORNINGSIDE RD	Ocean City	WTA	1941
66968	Resource at NJ Parcel 0508_70.34_19	42 MORNINGSIDE RD	Ocean City	WTA	1945
66969	Resource at NJ Parcel 0508_70.34_20	40 MORNINGSIDE RD	Ocean City	WTA	1949
66970	Resource at NJ Parcel 0508_70.34_21	36 MORNINGSIDE RD	Ocean City	WTA	1953

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Survey ID	Property Name	Address	Municipality	PAPE	Page Number
66971	Resource at NJ Parcel 0508_70.34_34	10 MORNINGSIDE RD	Ocean City	WTA	1957
66972	Resource at NJ Parcel 0508_70.34_22_C1	34 MORNINGSIDE RD	Ocean City	WTA	1961
66974	Resource at NJ Parcel 0508_70.34_23	32 MORNINGSIDE RD	Ocean City	WTA	1965
67069	Resource at NJ Parcel 0508_70.28_16	401 E SURF RD	Ocean City	WTA	1969
67070	Resource at NJ Parcel 0508_70.26_24	364 E SURF RD	Ocean City	WTA	1973
67071	Resource at NJ Parcel 0508_70.26_23	368 E SURF RD	Ocean City	WTA	1977
67072	Resource at NJ Parcel 0508_70.26_22	372 E SURF RD	Ocean City	WTA	1981
67076	Resource at NJ Parcel 0508_70.26_21	376 E SURF RD	Ocean City	WTA	1985
67741	Resource at NJ Parcel 0508_3001_9	3000 WESLEY AVE	Ocean City	WTA	1989
68319	Resource at NJ Parcel 0508_901_21	974 BOARDWALK	Ocean City	WTA	1993
68985	Resource at NJ Parcel 0508_5802_10	5815 ASBURY AVE	Ocean City	WTA	1997
69109	Resource at NJ Parcel 0508_4702.02_5	4712 CENTRAL AVE	Ocean City	WTA	2001
69456	Resource at NJ Parcel 0508_5802_25_C3	5848 CENTRAL AVE	Ocean City	WTA	2005
69593	Resource at NJ Parcel 0508_3701_13.01_C2	3704-06 WESLEY AVE	Ocean City	WTA	2009
69601	Resource at NJ Parcel 0508_5802_24_C5842	5840-42 CENTRAL AVE	Ocean City	WTA	2013
69808	Resource at NJ Parcel 0508_5902_5_C1	5912-14 CENTRAL AVE	Ocean City	WTA	2017
70021	Resource at NJ Parcel 0508_3601_14_C2	3620-22 WESLEY AVE	Ocean City	WTA	2021
71248	Resource at NJ Parcel 0508_70.41_7.01	113 BEACH RD	Ocean City	WTA	2025
73031	Resource at NJ Parcel 0508_70.28_9.01	239 OCEAN RD	Ocean City	WTA	2029
66940-41	Resource at NJ Parcel 0508_70.39_2_C1	3 GARDENS RD	Ocean City	WTA	1841
4288	17 34th Street	3305 Pleasure Avenue South	Sea Isle City	WTA	955
5088	12 44th Street	12 44th Street	Sea Isle City	WTA	959
5803	20 53rd Street	20 53rd Street	Sea Isle City	WTA	963
5838	14 48th Street	14 48th Street	Sea Isle City	WTA	967
6546	20 51st Street	20 51st Street	Sea Isle City	WTA	971
6880	21 36th Street	21 36th Street	Sea Isle City	WTA	975
7306	4606 Pleasure Avenue	4606 Pleasure Avenue	Sea Isle City	WTA	979
71337	3-story shingled Modern residence	4 84TH ST	Sea Isle City	WTA	983
71377	Resource at NJ Parcel 0509_74.01_671.02	7401 PLEASURE AVE	Sea Isle City	WTA	988
71379	Resource at NJ Parcel 0509_74.01_670	7407 PLEASURE AVE	Sea Isle City	WTA	992

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Survey ID	Property Name	Address	Municipality	PAPE	Page Number
71546	Resource at NJ Parcel 0509_72.01_2.02	7201 PLEASURE AVE	Sea Isle City	WTA	996
71857	Resource at NJ Parcel 0509_50.02_11	20 50TH ST	Sea Isle City	WTA	1000
72091	Resource at NJ Parcel 0509_39.01_5.02_C-208	3901 PLEASURE AVE	Sea Isle City	WTA	1004
72412	Resource at NJ Parcel 0509_52.01_14_C-3	12 52ND ST 1ST FLR REAR	Sea Isle City	WTA	1009
146485	Two-story buildings with arcade games at ground level and mini golf upper level	819 BOARDWALK CENTER	Seaside Heights	WTA	1013
146616	Altered one-story concrete block commercial building	1103 OCEAN TERRACE	Seaside Heights	WTA	1017
146691	Beach Paradise	1005-07 OCEAN TERRACE	Seaside Heights	WTA	1021
146768	Midway Steakhouse - ca. 1970 one-story commercial building	405 BOARDWALK	Seaside Heights	WTA	1025
146785	Altered one-story concrete block commercial building	1107 OCEAN TERRACE	Seaside Heights	WTA	1029
147105	TLC's Polish Water Ice	201 OCEAN TERRACE	Seaside Heights	WTA	1033
147164	EJ's Tap House - heavily altered one-story commercial building	919 OCEAN TERRACE	Seaside Heights	WTA	1037
147199	Two-story concrete block with rear apartments	211 OCEAN TERRACE	Seaside Heights	WTA	1041
147236	Steaks Unlimited	16 DUPONT AVE	Seaside Heights	WTA	1045
147622	Regent and Co - ca. 1950 one-story conc blk commercial building	401-07 OCEAN TERRACE	Seaside Heights	WTA	1049
92752	Mobile Home	83 CENTRAL AVE	Seaside Park	WTA	153
92753	Mobile Home	81 CENTRAL AVE	Seaside Park	WTA	157
92754	Mobile Home	84 CENTRAL AVE	Seaside Park	WTA	161
92755	Mobile Home	82 CENTRAL AVE	Seaside Park	WTA	165
221165	One-story altered minimal Ranch	198 Central Avenue (NJ Rt. 35)	Seaside Park	WTA	169
221166	194 Central Avenue (NJ Rt. 35)	194 Central Avenue (NJ Rt. 35)	Seaside Park	WTA	173
221167	190 Central Avenue (NJ Rt. 35)	190 Central Avenue (NJ Rt. 35)	Seaside Park	WTA	177
221168	180 Central Avenue (NJ Rt. 35)	180 Central Avenue (NJ Rt. 35)	Seaside Park	WTA	181
221169	178 Central Avenue (NJ Rt. 35)	178 Central Avenue (NJ Rt. 35)	Seaside Park	WTA	185
221170	168 Central Avenue (NJ Rt. 35)	168 Central Avenue (NJ Rt. 35)	Seaside Park	WTA	189
221171	160 Central Avenue (NJ Rt. 35)	160 Central Avenue (NJ Rt. 35)	Seaside Park	WTA	193
221172	158A Central Avenue (NJ Rt. 35)	158A Central Avenue (NJ Rt. 35)	Seaside Park	WTA	197

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Survey ID	Property Name	Address	Municipality	PAPE	Page Number
221173	158 Central Avenue (NJ Rt. 35)	158 Central Avenue (NJ Rt. 35)	Seaside Park	WTA	201
221174	188B Central Avenue (NJ Rt. 35)	188B Central Avenue (NJ Rt. 35)	Seaside Park	WTA	205
221175	188A Central Avenue (NJ Rt. 35)	188A Central Avenue (NJ Rt. 35)	Seaside Park	WTA	209
221176	188 Central Avenue (NJ Rt. 35)	188 Central Avenue (NJ Rt. 35)	Seaside Park	WTA	213
221177	186 Central Avenue (NJ Rt. 35)	186 Central Avenue (NJ Rt. 35)	Seaside Park	WTA	217
221178	184 Central Avenue (NJ Rt. 35)	184 Central Avenue (NJ Rt. 35)	Seaside Park	WTA	221
221179	182 Central Avenue (NJ Rt. 35)	182 Central Avenue (NJ Rt. 35)	Seaside Park	WTA	225
6117	Altered 2 1/2 story Dutch Colonial Revival	1015 South Ocean Avenue	Seaside Park Borough	WTA	2033
6869	3-story altered Craftsman	905-907 South Ocean Avenue	Seaside Park Borough	WTA	2037
149091	No streetview	2609 OCEAN AVE	Ship Bottom	WTA	1053
149397	No streetview	305 OCEAN AVE	Ship Bottom	WTA	1057
149467	Heavily altered ca. 1940 Craftsman	135 E 27TH ST	Ship Bottom	WTA	1061
149630	Ca. 1981 Modern dwelling with wood shingle	2601 OCEAN AVE	Ship Bottom	WTA	1065
149679	Heavily altered ca. 1970 Front Gable	130 E 7TH ST	Ship Bottom	WTA	1069
149697	Altered two-story side gable with double porches	126 E 7TH ST	Ship Bottom	WTA	1073
149704	Ca. 1965 two-story Front Gable dwelling	131 E 19TH ST	Ship Bottom	WTA	1077
149705	Residence	1817 OCEAN AVE	Ship Bottom	WTA	1081
149803	Heavily altered ca. 1954 two-story dwelling with hipped roofs	2113 OCEAN AVE	Ship Bottom	WTA	1085
150002	No streetview - ca. 1974 dwelling	1307 OCEAN AVE	Ship Bottom	WTA	1089
150051	Altered ca. 1975 Shed style dwelling	148 E 24TH ST	Ship Bottom	WTA	1093
62532	Women's Civic Club of Stone Harbor	12 96TH ST	Stone Harbor	WTA	1097
62545	2-story modern residence	100 114TH ST	Stone Harbor	WTA	1101
63128	2-story, flat roof, modern residence	2 102ND ST	Stone Harbor	WTA	1105
63180	Resource at NJ Parcel 0510_98.01_10.02	5 98TH ST	Stone Harbor	WTA	1109
63627	2-story modern residence	1 92ND ST	Stone Harbor	WTA	1113
157076	Ca. 1955 altered Cape Cod style dwelling	601 N OCEAN AVE	Surf City	WTA	1117

Attachment K:
Architectural Survey Forms: Properties Recommended Not NRHP-Eligible

Survey ID	Property Name	Address	Municipality	PAPE	Page Number
56231	Resource at NJ Parcel 0511_857_8.02	30 E SEACLIFF AVE	Upper Township	WTA	1121
57384	Resource at NJ Parcel 0511_862_1	1 E SEAVIEW AVE	Upper Township	WTA	1125
57475	Resource at NJ Parcel 0511_834_7	26 E SUMNER AVE	Upper Township	WTA	1129
185270	Resource at NJ Parcel 0122_9_1	5200 BOARDWALK	Ventnor City	WTA	1133
185274	Resource at NJ Parcel 0122_8_10	110 S AMHERST AVE	Ventnor City	WTA	1137
185371	Resource at NJ Parcel 0122_19_11	6003 BOARDWALK	Ventnor City	WTA	1141
185620	Resource at NJ Parcel 0122_37_8	110 S PHILADELPHIA AVE	Ventnor City	WTA	1145
185637	Resource at NJ Parcel 0122_25_11	110 S PRINCETON AVE	Ventnor City	WTA	1149
187183	Resource at NJ Parcel 0122_11_9	108 S LITTLE ROCK AVE	Ventnor City	WTA	1153
187268	Resource at NJ Parcel 0122_58_4	5515 ATLANTIC AVE	Ventnor City	WTA	1157
187273	Resource at NJ Parcel 0122_12_1	111 S SURREY AVE	Ventnor City	WTA	1161
188091	Resource at NJ Parcel 0122_23_13	110 S HARVARD AVE	Ventnor City	WTA	1165
188479	Resource at NJ Parcel 0122_34_9	104 S WISSAHICKON AVE	Ventnor City	WTA	1169
188508	Resource at NJ Parcel 0122_34_12	110 S WISSAHICKON AVE	Ventnor City	WTA	1173
221108	5301 Atlantic Avenue 5301 Atlantic Avenue	5301 Atlantic Avenue	Ventnor City	WTA	1177
59311	Resource at NJ Parcel 0515_169_2_C9001	9000A BEACH AVE	Wildwood Crest	WTA	1181

BASE FORM

Historic Sites #:

Property Name: 1015 South Ocean Avenue

Street Address: Street #: 1015 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: Ocean Suffix: N/A Type: AVE

County(s): Ocean **Zip Code:** 08752

Municipality(s): Seaside Park Borough **Block(s):** 11

Local Place Name(s): N/A **Lot(s):** 27

Ownership: Private **USGS Quad(s)** Seaside Park

Description: The building at 1015 South Ocean Avenue is a one-and-one-half-story single-family home with a gambrel roof, wood shingle siding, and a recessed porch.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

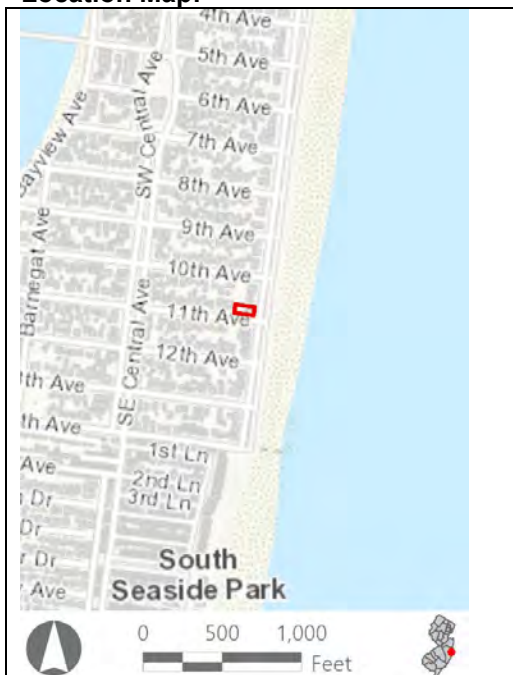


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	March 31, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Borough of Seaside Park, New Jersey. 2022. *History*. Available at: <https://www.seasideparknj.org/history/#:~:text=Seaside%20Park%20was%20a%20section, Park%20began%20to%20slowly%20grow> (Accessed August 2022).
Heritage Studies, Inc. 1981. *Seaside Park*. New Jersey Historic Sites Inventory, Ocean County Vol. 28. Available at https://www.nj.gov/dep/hpo/hrrcn_sandy_OCE_GB_147_148_PDF/OCE_GB_148_v28.pdf (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: March 31, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>1015 South Ocean Avenue</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential activity, permanent</u>		
Historic Use:	<u>Residential activity, permanent</u>		
Construction Date:	<u>1965</u>	Source:	<u>www.njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Excellent</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Medium</u>
Style:	<u>Dutch Colonial Revival</u>		
Form:	<u>Other</u>	Stories:	<u>1.5</u>
Type:	<u>N/A</u>	Bays:	<u>4</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Wood, Shingles</u>		

Exterior Description: The building at 1015 South Ocean Avenue is a one-and-one-half-story single-family home with a gambrel roof, wood shingle siding, and a recessed porch. There is a pair of gabled dormers on the forward slope of the roof with paired 1/1 replacement sash. The first-story façade is four bays with the entrance in the second bay from the left. The porch has square columns and a partially shingled foundation with small windows. The side elevations are four bays with the bay closest to the rear elevation slightly dropped so that there is a break in the roofline.

Interior Description: N/A

Setting: The resource is an oceanfront property surrounded by like buildings with direct beach access. Historic aerial imagery shows that the current street layout in Seaside Park was almost entirely in place by 1920 except for the southwestern portion of the borough, and the entire borough was completely built out by 1972.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>March 31, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Seaside Park Borough is in Ocean County south of Seaside Heights and north of Island Beach State Park on the Barnegat Peninsula barrier island. Early Euro-American whalers built temporary camps on the barrier island in the mid-to-late-seventeenth century, but the area remained largely uninhabited until the latter half of the nineteenth century. The first permanent Euro-American settlement began in 1874 and was referred to as Park City. In 1875, the area became known as Seaside Park and witnessed development as lots were sold, houses were constructed, and roads were built. Hotels such as the Berkeley Arms and the Hiawatha were built in the late 1870s to attract vacationers and sportsmen. In 1881, the Pennsylvania Railroad established a line to Seaside Park from the mainland, stimulating additional growth in the community. In 1898 Seaside Park was incorporated as its own borough. The area soon boasted grand hotels, a yacht club, a casino, and a boardwalk and attracted visitors from Philadelphia and New York City. In 1911, a road was built along the Barnegat Peninsula from Bay Head to Seaside Park, and in 1915 the Tom's River Bridge was constructed, connecting Seaside Park to the mainland via Seaside Heights. Along with increasing tourism to Seaside Heights, the road and bridge also stimulated the fishing industry. The area witnessed the decline of the grand resorts in the mid- and late-twentieth century, replaced by more affordable hotels (Borough of Seaside Park, 2022; Heritage Studies, Inc., 1981). Today, Seaside Park continues to be a popular summer destination.

Significance: 1015 South Ocean Avenue is associated with mid-twentieth-century development in Seaside Park. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1015 South Ocean Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 1015 South Ocean Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	March 31, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 905 – 907 South Ocean Avenue

Street Address: Street #: 905 907 Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: Ocean Suffix: N/A Type: AVE

County(s): Ocean **Zip Code:** 08752

Municipality(s): Seaside Park Borough **Block(s):** 20

Local Place Name(s): N/A **Lot(s):** 29

Ownership: Private **USGS Quad(s)** Seaside Park

Description: The building at 905 – 907 South Ocean Avenue is a two-story elevated single-family home with wood shingle siding, a porch, and prominent hipped-roof dormers.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

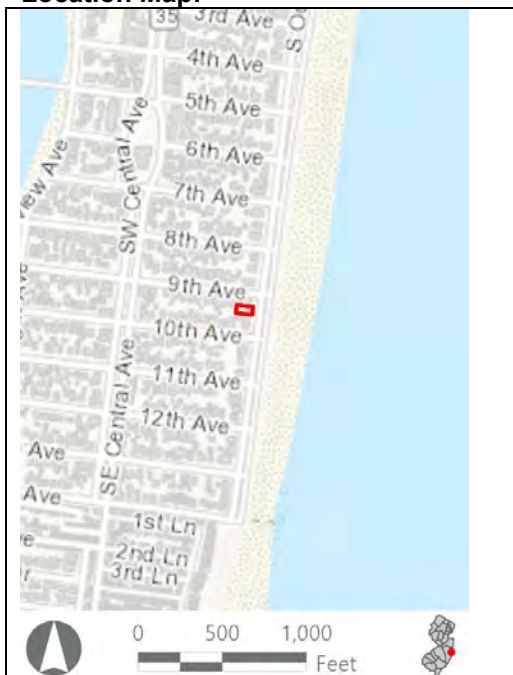


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Borough of Seaside Park, New Jersey. 2022. *History*. Available at: <https://www.seasideparknj.org/history/#:~:text=Seaside%20Park%20was%20a%20section, Park%20began%20to%20slowly%20grow> (Accessed August 2022).
Heritage Studies, Inc. 1981. *Seaside Park*. New Jersey Historic Sites Inventory, Ocean County Vol. 28. Available at https://www.nj.gov/dep/hpo/hrrcn_sandy_OCE_GB_147_148_PDF/OCE_GB_148_v28.pdf (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	905 – 907 South Ocean Avenue		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1916	Source:	www.njtaxrecords.net
Alteration Date(s):	2012-2013	Source:	Google and Bing streetviews
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Wood, Shingles		

Exterior Description: The building at 905 – 907 South Ocean Avenue is a two-story elevated single-family home with wood shingle siding, a porch, and prominent hipped-roof dormers. The façade is three bays wide and the side elevations are four bays deep. The right bay of the first story is a carport while the center bay has paired 1/1 replacement sash. The left bay is a large staircase that leads to the hipped-roof porch above. The porch has square-paneled columns and shingled corner supports. The center bay of the second-story façade is a large plate-glass window. To the left of the window is the primary entrance. To the right of the window, the bay is recessed with a pair of 1/1 replacement sash and an additional 1/1 sash on the side of the center bay. The roof of the porch has deeply overhanging eaves that merge into a skirt roof on the side elevations before becoming part of the rear hipped roofline. The top of the porch is flat and sunken to form a balcony that wraps around the dormer on the façade. The dormer is like a bay window with tripartite 1/1 sash on the forward elevation and single 1/1 on the side elevations. The dormer is flanked on either side by sliding patio doors. The side elevations have complex massing with paneled oriel windows, shed roof overhangs, balconies, and both paired and single 1/1 sash fenestration.

Interior Description: N/A

Setting: The resource is an oceanfront property surrounded by like buildings, with direct beach access. Historic aerial imagery shows that the current street layout in Seaside Park was almost entirely in place by 1920 except for the southwestern portion of the borough, and the entire borough was completely built out by 1972.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The residence at 905-907 South Ocean Avenue appears to have originally been constructed as a two-story foursquare with a hipped-roof front porch. According to Bing (2012) and Google (2013) streetviews, the building underwent a radical rehabilitation and bears little resemblance to the original design.

Seaside Park Borough is in Ocean County south of Seaside Heights and north of Island Beach State Park on the Barnegat Peninsula barrier island. Early Euro-American whalers built temporary camps on the barrier island in the mid-to-late-seventeenth century, but the area remained largely uninhabited until the latter half of the nineteenth century. The first permanent Euro-American settlement began in 1874 and was referred to as Park City. In 1875, the area became known as Seaside Park and witnessed development as lots were sold, houses were constructed, and roads were built. Hotels such as the Berkeley Arms and the Hiawatha were built in the late 1870s to attract vacationers and sportsmen. In 1881, the Pennsylvania Railroad established a line to Seaside Park from the mainland, stimulating additional growth in the community. In 1898 Seaside Park was incorporated as its own borough. The area soon boasted grand hotels, a yacht club, a casino, and a boardwalk and attracted visitors from Philadelphia and New York City. In 1911, a road was built along the Barnegat Peninsula from Bay Head to Seaside Park, and in 1915 the Tom's River Bridge was constructed, connecting Seaside Park to the mainland via Seaside Heights. Along with increasing tourism to Seaside Heights, the road and bridge also stimulated the fishing industry. The area witnessed the decline of the grand resorts in the mid- and late-twentieth century, replaced by more affordable hotels (Borough of Seaside Park, 2022; Heritage Studies, Inc., 1981). Today, Seaside Park continues to be a popular summer destination.

Significance: 905 – 907 South Ocean Avenue is associated with early-twentieth-century development in Seaside Park. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 905 – 907 South Ocean Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 905 – 907 South Ocean Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &
Organization: Environmental Services, D.P.C

Date: February 24,
2023

BASE FORM

Historic Sites #:

Property Name: 143 -149 South St. James Place

Street Address: Street #: 143 149 Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: St. James Suffix: N/A Type: PL

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 53

Local Place Name(s): N/A **Lot(s):** 11-13

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 143 -149 South St. James Place is a wide four-story multi-unit residential building. The building is six bays across the façade and is constructed of brick. A four-story porch occupies the entirety of the façade.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

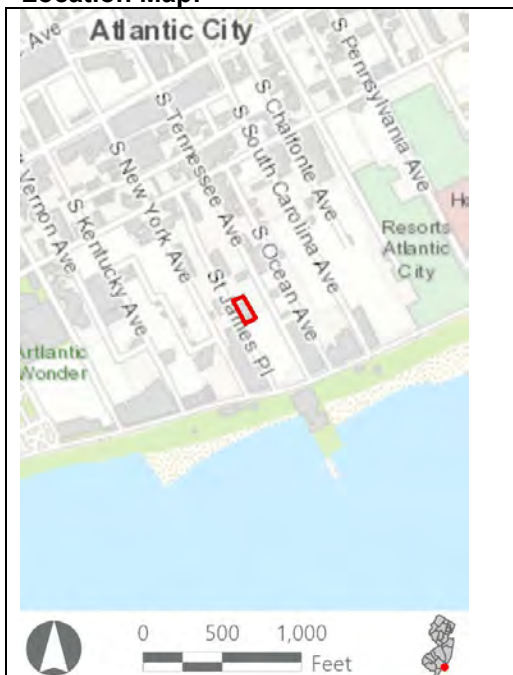


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 23, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and NPS, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
Boyd's Atlantic City Directory. 1920. C. E. Howe Company, Philadelphia. Available at https://www.google.com/books/edition/Boyd_s_Atlantic_City_Directory/v9cCAAAAYAAJ?hl=en&gbpv=0 (Accessed January 2023).
LOC. 2023. Image 21 of Sanborn Fire Insurance Map from Atlantic City, Atlantic County, New Jersey. Available at http://hdl.loc.gov/loc/gmd/g3814am.g3814am_g054081921 (Accessed January 2023).
NETRonline (NETR). 2023. *Historic Aerials*. Available at: <https://historicaerials.com/> (Accessed February 2023).
Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 23, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	143 – 149 St. James Place		
Historic Name:	Majestic Apartments		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	ca.1920	Source:	Boyd's, 1920.
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	Medium
Style:	None		
Form:	Apartment	Stories:	4
Type:	N/A	Bays:	6
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Brick		

Exterior Description: The building at 143 -149 South St. James Place is a four-story early twentieth-century brick apartment building. The façade is clad in buff brick with a series of six projecting window bays that extend all four stories and terminate in a hipped standing seam metal roof at the building roofline. Based on a historic photograph from 1921, there was once a porch roof at this juncture but now there is a stuccoed frieze band with a metal cap fitted over the coping. A four-tier porch, supported by large brick piers, extends the entirety of the façade but is an open balcony at the highest level. There are separate entries along the façade to different sections of the building, probably for dedicated stairwells leading to the units above. The fenestration is flat-arch with 1/1 double-hung sash and aluminum storms. The entries are half-glazed with a transom above. The other elevations are in a simple brown brick with regular flat-arch and segmented-arch fenestration but are otherwise devoid of features or decoration.

Interior Description: N/A

Setting: Residential/commercial area, surrounded by hotels, restaurants, and other residential properties. One block away from beach/boardwalk access. During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Constructed circa 1920, the building at 143 -149 South St. James Place appears on the 1921 Sanborn map under the name Majestic Apartments (LOC, 2023). It also appears in Boyd's Atlantic City Directory for 1920 (Boyd's, 1920). Located less than a block from the Boardwalk, the apartment building was seated amongst transient housing primarily hotels catering to the tourist trade. The Hotel Lockhart and St. James were located immediately next to the apartment building. The Kenderton hotel was located to the east of the apartment building on Tennessee and the Brunswick and Beachside hotels as well as the Elwood Hotel were located across the street on St. James (LOC, 2023).

Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 143 -149 South St. James Place is associated with early-twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 143 -149 South St. James Place is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 143 -149 South St. James Place is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 112 South Texas Avenue

Street Address: Street #: 112 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: Texas Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 35

Local Place Name(s): N/A **Lot(s):** 40

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The residence located at 112 South Texas Avenue is a single-bay two-story building. The building is clad in pale green stucco siding. There is a covered balcony on the side elevation.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 23, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	112 South Texas Avenue		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1951	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Medium
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	1
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Stucco		

Exterior Description: The residence located at 112 South Texas Avenue is a single-bay two-story building. The building is set back from the street and is clad in pale green stucco siding. The roof is flat with a parapet that steps up on the building corners. There is a shed-roof balcony on the side elevation that is supported underneath by braces. The fenestration is paired 1/1 replacement on the second story and a single flat-arch 1/1 sash on the first. The entrance is to the right of the window.

Interior Description: N/A

Setting: The building located at 112 South Texas Avenue is in a primarily residential area of tightly packed residential buildings about one block away from the boardwalk and beach access. During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 112 South Texas Avenue is associated with mid-twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 112 South Texas Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 112 South Texas Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 23,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 139 South Texas Avenue

Street Address: Street #: 139 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: Texas Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 36

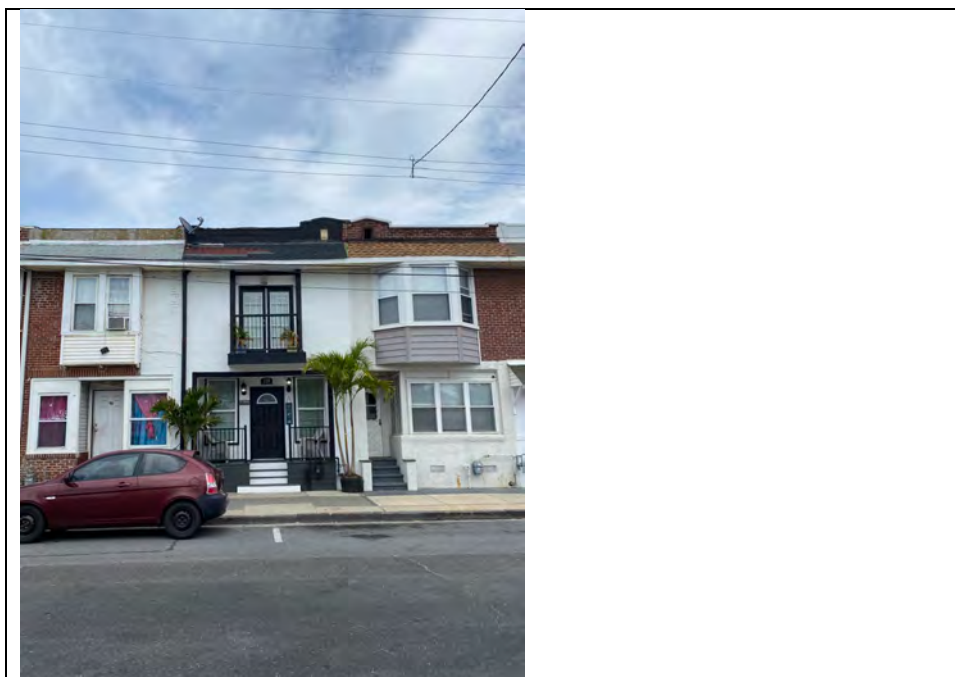
Local Place Name(s): N/A **Lot(s):** 20

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The residence at 139 South Texas Avenue is a two-story brick row house with a pent roof and a recessed porch.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 23, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

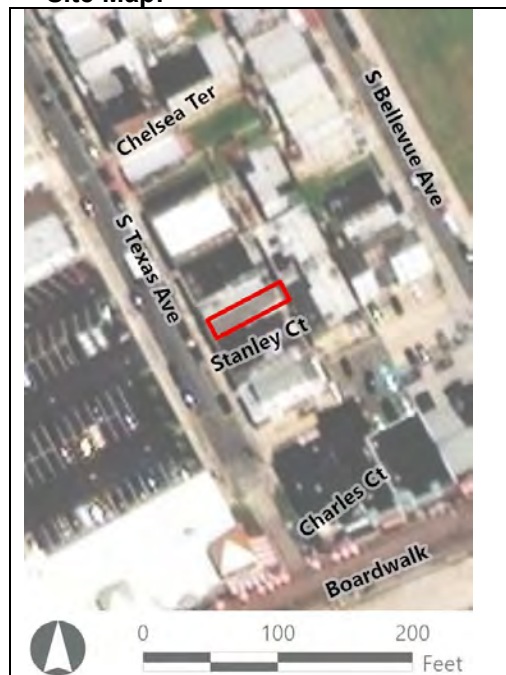
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	139 South Texas Avenue		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1900	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Row	Stories:	2
Type:	N/A	Bays:	1
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Brick		

Exterior Description: The residence at 139 South Texas Avenue is a two-story brick rowhouse with a flat roof and parapet. Below the parapet is a pent roof with asphalt shingle cladding. The second story is a single bay with multi-light replacement French doors that open onto a balconette. The first story is three bays across within a shallow recessed porch. The entry is in the center bay with an oversized 9/9 replacement sash on either side.

Interior Description: N/A

Setting: The building at 139 South Texas Avenue is in a primarily residential area within a block of rowhouses about half a block away from the beach and boardwalk. During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 139 South Texas Avenue is associated with early-twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Does not appear to retain sufficient exterior integrity or exhibit architectural significance. Background research did not reveal any associations with historically important events or persons; therefore, 139 South Texas Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 139 South Texas Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 242 South Vermont Avenue

Street Address: Street #: 242 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: Vermont Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 74

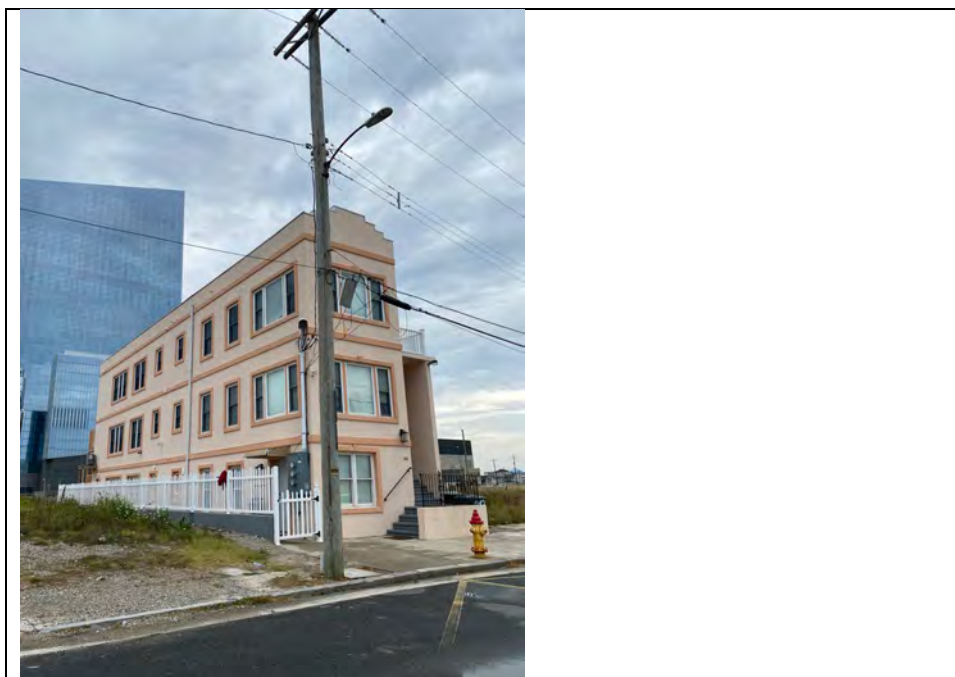
Local Place Name(s): N/A **Lot(s):** 21

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The residential building at 242 South Vermont Avenue is a three-story masonry apartment building clad in stucco.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

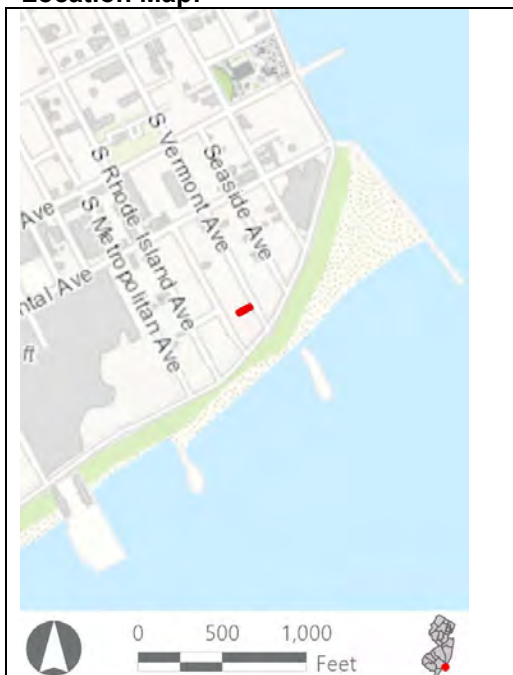


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 23, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 23, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>242 South Vermont Avenue</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential activity, permanent</u>		
Historic Use:	<u>Residential activity, permanent</u>		
Construction Date:	<u>1930</u>	Source:	<u>www.njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Medium</u>
Style:	<u>None</u>		
Form:	<u>Apartment</u>	Stories:	<u>3</u>
Type:	<u>N/A</u>	Bays:	<u>1</u>
Roof Finish Materials:	<u>Unknown</u>		
Exterior Finish Materials	<u>Stucco</u>		

Exterior Description: The residential building at 242 South Vermont Avenue is a three-story masonry apartment building clad in stucco. The building is long and narrow at a single bay in width and seven bays in depth. The roof is flat with a stepped parapet on the façade. The entry is recessed within a projecting two-story side bay that supports a balcony on the third story. The fenestration is flat arch 1/1 replacement sash and tripartite with a fixed center sash.

Interior Description: N/A

Setting: The building at 242 South Vermont Avenue is located at the end of a block surrounded by empty lots. It has immediate access to the boardwalk and beach and is near some other residential properties and large multistory structures. During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 23, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 242 South Vermont Avenue is associated with early-twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 242 South Vermont Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 242 South Vermont Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 137 South Texas Avenue

Street Address: Street #: 137 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: Texas Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 36

Local Place Name(s): N/A **Lot(s):** 19

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The residence at 137 South Texas Avenue is a two-story brick rowhouse.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 23,
2023

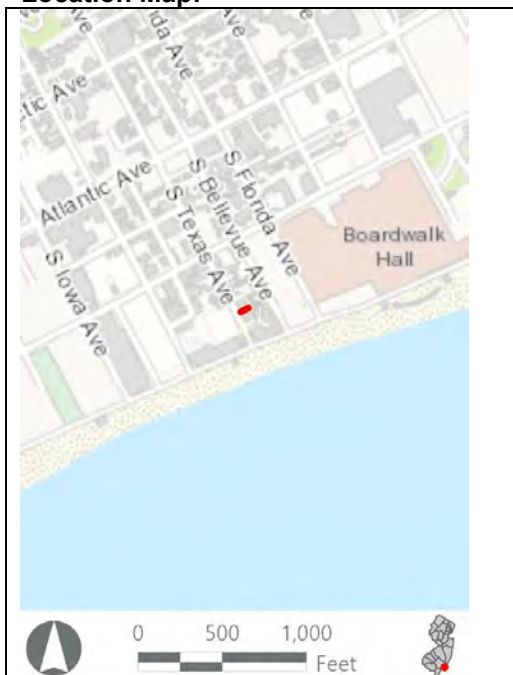
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. Atlantic City History. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	137 South Texas Avenue		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1900	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Row	Stories:	2
Type:	N/A	Bays:	1
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Brick		

Exterior Description: The residence at 137 South Texas Avenue is a two-story brick rowhouse. The roof is flat with a parapet, below which is a pent roof with asphalt shingle cladding. The second story is a single bay featuring a shallow oriel window with paired 1/1 replacement sash. The first story once had a three-bay recessed porch, but now only the entry is recessed with the flanking bays infilled with vinyl siding and mismatched 1/1 replacement sash.

Interior Description: N/A

Setting: Primarily residential area half a block away from beach/boardwalk access. Tightly packed residential buildings. During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 137 South Texas Avenue is associated with early-twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: research did not reveal any associations with historically important events or persons; therefore, 137 South Texas Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 137 South Texas Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C.

Date: February 23, 2023

BASE FORM

Historic Sites #:

Property Name: 116 South Texas Avenue

Street Address: Street #: 116 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: Texas Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 35

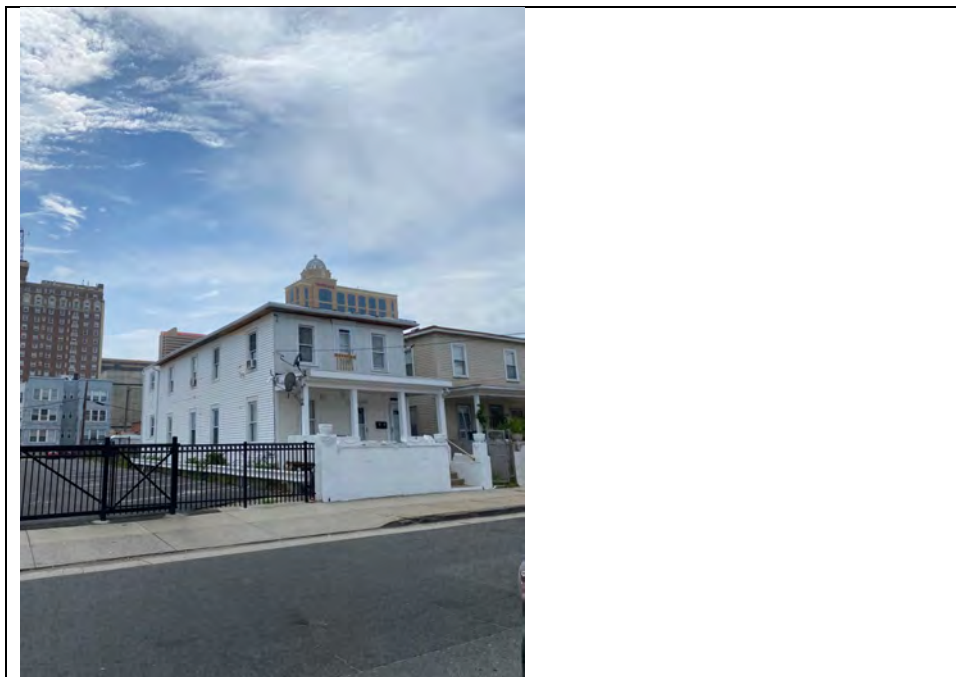
Local Place Name(s): N/A **Lot(s):** 42

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The residence at 116 South Texas Avenue is a two-story duplex with a porch and a combination of white stucco and vinyl siding.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

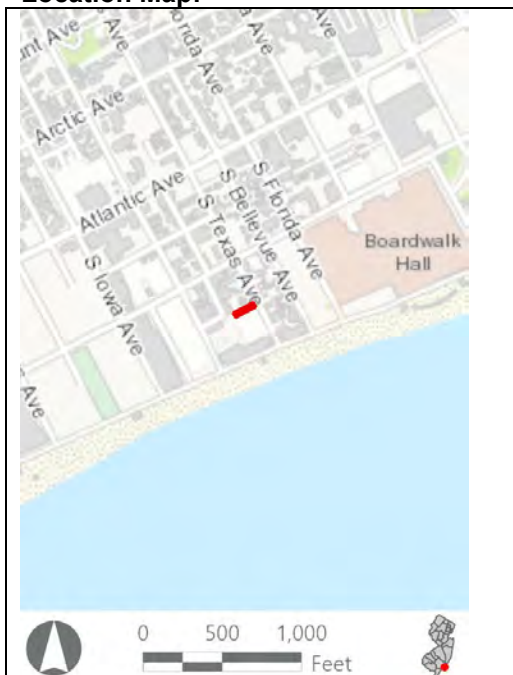


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 23, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. Atlantic City History. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	116 South Texas Avenue		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1930	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Medium
Style:	None		
Form:	Duplex	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Stucco		

Exterior Description: The residence at 116 South Texas Avenue is a two-story duplex on a rectangular plan. The building is three bays across the façade and five bays deep. The roof is flat with overhanging eaves. The fenestration is 1/1 replacement sash and the siding is primarily vinyl with the exception of the second-story façade which is stucco. There is a one-story flat-roof porch on the façade with square supports and a parged masonry foundation. Pedestrian doors occupy the center and right bays on the first story and the center bay on the second story.

Interior Description: N/A

Setting: Primarily residential area, one block away from beach/boardwalk access. Tightly packed residential buildings. During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 116 South Texas Avenue is associated with early-twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 116 South Texas Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 116 South Texas Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 135 South Texas Avenue

Street Address: Street #: 135 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: Texas Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 36

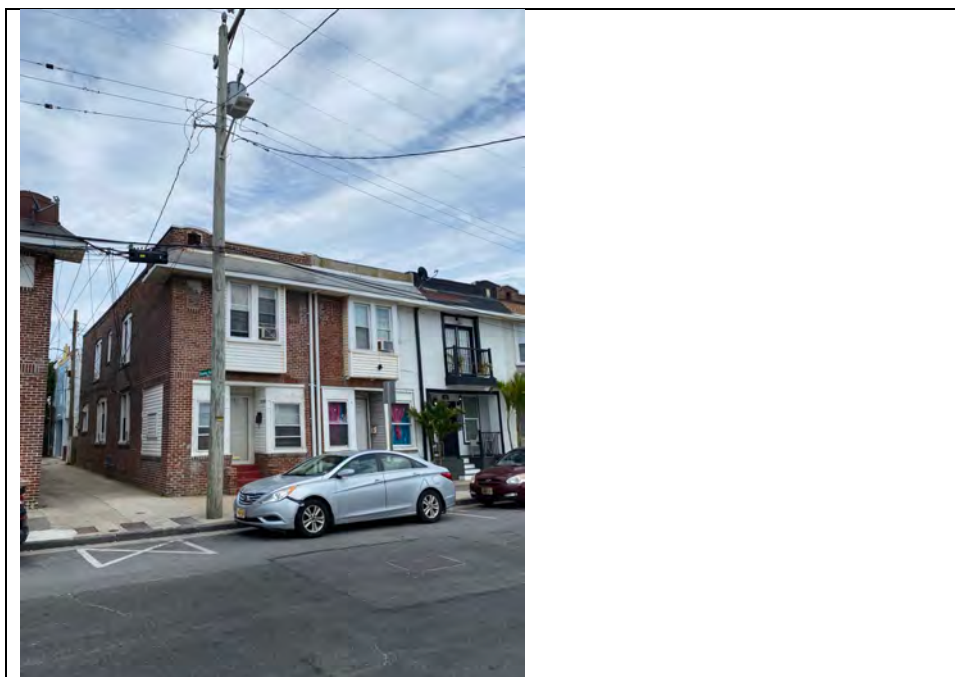
Local Place Name(s): N/A **Lot(s):** 18

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The residence at 135 South Texas Avenue is a two-story brick rowhouse.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 23, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. Atlantic City History. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 23, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	135 South Texas Avenue		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1900	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Row	Stories:	2
Type:	N/A	Bays:	1
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Brick		

Exterior Description: The residence at 135 South Texas Avenue is a two-story brick rowhouse. The roof is flat with a parapet, below which is a pent roof with asphalt shingle cladding. The second story is a single bay featuring a shallow oriel window with paired 1/1 replacement sash. The first story once had a three-bay recessed porch, but now only the entry is recessed with the flanking bays infilled with vinyl siding and mismatched 1/1 replacement sash.

Interior Description: N/A

Setting: Primarily residential area half a block away from beach/boardwalk access. Tightly packed residential buildings. During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 135 South Texas Avenue is associated with early-twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 135 South Texas Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 135 South Texas Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 143 South Texas Avenue

Street Address: Street #: 143 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: Texas Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 36

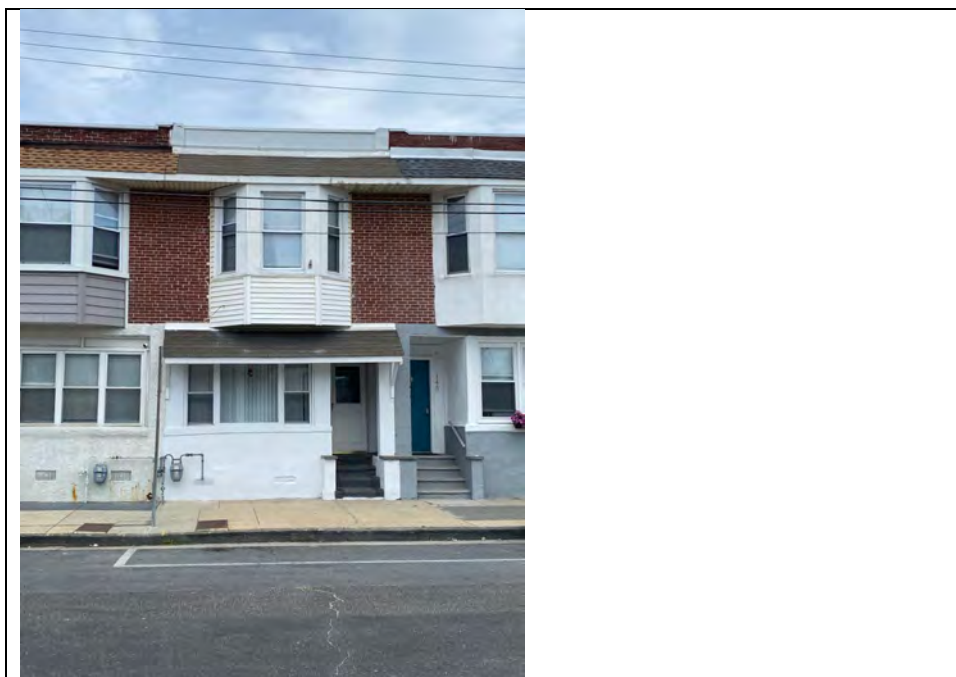
Local Place Name(s): N/A **Lot(s):** 22

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The residence at 143 South Texas Avenue is a two-story brick rowhouse.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 23, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. Atlantic City History. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 23, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	143 South Texas Avenue		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1900	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Row	Stories:	2
Type:	N/A	Bays:	1
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Brick		

Exterior Description: The residence at 143 South Texas Avenue is a two-story brick rowhouse. The roof is flat with a parapet, below which is a pent roof with asphalt shingle cladding. The second story is a single bay featuring an angled oriel window with 1/1 replacement sash. The first story is parged, with a recessed entrance in the right bay. The fenestration is a single tripartite sash with a fixed center pane flanked by 1/1. A shed roof awning supported by brackets and clad in asphalt shingles separates the first and second stories.

Interior Description: N/A

Setting: Primarily residential area half a block away from beach/boardwalk access. Tightly packed residential buildings. During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 143 South Texas Avenue is associated with early-twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 143 South Texas Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 143 South Texas Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 145 South Texas Avenue

Street Address: Street #: 145 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: Texas Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 36

Local Place Name(s): N/A **Lot(s):** 23

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The residence at 145 South Texas Avenue is a two-story brick rowhouse.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

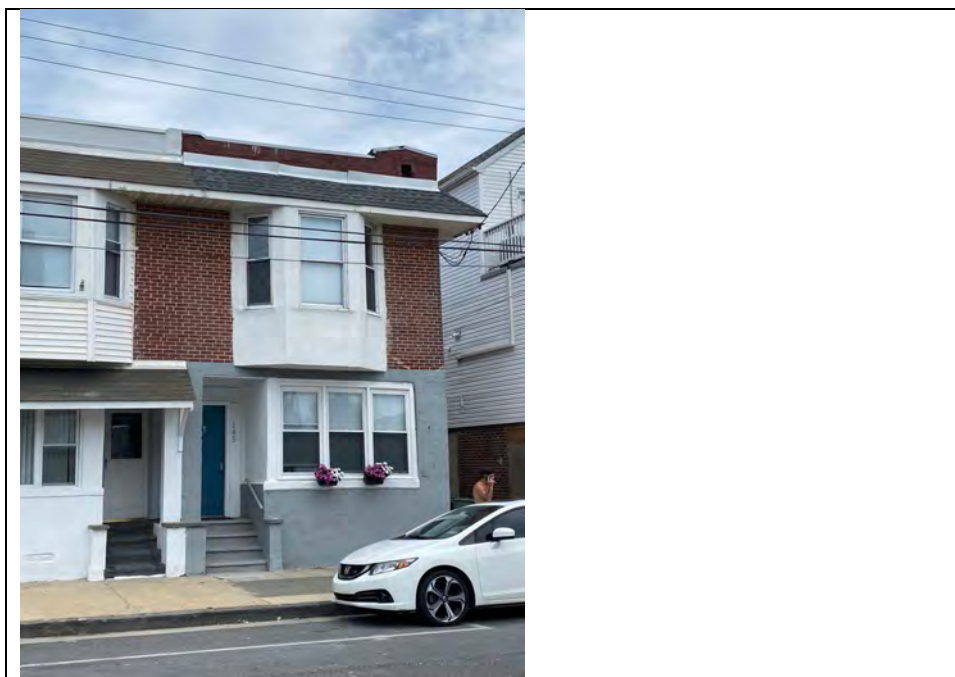
New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 23,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. Atlantic City History. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 23, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	145 South Texas Avenue		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1900	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Row	Stories:	2
Type:	N/A	Bays:	1
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Brick		

Exterior Description: The residence at 145 South Texas Avenue is a two-story brick rowhouse. The roof is flat with a parapet, below which is a pent roof with asphalt shingle cladding. The second story is a single bay featuring an angled oriel window with 1/1 replacement sash. The first story is parged, with a recessed entrance in the left bay. The fenestration is a bank of three 1/1 replacement sash.

Interior Description: N/A

Setting: Primarily residential area half a block away from beach/boardwalk access. Tightly packed residential buildings. During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 145 South Texas Avenue is associated with early-twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 145 South Texas Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 145 South Texas Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 204 South Vermont Avenue

Street Address: Street #: 204 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: Vermont Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 74

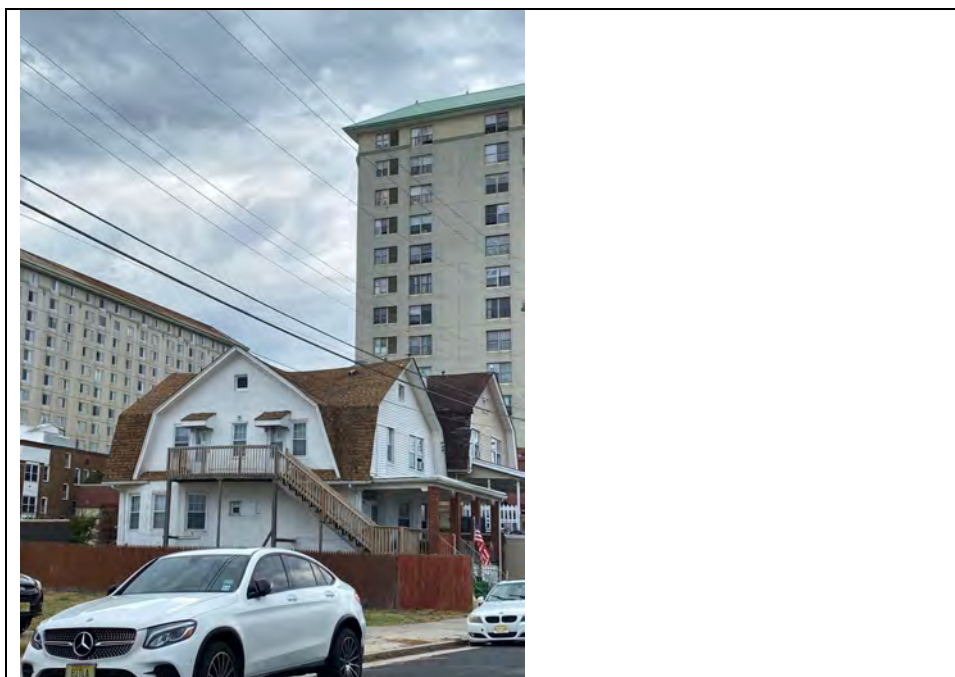
Local Place Name(s): N/A **Lot(s):** 2

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The residence at 204 South Vermont Avenue is a two-story house in the Dutch Colonial Revival style. It has a cross-gambrel roof system.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

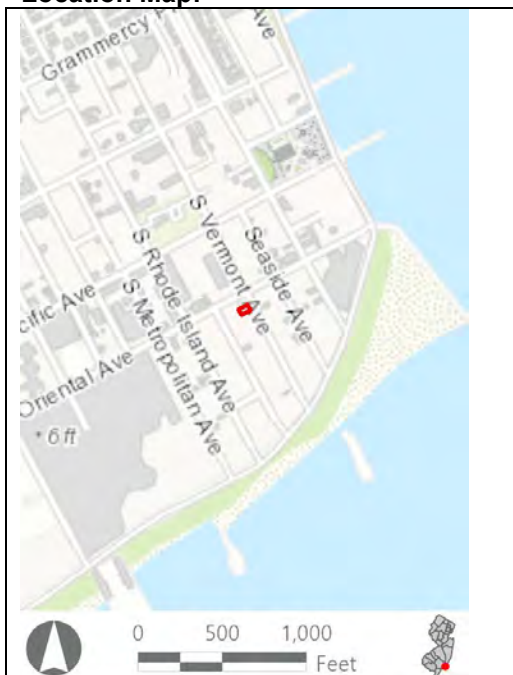


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 23, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. Atlantic City History. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 23,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 204 South Vermont Avenue

Historic Name: N/A

Present Use: Residential activity, permanent

Historic Use: Residential activity, permanent

Construction Date: 1900 **Source:** www.njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Fair

Builder: N/A **Remaining Historic Fabric:** Low

Style: Dutch Colonial Revival

Form: Other **Stories:** 2

Type: N/A **Bays:** 2

Roof Finish Materials: Asphalt Shingle

Exterior Finish Materials Stucco

Exterior Description: The residence at 204 South Vermont Avenue is a two-story house in the Dutch Colonial Revival style. It has a cross-gambrel roof system. There is a one-story porch on the facade with a flat roof and brick supports. Overall, the cladding is stucco with the exception of the second story of the facade which is clad in vinyl siding. A wooden fire escape leads to the second story on the side elevation where there are two doors with shed roof awnings. The fenestration is generally 1/1 and 6/6 replacement sash.

Interior Description: N/A

Setting: Primarily residential area one block from beach/boardwalk access. Adjacent to similar residential buildings. During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 204 South Vermont Avenue is associated with early-twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 204 South Vermont Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 204 South Vermont Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 109 South California Avenue

Street Address: Street #: 109 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: California Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 34

Local Place Name(s): N/A **Lot(s):** 6

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The residence at 109 South California Avenue is a three-story building with a hipped roof, vinyl siding, and a one-story porch.

Registration and Status Dates: National Historic Landmark: _____

National Register: _____

New Jersey Register: _____

Determination of Eligibility: _____

SHPO Opinion: _____

Local Designation: _____

Other Designation: _____

Other Designation Date: _____

Photograph:

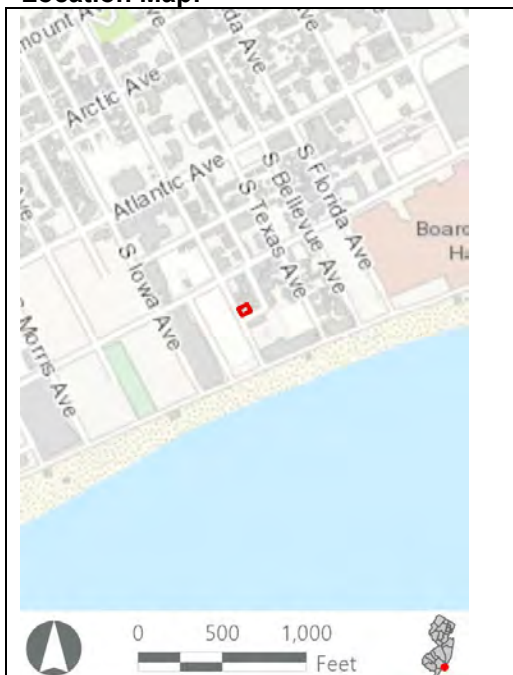


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 23, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. Atlantic City History. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 23, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	109 South California Avenue		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1930	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	3
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The residence at 109 South California Avenue is a three-story building with a hipped roof on a rectangular plan. The building is two bays across the facade except for the first story which extends an additional bay beyond the side elevation on the right. The first story features a hipped roof porch with wood posts and a corbelled brick foundation. There are paired angled oriel windows on the second-story façade. The fenestration is 1/1 with an entry in the second bay from the left within the first-story porch.

Interior Description: N/A

Setting: Primarily residential area with some commercial buildings nearby. One block from beach/boardwalk access. During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 109 South California Avenue is associated with early-twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 109 South California Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 109 South California Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 114 South Texas Avenue

Street Address: Street #: 114 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: Texas Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 35

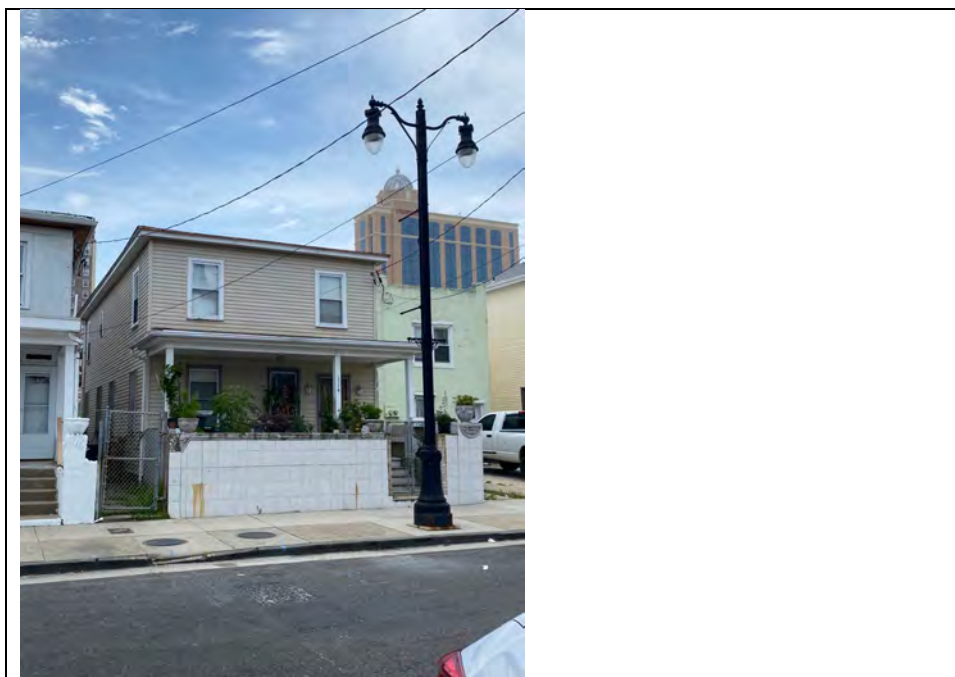
Local Place Name(s): N/A **Lot(s):** 41

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The residence at 114 South Texas Avenue is a two-story house with beige vinyl siding and a covered front porch.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 23, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. Atlantic City History. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 23, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	114 South Texas Avenue		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1900	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	2
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The residence at 114 South Texas Avenue is a two-story house on a rectangular plan. The building is two bays across the facade and four bays deep. It has a flat roof with overhanging eaves, vinyl siding, and 1/1 replacement sash. There is a one-story porch on the facade with square posts, a flat roof, and a masonry foundation with a brick bulkhead that is tiled on the street-facing side.

Interior Description: N/A

Setting: Primarily residential area half a block away from beach/boardwalk access. Tightly packed residential buildings. During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 114 South Texas Avenue is associated with early-twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 114 South Texas Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 114 South Texas Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 217 South Metropolitan Avenue

Street Address: Street #: 217 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: Metropolitan Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 71

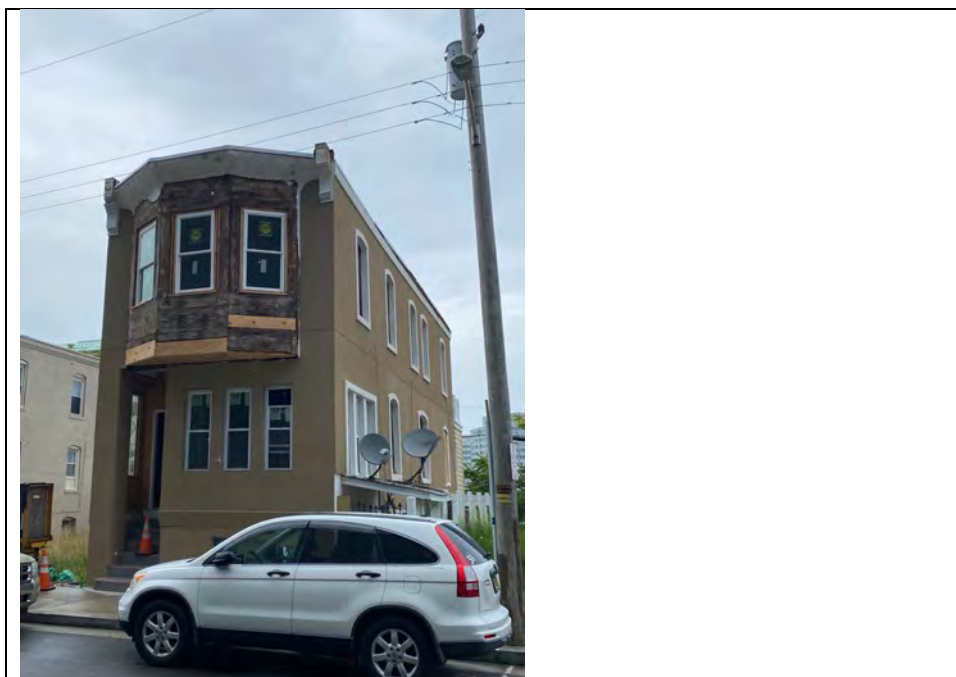
Local Place Name(s): N/A **Lot(s):** 49

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The residence at 217 South Metropolitan Avenue is two-story rowhouse with brown stucco siding, a bay window with wood paneling, and a recessed entranceway.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

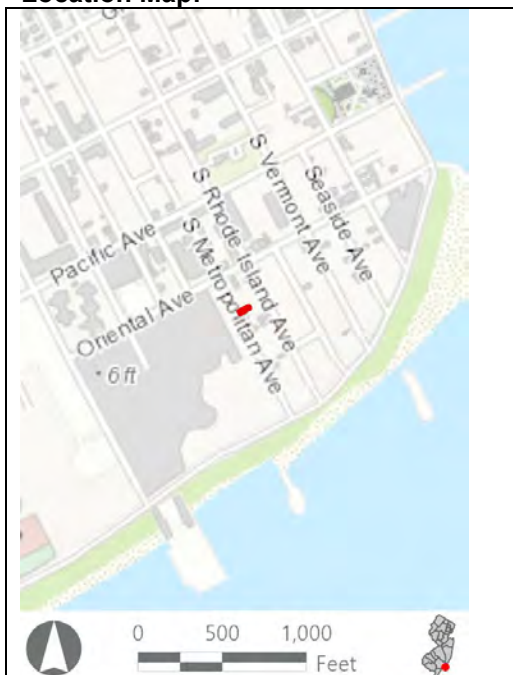


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. Atlantic City History. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 23,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	217 South Metropolitan Avenue		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1920	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Row	Stories:	2
Type:	N/A	Bays:	1
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Stucco		

Exterior Description: The residence at 217 South Metropolitan Avenue is two-story rowhouse. The building has been recently clad with brown stucco, but plywood around the entryway and exposed wood paneling on the second-story oriel window indicate that the work is not complete. The cornice has been removed and all that remains are the end brackets. The fenestration is 1/1 replacement sash. These are flat arch on the façade, but largely segmental on the side elevations. The entrance is recessed with an open foyer and a partially open sidewall.

Interior Description: N/A

Setting: Located in a diminishing residential area, across the street from Ocean Casino Resort, and almost a block away from beach/boardwalk access. Some similar residential buildings adjacent. During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 217 South Metropolitan Avenue is associated with early-twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 217 South Metropolitan Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 217 South Metropolitan Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 108 Albion Place

Street Address: Street #: 108 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Albion Suffix: N/A Type: PL

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 34

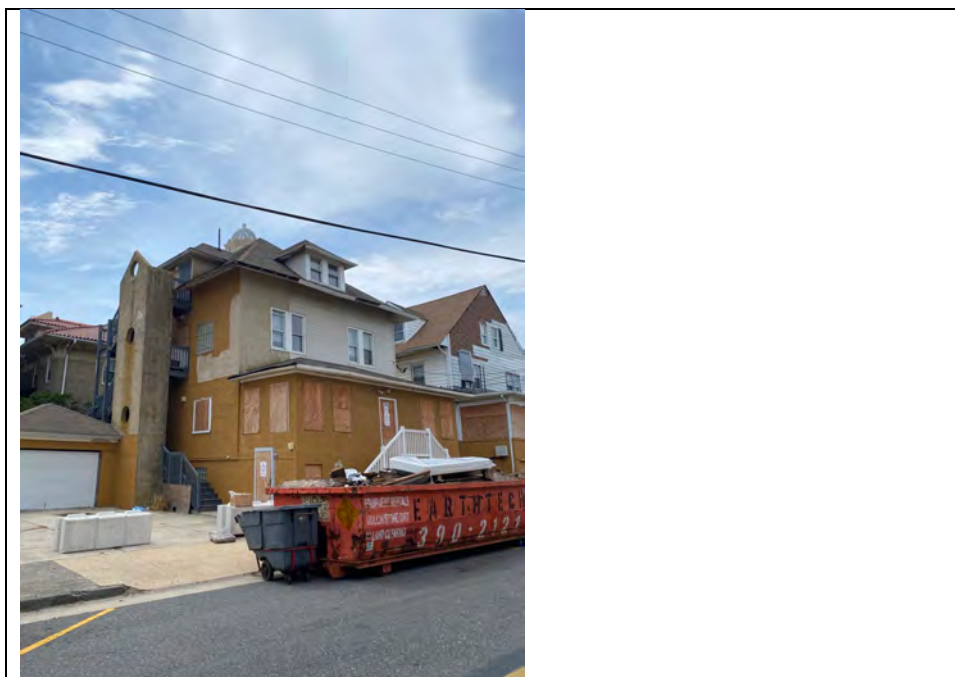
Local Place Name(s): N/A **Lot(s):** 5

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The residence at 108 Albion Place is a two-story foursquare. The building has unfinished beige vinyl siding and an attached one-stall garage. There is above ground basement access, and outdoor stairs accessing the second and third floors.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

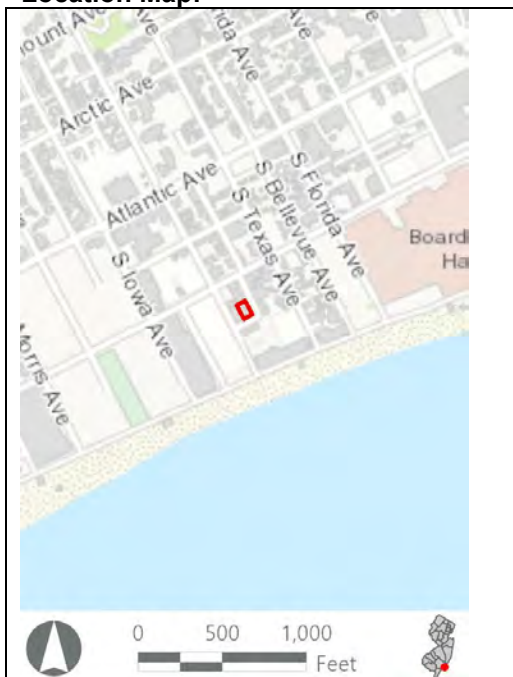


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 23, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. Atlantic City History. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	108 Albion Place		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1930	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Four Square	Stories:	3
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The residence at 108 Albion Place is a two-story foursquare. The building has a hipped roof with hipped roof dormers. The fenestration is paired 1/1 replacement sash. While vinyl siding appears over part of the upper elevation and roof dormers much of the exterior cladding appears to have been obscured with plywood that is in the process of being painted. There is a one-story hipped roof porch on the facade that is entirely enclosed with plywood. The basement is high and there is a temporary door on the side of the porch foundation that provides pedestrian access. A second pedestrian door is located at the top of a flight of steps at the center of the enclosed porch. A partially enclosed stair tower occupies the side elevation with ocular windows without sash and a gabled parapet. This tower is also connected to a hipped roof garage.

Interior Description: N/A

Setting: Primarily residential area half a block away from beach/boardwalk access. surrounded by similar residential buildings and larger multi-unit residences. During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 108 Albion Place is associated with early-twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 108 Albion Place is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 108 Albion Place is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 141 South Texas Avenue

Street Address: Street #: 141 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: Texas Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 36

Local Place Name(s): N/A **Lot(s):** 21

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The residence at 141 South Texas Avenue is a two-story brick rowhouse.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

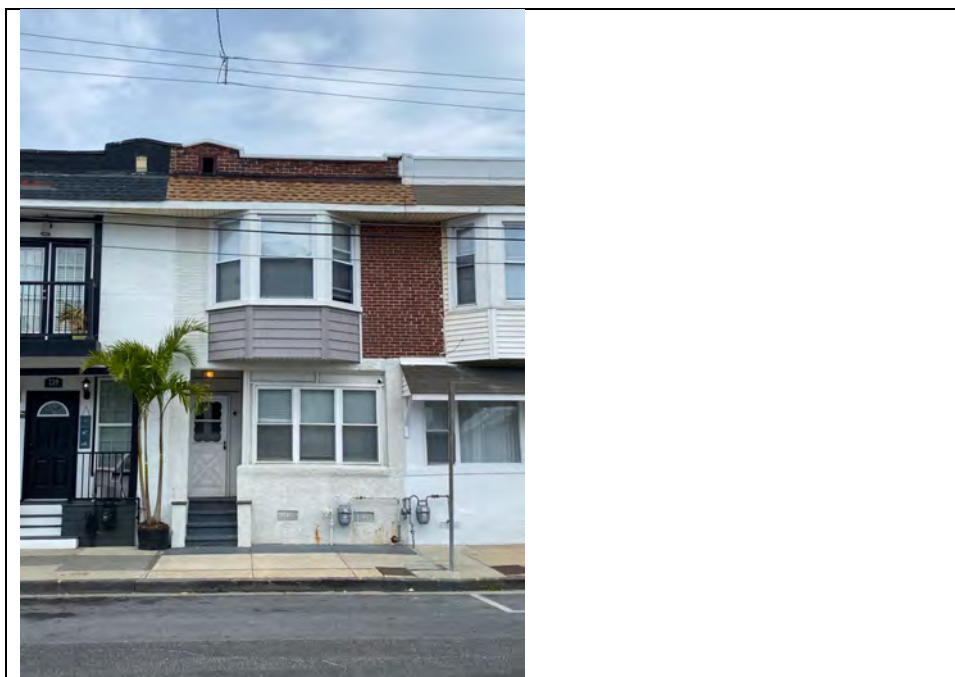
New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 23,
2023

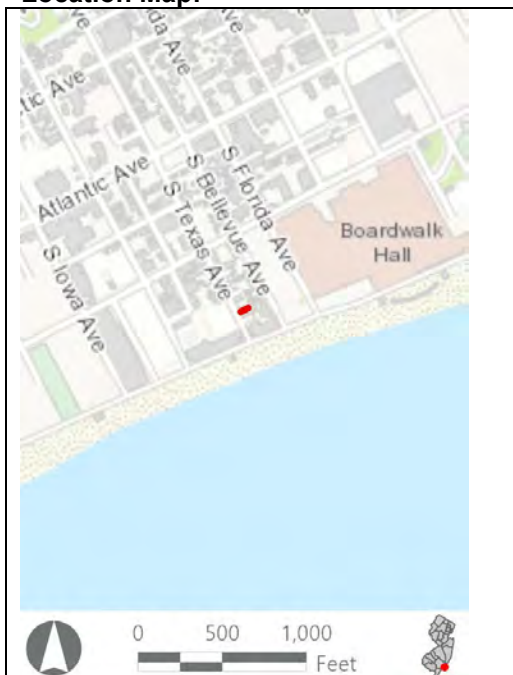
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. Atlantic City History. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &
Organization: Environmental Services, D.P.C

Date: February 23, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 141 South Texas Avenue

Historic Name: N/A

Present Use: Residential activity, permanent

Historic Use: Residential activity, permanent

Construction Date: 1900 **Source:** www.njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Fair

Builder: N/A **Remaining Historic Fabric:** Low

Style: None

Form: Row **Stories:** 2

Type: N/A **Bays:** 1

Roof Finish Materials: Asphalt Shingle

Exterior Finish Materials Brick

Exterior Description: The residence at 141 South Texas Avenue is a two-story brick rowhouse. The roof is flat with a parapet, below which is a pent roof with asphalt shingle cladding. The second story is a single bay featuring an angled oriel window with 1/1 replacement sash. The first story is parged, with a recessed entrance in the left bay. The fenestration is a bank of three 1/1 replacement sash.

Interior Description: N/A

Setting: Primarily residential area half a block away from beach/boardwalk access. Tightly packed residential buildings. During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 141 South Texas Avenue is associated with early-twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 141 South Texas Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 141 South Texas Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 162 St. James Place

Street Address: Street #: 162 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: St. James Suffix: N/A Type: PL

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 52

Local Place Name(s): N/A **Lot(s):** 27

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 162 St. James Place is a five-story apartment building with stucco siding, a covered balcony, and bay windows.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

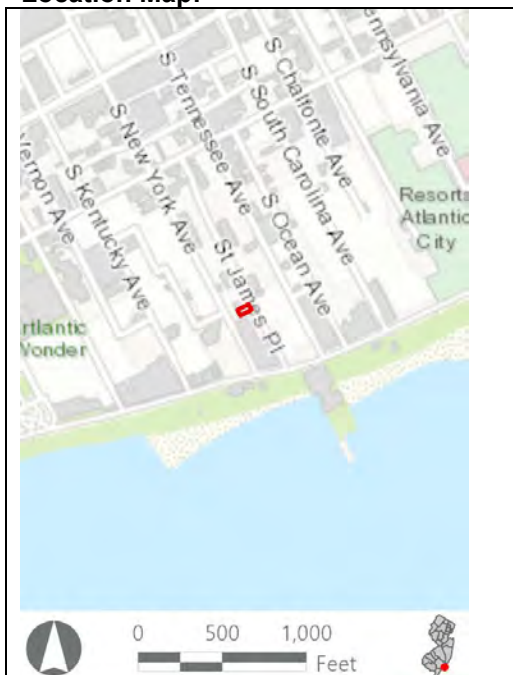


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 23, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. Atlantic City History. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 23,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	162 St. James Place		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1930	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Apartment	Stories:	5
Type:	N/A	Bays:	3
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Stucco		

Exterior Description: The building at 162 St. James Place is a five-story apartment block with a flat roof with overhanging eaves. The facade is clad in stucco with false half-timbering applied on the upper elevation. There is a two-story porch with Doric columns and a flat roof. A pedestrian entrance on the first story is in the central bay with a second pedestrian entrance on the second story also in the central bay. Access to the second story is via a flight of steps underneath the porch that penetrates the porch deck on the second story. There are paired two-story oriel windows on the third and fourth stories that have a shared cornice with modillions. The fenestration overall is 1/1 replacement sash either single or in sets of three. The fenestration on the fifth-story facade was originally round-arched but is now infilled with replacement sash.

Interior Description: N/A

Setting: Commercial/tourist area about one block from beach/boardwalk access. During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 162 St. James Place is associated with early-twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 162 St. James Place is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 162 St. James Place is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 147 South Texas Avenue

Street Address: Street #: 147 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: Texas Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 36

Local Place Name(s): N/A **Lot(s):** 25

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The residence at 147 South Texas Avenue is a three-story house with white vinyl and brick siding and an uncovered balcony on the third story.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

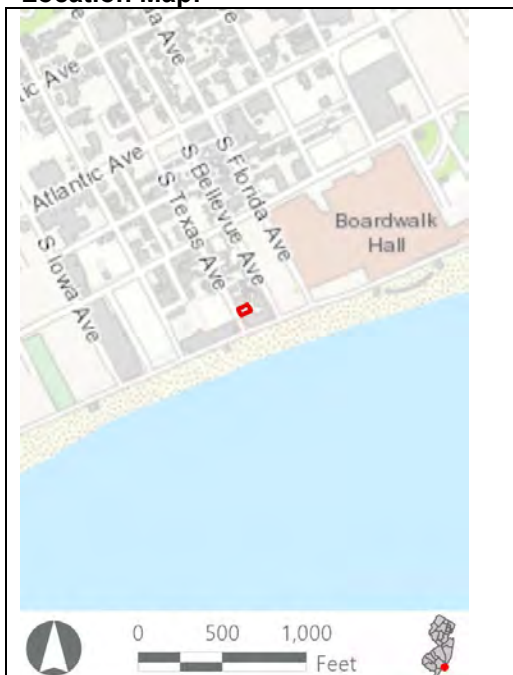


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 23, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. Atlantic City History. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 23,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	147 South Texas Avenue		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1900	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Gable Front	Stories:	3
Type:	N/A	Bays:	3
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Brick		

Exterior Description: The residence at 147 South Texas Avenue is a three-story house on a gable front plan. The building is clad in vinyl siding except for the first story which is mostly clad in brick. There is a two-story enclosed porch or projection on the facade. The second story at the projection slightly overhangs the first and has a rooftop deck or balcony. There are pedestrian doors on either side of the first-story facade with 1/1 double-hung sash in between. The second story projection is three bays across with 1/1 replacement sash. The third story is three bays across one of which is occupied by a pedestrian door. The other two bays are 1/1 sash. There is a 1/1 double-hung wood sash in the gable providing illumination to the attic. The fenestration on the side elevation is four bays across with 1/1 sash. There is a secondary entrance in the third bay on the first story of the side elevation.

Interior Description: N/A

Setting: Primarily residential area, near immediate access to beach/boardwalk. Tightly packed residential buildings. During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 147 South Texas Avenue is associated with early-twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 147 South Texas Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 147 South Texas Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 142 South Tennessee Avenue

Street Address: Street #: 142 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: Tennessee Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 53

Local Place Name(s): N/A **Lot(s):** 17

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 142 South Tennessee Avenue is a four-story mixed-use building.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

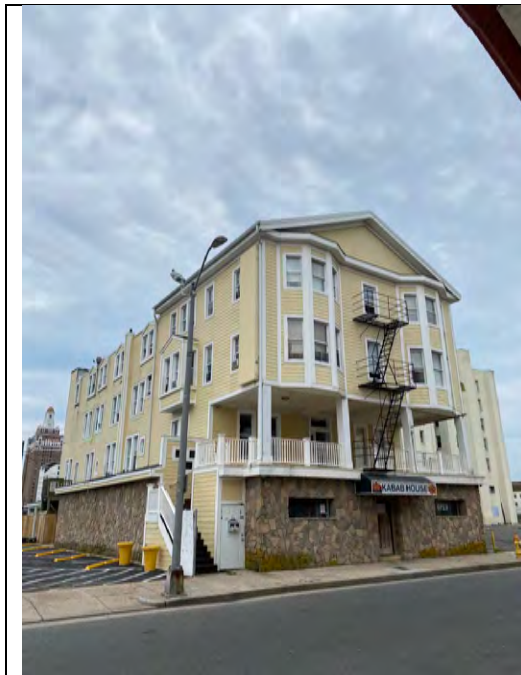
New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 23, 2023

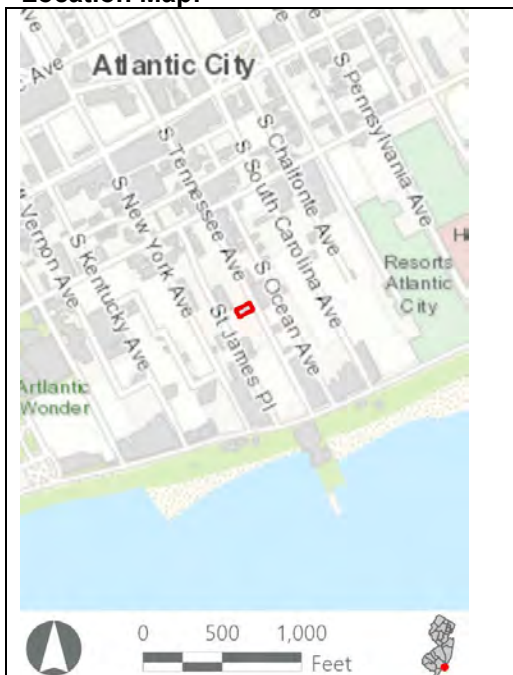
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. Atlantic City History. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	142 South Tennessee Avenue		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1901	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Apartment	Stories:	4
Type:	N/A	Bays:	3
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Wood, Clapboard		

Exterior Description: The building at 142 South Tennessee Avenue is a four-story mixed-use building. The building is three bays across the facade and nine bays deep. The roof is gabled over the first five bays on the street-facing section of the building and is flat for the remainder. There are two-story angled oriel windows, one on either end bay of the third and fourth stories of the facade. A recessed porch occupies the second-story facade. The first story is a commercial space clad in stone veneer. There is a center entry at the first story into the commercial space flanked by horizontal fixed sash. The second-story porch has a center entry with a transom and is flanked by paired 1/1 sash. The fenestration overall is 1/1 sash either single or paired. The side elevations have wall dormers on the fourth story with paired sash. The siding is wood clapboard except for at the commercial storefront and the first-story side elevations which, as noted, are stone veneer.

Interior Description: N/A

Setting: Commercial/tourist area, residences are located in the same buildings as commercial businesses. Over a block away from beach/boardwalk access. During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 142 South Tennessee Avenue is associated with early-twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 142 South Tennessee Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 142 South Tennessee Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 223 Oriental Avenue

Street Address: Street #: 223 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Oriental Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 75

Local Place Name(s): N/A **Lot(s):** 15

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The residence at 223 Oriental Avenue is a two-story building with painted (white) brick and a covered entranceway.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

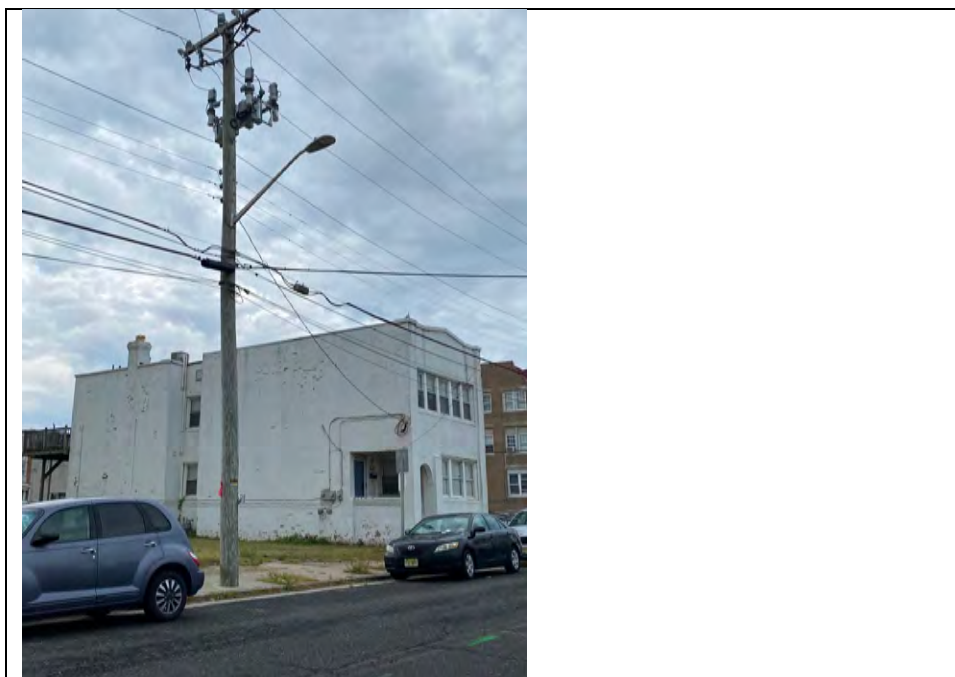
New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:

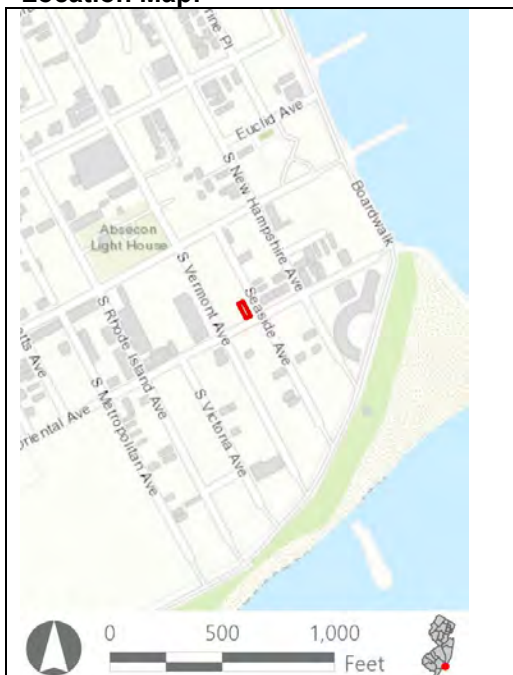


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 23, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. Atlantic City History. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	223 Oriental Avenue		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1923	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Medium
Style:	None		
Form:	Row	Stories:	2
Type:	N/A	Bays:	1
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Brick		

Exterior Description: The residence at 223 Oriental Avenue is a two-story building on a rectangular plan with a flat roof and a low pedimented parapet on the facade. Fenestration is banks of ribbon windows with 1/1 replacement sash on the facade. The fenestration on the side elevation is limited to a recessed window well and is also 1/1 replacement sash. There is a recessed corner entry porch with a round arch portal and an open sidewall.

Interior Description: N/A

Setting: Primarily residential area with some large commercial buildings. One block away from beach/boardwalk access. During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 223 Oriental Avenue is associated with early-twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 223 Oriental Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 223 Oriental Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 227 South Metropolitan Avenue

Street Address: Street #: 227 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: Metropolitan Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 71

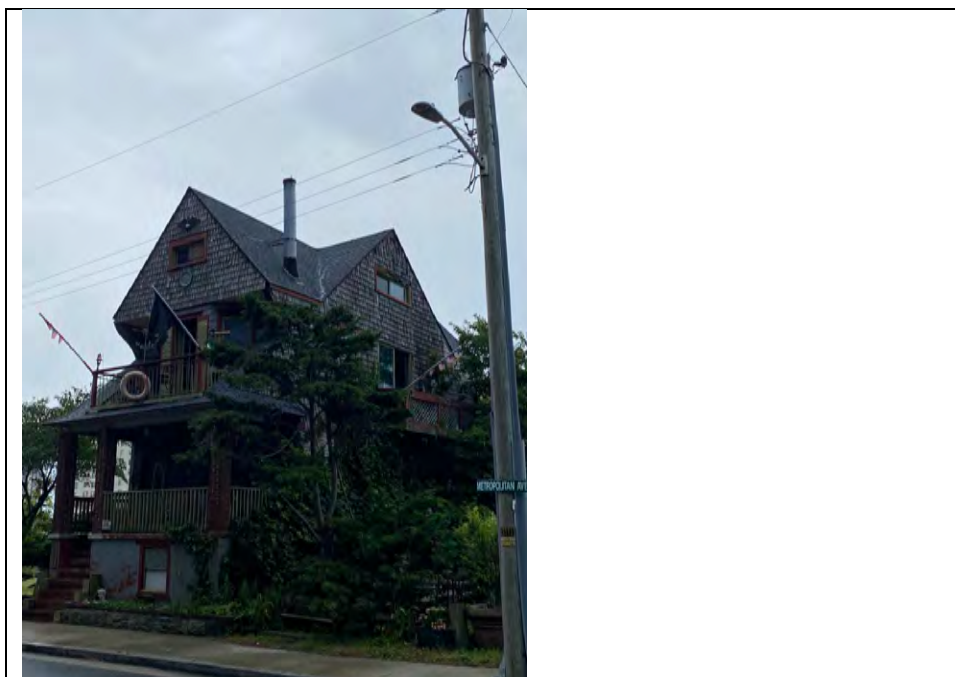
Local Place Name(s): N/A **Lot(s):** 44

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The residence at 227 South Metropolitan Avenue is a two-story cross-gable residence with a porch and wood single siding.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

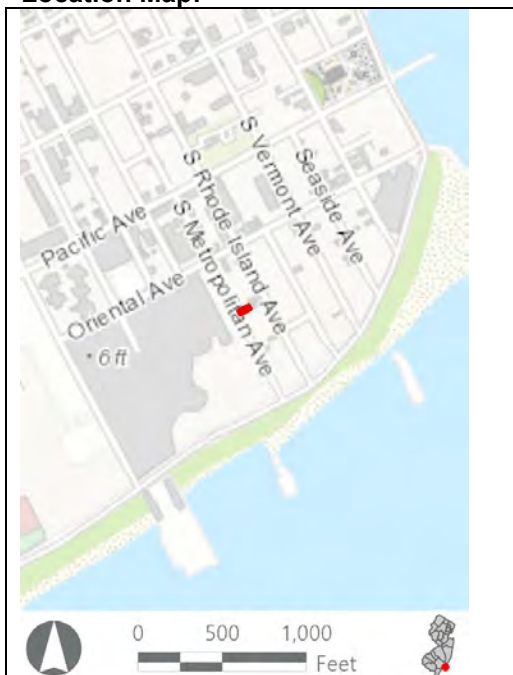


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 23, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. Atlantic City History. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>227 South Metropolitan Avenue</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1900</u>	Source:	<u>www.njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Other</u>	Stories:	<u>2</u>
Type:	<u>N/A</u>	Bays:	<u>N/A</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Wood, Shingles</u>		

Exterior Description: The residence at 227 South Metropolitan Avenue is a two-story cross-gable residence. The front gable overhangs an angled bay window that rests atop a hipped roof porch. There is a door in the center of the bay window that opens onto a balcony. The porch roof is supported by brick columns and rests upon a high brick basement. The side elevation is partially obscured by trees, but a second-story balcony with sliding patio doors is visible. Overall, the fenestration appears to be a mixture of 1/1 and slider sash.

Interior Description: N/A

Setting: Flanked by vacant lots and across the street from the Ocean Casino Resort. The residence is a block from the Atlantic Ocean. During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 23, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 227 South Metropolitan Avenue is associated with early-twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 227 South Metropolitan Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 227 South Metropolitan Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 205 South Vermont Avenue

Street Address: Street #: 205 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: Vermont Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 76

Local Place Name(s): N/A **Lot(s):** 30

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The residence at 205 South Vermont Avenue is a two-story Dutch Colonial Revival home.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

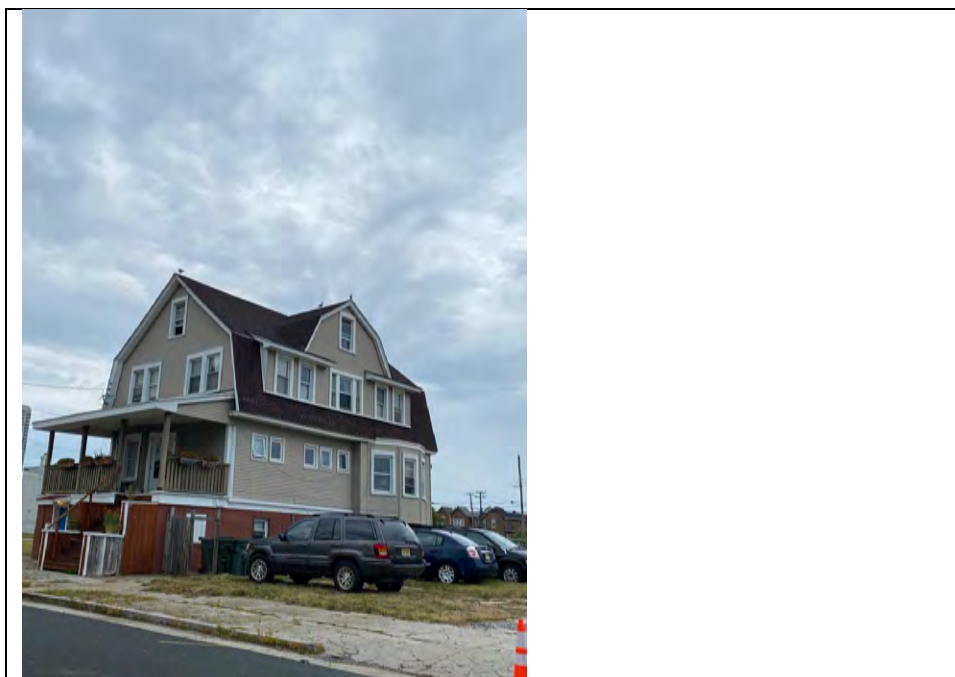
New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 23, 2023

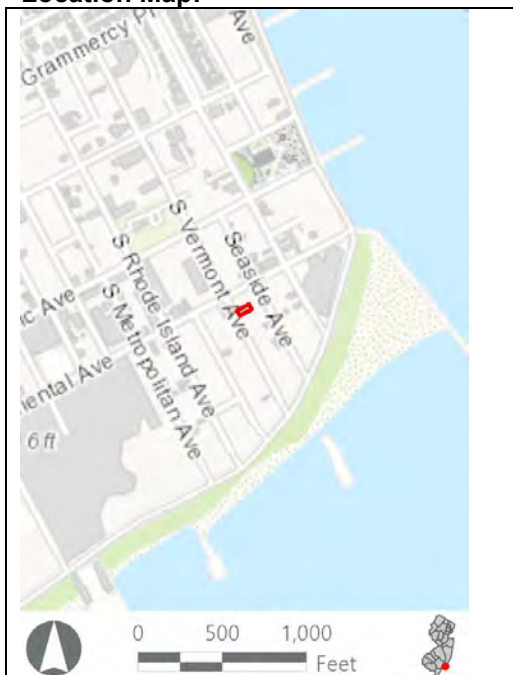
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. Atlantic City History. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 23, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>205 South Vermont Avenue</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential activity, permanent</u>		
Historic Use:	<u>Residential activity, permanent</u>		
Construction Date:	<u>1900</u>	Source:	<u>www.njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Medium</u>
Style:	<u>Dutch Colonial Revival</u>		
Form:	<u>Other</u>	Stories:	<u>3</u>
Type:	<u>N/A</u>	Bays:	<u>2</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Vinyl Siding</u>		

Exterior Description: The residence at 205 South Vermont Avenue is a two-story Dutch Colonial Revival home. The building has a cross-gambrel roof and rests on a high brick basement. The building is clad in vinyl siding and fenestration is 1/1 and awning replacement sash. Fenestration is paired on the second story of the façade. There is a shed roof porch on the first-story façade supported by wood posts. The primary entrance is through the porch via a converted bay window. The gambrel roof on the side elevation is flanked by shed roof projections that form a continuous wall surface five bays across. The center bay is occupied by a tripartite window. There is an angled oriel window on the first story of the side elevation.

Interior Description: N/A

Setting: Primarily residential area with some large commercial buildings. One block away from beach/boardwalk access. During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 23, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 205 South Vermont Avenue is associated with early-twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers: ☐ Yes ☒ No

National

Register Criteria: ☐ A ☐ B ☐ C ☐ D

Level of Significance

☐ Local ☐ State ☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 205 South Vermont Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 205 South Vermont Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 3211 Boardwalk

Street Address: Street #: 3211 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Boardwalk Suffix: N/A Type: N/A

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 27

Local Place Name(s): N/A **Lot(s):** 6

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 3211 Boardwalk is a three-story, raised Modernistic beachfront apartment building.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

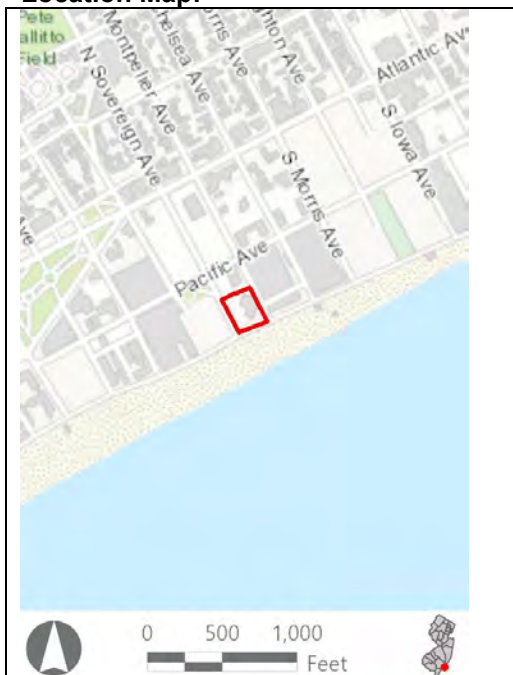


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 23, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. Atlantic City History. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	3211 Boardwalk		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1970	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Modernistic		
Form:	Apartment	Stories:	3
Type:	N/A	Bays:	7
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Stucco		

Exterior Description: The building at 3211 Boardwalk is a three-story, raised Modernistic beachfront apartment building. The building is V-shaped with a flat roof and wide overhanging curved eaves. The curved eave pattern is repeated at each level by wraparound balconies with metal railings. The balconies provide access to each unit which has its own separate exterior entry flanked by a large, fixed sash window. The end bays have tripartite fixed sash. The building is raised on piers for parking underneath.

Interior Description: N/A

Setting: Boardwalk adjacent surrounded by businesses and hotels. During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 3211 Boardwalk is associated with late-twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 3211 Boardwalk is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 3211 Boardwalk is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 2514 Pacific Avenue

Street Address: Street #: 2514 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Pacific Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 36

Local Place Name(s): N/A **Lot(s):** 58

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 2514 Pacific Avenue is a three-story, circa-1930, vernacular row house with Queen Anne elements exhibiting a flat roof, stucco and brick siding, and vinyl windows.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

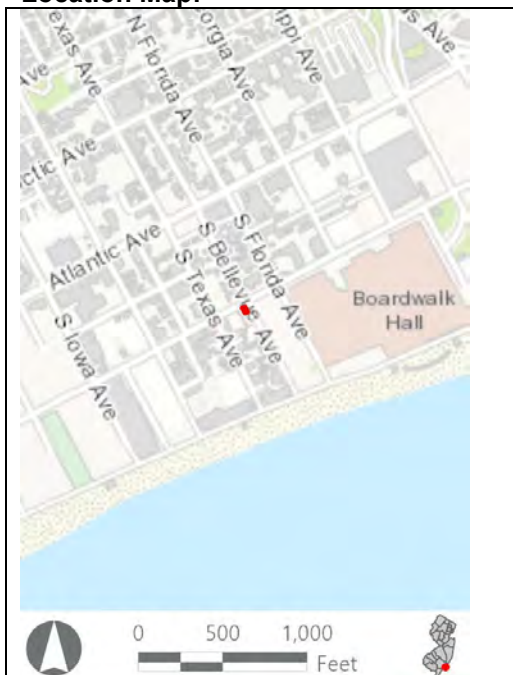


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 23, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. Atlantic City History. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 23, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	2514 Pacific Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1930	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Queen Anne, vernacular		
Form:	Row	Stories:	3
Type:	N/A	Bays:	2
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Brick		

Exterior Description: The building at 2514 Pacific Avenue is a three-story, circa-1930, vernacular row house with Queen Anne elements exhibiting a flat roof, stucco and brick siding, and vinyl windows. Each unit features inset entrances, a two-story bay window, and second and third-story inset balconies, except for the middle unit where the second-floor balcony has been enclosed.

Interior Description: N/A

Setting: Residential neighborhood area located along the shore and near beach access. During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 2514 Pacific Avenue is associated with early-twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 2514 Pacific Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 2514 Pacific Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 4301 Atlantic Avenue

Street Address: Street #: 4301 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Atlantic Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 204

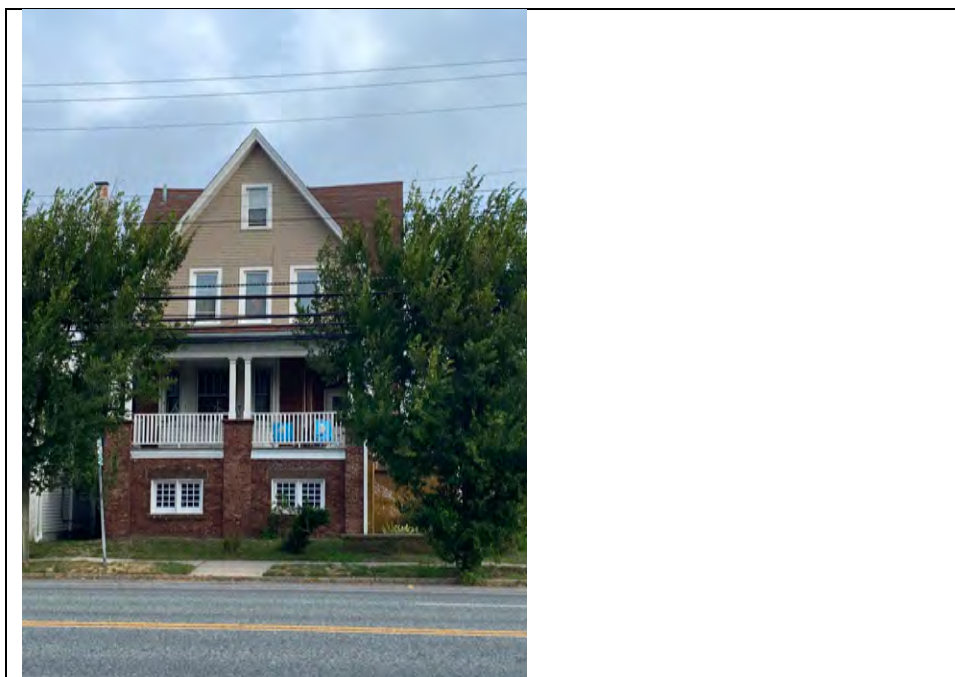
Local Place Name(s): N/A **Lot(s):** 10

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The residence at 4301 Atlantic Avenue is a two-story house with a wrap-around porch and above ground basement access. Building cladding is a combination of brick and beige vinyl siding.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 23, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Historic Sites #:

Site Map:



Additional Information: N/A

INTENSIVE LEVEL USE ONLY

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	4301 Atlantic Avenue		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1900	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	3
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The residence at 4301 Atlantic Avenue is a two-story house with a cross-gable roof system. The second story is three bays across with 1/1 replacement sash. The first story features a hipped roof porch supported by paired columns on brick plinths and a high brick basement. The entry is within the porch in the right bay. To the left of the entry is an angled bay window with a blank lower pane and a patterned upper sash. There are paired multi-light sash within the foundation of the porch. The cladding of the exterior walls is brick on the first story and vinyl siding on the second.

Interior Description: N/A

Setting: Located in a residential area with similar structures in and around the surrounding blocks. During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 4301 Atlantic Avenue is associated with early-twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 4301 Atlantic Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 4301 Atlantic Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 23, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 3955 First Avenue

Street Address: Street #: 3955 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: First Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08202

Municipality(s): Avalon Borough **Block(s):** 39.02

Local Place Name(s): N/A **Lot(s):** 17

Ownership: Private **USGS Quad(s)** Avalon

Description: The residence at 3955 First Avenue is a two-story building on a rectangular plan with a flat roof, a two-story bay window on the façade, a prominent exterior stair tower, a second-story balcony, vertical board siding, and a carport.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

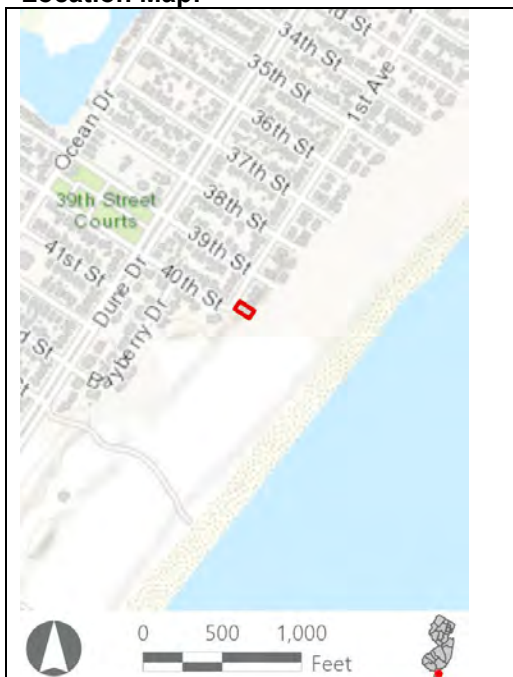


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: NETROnline (NETR). 2023. "Historic Aerials." Available online at: <https://www.historicaerials.com/viewer> (Accessed February 2023).

Sanborn Map Company. 1890. Sanborn Fire Insurance Map from New Jersey Coast, New Jersey Coast, New Jersey. Sanborn Map Company, Vol. 4. Retrieved from the Library of Congress, https://www.loc.gov/item/sanborn05568_003/.

VisitNJShore.com. 2023. "History of Avalon, NJ." Available at: <https://www.visitnjshore.com/avalon/history/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	3955 First Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1977	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Irregular	Stories:	2
Type:	N/A	Bays:	1
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Aluminum Siding		

Exterior Description: The residence at 3955 First Avenue is a two-story Contemporary building on a rectangular plan. The building has a flat roof and a prominent exterior stair tower on the side elevation. The stair tower appears to have exposed framing that forms a second-story balcony and is also exhibited in the roof overhang. The balcony continues along the side elevation beyond the tower. There is a two-story bay window on the façade with fixed and casement replacement sash. Otherwise, the façade is devoid of fenestration. Windows on the side elevation and tower are fixed or slider sash. The wall cladding appears to be vertical aluminum siding. There is a carport forward of the tower.

Interior Description: N/A

Setting: The building at 3955 First Avenue is a beachfront house in a residential area. Historic aerial photography shows Avalon developing primarily within a grid of streets in the northernmost section of the island in 1920. By 1931 development had expanded to the south as well as west of the Atlantic Ocean, and by 1954 the bridge carrying present-day Ocean Drive (Route 169) had been constructed over Townsend Inlet and a bridge connecting the mainland had been constructed at present-day Old Avalon Boulevard. By 1970, the built environment appears similar to that of today, with the current configuration of Avalon, including the modern configuration of the beach, in place by 1986 (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The Borough of Avalon is in the extreme northern section of Seven Mile Island in Cape May County. The first Euro-American settlement dates to 1722 when the barrier island was purchased by Aaron Leaming who used it for logging juniper and housing livestock. The island was purchased by the Seven Mile Beach Company in 1887, and this company founded the settlement of Avalon in the north and Stone Harbor in the south. By 1890, Avalon featured two oceanside hotels, the Avalon Hotel between 7th and 8th Streets and the Piermont Hotel between 33rd and 34th Streets, as well as numerous dwellings between 5th and 7th Street along 1st and 2nd Avenues. Avalon was formally incorporated as a borough in 1892 and was touted as a resort town. A railroad was constructed to the island around this time, spurring further development. By 1905, 75 houses, a school, and two churches were constructed in Avalon, and the Avalon Beach Development Company purchased the island with the aim of further developing the area as an exclusive beach resort. A boardwalk was constructed between 21st and 32nd Streets in 1913 and is still extant to this day (VisitNJShore.com, 2023; Sanborn, 1890; NETR, 2023).

Significance: 3955 First Avenue is associated with late-twentieth-century development in Avalon Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 3955 First Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 3955 First Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 26 West 8th Street

Street Address: Street #: 26 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: W Street Name: 8th Suffix: N/A Type: ST

County(s): Cape May **Zip Code:** 08202

Municipality(s): Avalon Borough **Block(s):** 8.02

Local Place Name(s): N/A **Lot(s):** 6

Ownership: Private **USGS Quad(s)** Avalon

Description: The residence at 26 West 8th Street is a two-story gable front house on a rectangular plan. The building has vinyl siding and a CMU foundation. There is a second-story deck with a carport underneath.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

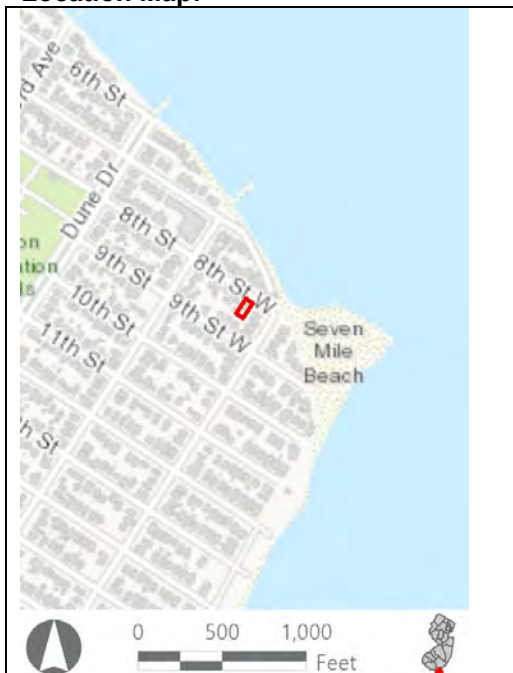


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: NETROnline (NETR). 2023. "Historic Aerials." Available online at: <https://www.historicaerials.com/viewer> (Accessed February 2023).

Sanborn Map Company. 1890. Sanborn Fire Insurance Map from New Jersey Coast, New Jersey Coast, New Jersey. Sanborn Map Company, Vol. 4. Retrieved from the Library of Congress, https://www.loc.gov/item/sanborn05568_003/.

VisitNJShore.com. 2023. "History of Avalon, NJ." Available at: <https://www.visitnjshore.com/avalon/history/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	26 West 8 th Street		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1964	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The residence at 26 West 8th Street is a two-story modular looking home on a rectangular plan. The roof is gabled with a shallow slope, wide overhanging eaves, and exposed roof purlins. The building is raised on a CMU foundation with a carport. The fenestration on the façade is slider and 1/1 replacement sash. A pedestrian door opens onto a second-story deck. The primary entrance is reached by a set of wooden stairs on the second story of the side elevation. The fenestration on the side elevation is primarily 1/1 flat-arch replacement sash.

Interior Description: N/A

Setting: The building at 26 West 8th Street is in a residential area. It is across the street and a few houses down from the beach. Historic aerial photography shows Avalon developing primarily within a grid of streets in the northernmost section of the island in 1920. By 1931 development had expanded to the south as well as west of the Atlantic Ocean, and by 1954 the bridge carrying present-day Ocean Drive (Route 169) had been constructed over Townsend Inlet and a bridge connecting the mainland had been constructed at present-day Old Avalon Boulevard. By 1970, the built environment appears similar to that of today, with the current configuration of Avalon, including the modern configuration of the beach, in place by 1986 (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The Borough of Avalon is in the extreme northern section of Seven Mile Island in Cape May County. The first Euro-American settlement dates to 1722 when the barrier island was purchased by Aaron Leaming who used it for logging juniper and housing livestock. The island was purchased by the Seven Mile Beach Company in 1887, and this company founded the settlement of Avalon in the north and Stone Harbor in the south. By 1890, Avalon featured two oceanside hotels, the Avalon Hotel between 7th and 8th Streets and the Piermont Hotel between 33rd and 34th Streets, as well as numerous dwellings between 5th and 7th Street along 1st and 2nd Avenues. Avalon was formally incorporated as a borough in 1892 and was touted as a resort town. A railroad was constructed to the island around this time, spurring further development. By 1905, 75 houses, a school, and two churches were constructed in Avalon, and the Avalon Beach Development Company purchased the island with the aim of further developing the area as an exclusive beach resort. A boardwalk was constructed between 21st and 32nd Streets in 1913 and is still extant to this day (VisitNJShore.com, 2023; Sanborn, 1890; NETR, 2023).

Significance: 26 West 8th Street is associated with mid-twentieth-century development in Avalon Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 26 West 8th Street is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 26 West 8th Street is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 56 7th Street

Street Address: Street #: 56 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: W Street Name: 7th Suffix: N/A Type: ST

County(s): Cape May Zip Code: 08202

Municipality(s): Avalon Borough Block(s): 7.02

Local Place Name(s): N/A Lot(s): 12

Ownership: Private USGS Quad(s) Avalon

Description: The residence at 56 7th Street is a two-story, altered Queen Anne house with irregular massing, a gabled roof, two prominent towers, clapboard siding, and a wraparound porch with a widow's walk.

Registration and Status Dates:

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

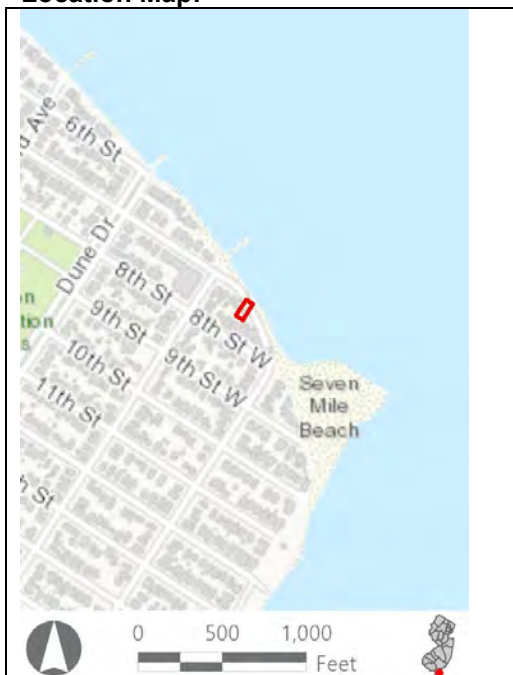
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: NETROnline (NETR). 2023. "Historic Aerials." Available online at: <https://www.historicaerials.com/viewer> (Accessed February 2023).

Sanborn Map Company. 1890. Sanborn Fire Insurance Map from New Jersey Coast, New Jersey Coast, New Jersey. Sanborn Map Company, Vol. 4. Retrieved from the Library of Congress, https://www.loc.gov/item/sanborn05568_003/.

VisitNJShore.com. 2023. "History of Avalon, NJ." Available at: <https://www.visitnjshore.com/avalon/history/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>56 7th Street</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1900</u>	Source:	<u>Njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Medium</u>
Style:	<u>Queen Anne</u>		
Form:	<u>Irregular</u>	Stories:	<u>2</u>
Type:	<u>N/A</u>	Bays:	<u>N/A</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Wood, Clapboard</u>		

Exterior Description: The residence at 56 7th Street is a two-story, altered Queen Anne house with irregular massing. The roof system is gabled, hipped, and hexagonal. The main block is somewhat L-shaped with the projecting section on the façade surmounted by a hipped roof with a rooftop deck or window's walk. Back from the projecting section the roof is partially gabled with the gable end facing the side elevation. A brick chimney extends the height of the elevation and penetrates the eaves of the gable. The opposite end of the main block is surmounted by a steeply pitched hexagonal roof with small gabled dormers. There are brackets in the roof eaves. Forward of the projecting section with the widow's walk is a hexagonal tower with a shallow-pitched roof. The tower rises from the corner of the second story and appears almost ornamental. The exterior cladding is wood clapboard and there is a wraparound porch. The porch has a hipped roof with a widow's walk, square columns, brackets, and a gable over one of the bays. The fenestration on the façade appears to have been replaced with sliding patio doors on both stories, however, the fenestration on the side elevations is 1/1 replacement sash.

Interior Description: N/A

Setting: The building at 56 7th Street is a beachfront house in a residential area. Historic aerial photography shows Avalon developing primarily within a grid of streets in the northernmost section of the island in 1920. By 1931 development had expanded to the south as well as west of the Atlantic Ocean, and by 1954 the bridge carrying present-day Ocean Drive (Route 169) had been constructed over Townsend Inlet and a bridge connecting the mainland had been constructed at present-day Old Avalon Boulevard. By 1970, the built environment appears similar to that of today, with the current configuration of Avalon, including the modern configuration of the beach, in place by 1986 (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The Borough of Avalon is in the extreme northern section of Seven Mile Island in Cape May County. The first Euro-American settlement dates to 1722 when the barrier island was purchased by Aaron Leaming who used it for logging juniper and housing livestock. The island was purchased by the Seven Mile Beach Company in 1887, and this company founded the settlement of Avalon in the north and Stone Harbor in the south. By 1890, Avalon featured two oceanside hotels, the Avalon Hotel between 7th and 8th Streets and the Piermont Hotel between 33rd and 34th Streets, as well as numerous dwellings between 5th and 7th Street along 1st and 2nd Avenues. Avalon was formally incorporated as a borough in 1892 and was touted as a resort town. A railroad was constructed to the island around this time, spurring further development. By 1905, 75 houses, a school, and two churches were constructed in Avalon, and the Avalon Beach Development Company purchased the island with the aim of further developing the area as an exclusive beach resort. A boardwalk was constructed between 21st and 32nd Streets in 1913 and is still extant to this day (VisitNJShore.com, 2023; Sanborn, 1890; NETR, 2023).

Significance: 56 7th Street is associated with late-nineteenth-century development in Avalon Borough. The building represents a significant architectural style but is too heavily altered and no longer retains integrity of design, materials, or craftsmanship.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 56 7th Street is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 56 7th Street is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 61 Inlet Drive North

Street Address: Street #: 61 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Inlet Suffix: N Type: DR

County(s): Cape May **Zip Code:** 08202

Municipality(s): Avalon Borough **Block(s):** 5.10

Local Place Name(s): N/A **Lot(s):** 6

Ownership: Private **USGS Quad(s)** Avalon

Description: The residence at 61 Inlet Drive North is a two-story asymmetrical Contemporary gabled roof house with a projecting second story and dark vertical board siding.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

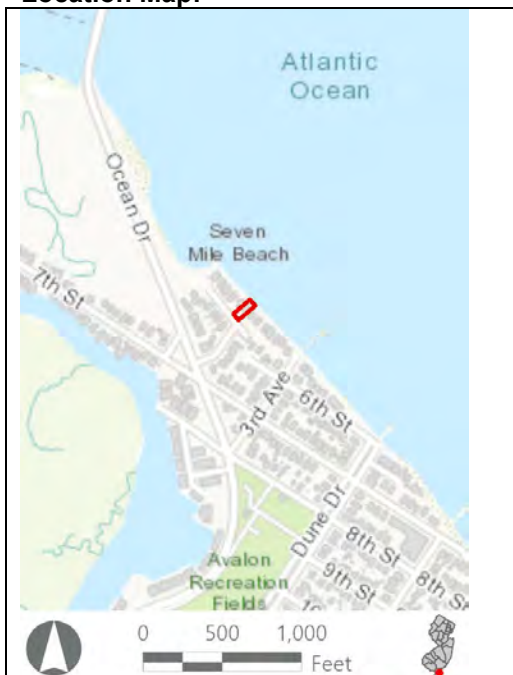


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: NETROnline (NETR). 2023. "Historic Aerials." Available online at: <https://www.historicaerials.com/viewer> (Accessed February 2023).

Sanborn Map Company. 1890. Sanborn Fire Insurance Map from New Jersey Coast, New Jersey Coast, New Jersey. Sanborn Map Company, Vol. 4. Retrieved from the Library of Congress, https://www.loc.gov/item/sanborn05568_003/.

VisitNJShore.com. 2023. "History of Avalon, NJ." Available at: <https://www.visitnjshore.com/avalon/history/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>61 Inlet Drive North</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1974</u>	Source:	<u>Njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>High</u>
Style:	<u>Other</u>		
Form:	<u>Irregular</u>	Stories:	<u>2</u>
Type:	<u>N/A</u>	Bays:	<u>2</u>
Roof Finish Materials:	<u>Unknown</u>		
Exterior Finish Materials	<u>Wood, Shiplap</u>		

Exterior Description: The residence at 61 Inlet Drive North is a two-story Contemporary gabled roof house. The roof has a shallow pitch with wide overhanging eaves and exposed rafter tails. The façade is asymmetrical with one half of the elevation projecting beyond the other. This extends even to the roof which projects forward on one side. The upper story on the façade overhangs the first, with each bay exhibiting a single paired casement with an angled transom extending to the roof. The fenestration on the first story is horizontally fixed with a single operable pane on one side. These also appear on the side elevations, however, fenestration on the sides is primarily floor-to-ceiling fixed sash. The wall cladding appears to be an unfinished cedar vertical shiplap. A brick chimney on the side elevation is wide and the pointing is sloppy, possibly to give it a rustic effect.

Interior Description: N/A

Setting: The building at 61 Inlet Drive North is a beachfront house in a residential area. Historic aerial photography shows Avalon developing primarily within a grid of streets in the northernmost section of the island in 1920. By 1931 development had expanded to the south as well as west of the Atlantic Ocean, and by 1954 the bridge carrying present-day Ocean Drive (Route 169) had been constructed over Townsend Inlet and a bridge connecting the mainland had been constructed at present-day Old Avalon Boulevard. By 1970, the built environment appears similar to that of today, with the current configuration of Avalon, including the modern configuration of the beach, in place by 1986 (NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The Borough of Avalon is in the extreme northern section of Seven Mile Island in Cape May County. The first Euro-American settlement dates to 1722 when the barrier island was purchased by Aaron Leaming who used it for logging juniper and housing livestock. The island was purchased by the Seven Mile Beach Company in 1887, and this company founded the settlement of Avalon in the north and Stone Harbor in the south. By 1890, Avalon featured two oceanside hotels, the Avalon Hotel between 7th and 8th Streets and the Piermont Hotel between 33rd and 34th Streets, as well as numerous dwellings between 5th and 7th Street along 1st and 2nd Avenues. Avalon was formally incorporated as a borough in 1892 and was touted as a resort town. A railroad was constructed to the island around this time, spurring further development. By 1905, 75 houses, a school, and two churches were constructed in Avalon, and the Avalon Beach Development Company purchased the island with the aim of further developing the area as an exclusive beach resort. A boardwalk was constructed between 21st and 32nd Streets in 1913 and is still extant to this day (VisitNJShore.com, 2023; Sanborn, 1890; NETR, 2023).

Significance: 61 Inlet Drive North is associated with late-twentieth-century development in Avalon Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 61 Inlet Drive North is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 61 Inlet Drive North is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 273 6th Street

Street Address: Street #: 273 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 6th Suffix: N/A Type: ST

County(s): Cape May **Zip Code:** 08202

Municipality(s): Avalon Borough **Block(s):** 5.04

Local Place Name(s): N/A **Lot(s):** 59

Ownership: Private **USGS Quad(s)** Avalon

Description: The residence at 273 6th Street is a two-story gable front house with aluminum siding and a projecting gabled carport at the façade. The roof of the carport extends over the entry on one side.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

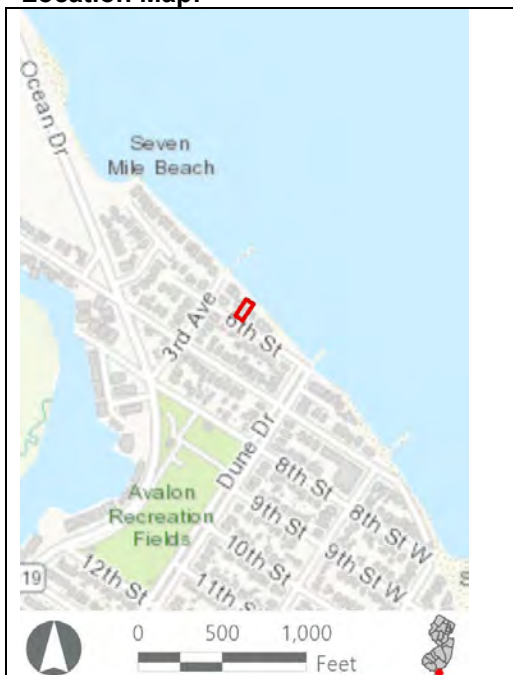


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: NETROnline (NETR). 2023. "Historic Aerials." Available online at: <https://www.historicaerials.com/viewer> (Accessed February 2023).

Sanborn Map Company. 1890. Sanborn Fire Insurance Map from New Jersey Coast, New Jersey Coast, New Jersey. Sanborn Map Company, Vol. 4. Retrieved from the Library of Congress, https://www.loc.gov/item/sanborn05568_003/.

VisitNJShore.com. 2023. "History of Avalon, NJ." Available at: <https://www.visitnjshore.com/avalon/history/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>273 6th Street</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1970</u>	Source:	<u>Njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Medium</u>
Style:	<u>None</u>		
Form:	<u>Gable Front</u>	Stories:	<u>2</u>
Type:	<u>N/A</u>	Bays:	<u>2</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Aluminum Siding</u>		

Exterior Description: The residence at 273 6th Street is a two-story gable front house. The roof has a shallow pitch and wide eaves. The house is clad in aluminum siding and the fenestration is paired flat-arch 1/1 replacement sash on the façade and a mix of paired and single fenestration on the side elevations. There is a projecting gabled carport at the façade. The roof of the carport extends over the entry on one side and is supported by a metal post.

Interior Description: N/A

Setting: The building at 273 6th Street is a beachfront house in a residential area. Historic aerial photography shows Avalon developing primarily within a grid of streets in the northernmost section of the island in 1920. By 1931 development had expanded to the south as well as west of the Atlantic Ocean, and by 1954 the bridge carrying present-day Ocean Drive (Route 169) had been constructed over Townsend Inlet and a bridge connecting the mainland had been constructed at present-day Old Avalon Boulevard. By 1970, the built environment appears similar to that of today, with the current configuration of Avalon, including the modern configuration of the beach, in place by 1986 (NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The Borough of Avalon is in the extreme northern section of Seven Mile Island in Cape May County. The first Euro-American settlement dates to 1722 when the barrier island was purchased by Aaron Leaming who used it for logging juniper and housing livestock. The island was purchased by the Seven Mile Beach Company in 1887, and this company founded the settlement of Avalon in the north and Stone Harbor in the south. By 1890, Avalon featured two oceanside hotels, the Avalon Hotel between 7th and 8th Streets and the Piermont Hotel between 33rd and 34th Streets, as well as numerous dwellings between 5th and 7th Street along 1st and 2nd Avenues. Avalon was formally incorporated as a borough in 1892 and was touted as a resort town. A railroad was constructed to the island around this time, spurring further development. By 1905, 75 houses, a school, and two churches were constructed in Avalon, and the Avalon Beach Development Company purchased the island with the aim of further developing the area as an exclusive beach resort. A boardwalk was constructed between 21st and 32nd Streets in 1913 and is still extant to this day (VisitNJShore.com, 2023; Sanborn, 1890; NETR, 2023).

Significance: 273 6th Street is associated with late-twentieth-century development in Avalon Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 273 6th Street is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 273 6th Street is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 688 1st Avenue

Street Address: Street #: 688 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 1st Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08202

Municipality(s): Avalon Borough **Block(s):** 6.03

Local Place Name(s): N/A **Lot(s):** 21

Ownership: Private **USGS Quad(s)** Avalon

Description: The building at 688 1st Avenue is a one-story shed roof rectangular residence with a gable front end bay, small square fenestration, T111 siding, and a rooftop deck.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

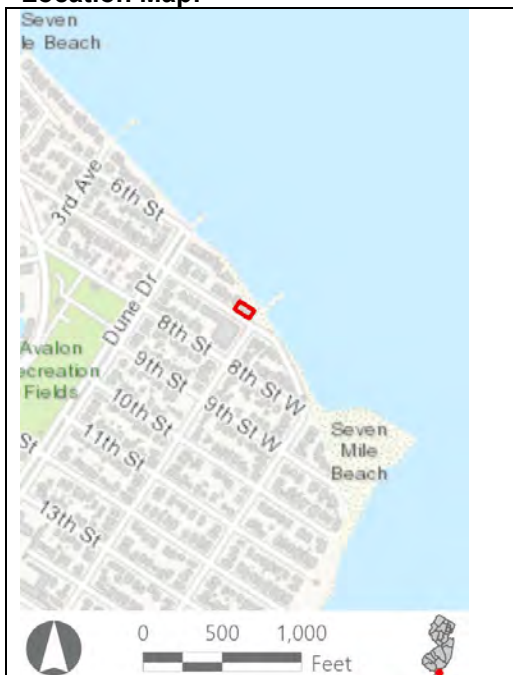


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: NETROnline (NETR). 2023. "Historic Aerials." Available online at: <https://www.historicaerials.com/viewer> (Accessed February 2023).

Sanborn Map Company. 1890. Sanborn Fire Insurance Map from New Jersey Coast, New Jersey Coast, New Jersey. Sanborn Map Company, Vol. 4. Retrieved from the Library of Congress, https://www.loc.gov/item/sanborn05568_003/.

VisitNJShore.com. 2023. "History of Avalon, NJ." Available at: <https://www.visitnjshore.com/avalon/history/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>688 1st Avenue</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1969</u>	Source:	<u>Njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Medium</u>
Style:	<u>None</u>		
Form:	<u>Other</u>	Stories:	<u>1</u>
Type:	<u>N/A</u>	Bays:	<u>3</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Other</u>		

Exterior Description: The building at 688 1st Avenue is a one-story shed roof residence on a rectangular plan. There is a gabled-front end bay with paired floor-to-ceiling fixed sash. The fenestration across the rest of the façade is paired casement sash and the primary entrance has sidelights. The building is clad in T-111 siding. There is a rooftop deck toward the rear of the building.

Interior Description: N/A

Setting: The building at 688 1st Avenue is a beachfront house in a residential area. It is across the street from a restaurant and next to a parking area for the beach. Historic aerial photography shows Avalon developing primarily within a grid of streets in the northernmost section of the island in 1920. By 1931 development had expanded to the south as well as west of the Atlantic Ocean, and by 1954 the bridge carrying present-day Ocean Drive (Route 169) had been constructed over Townsend Inlet and a bridge connecting the mainland had been constructed at present-day Old Avalon Boulevard. By 1970, the built environment appears similar to that of today, with the current configuration of Avalon, including the modern configuration of the beach, in place by 1986 (NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The Borough of Avalon is in the extreme northern section of Seven Mile Island in Cape May County. The first Euro-American settlement dates to 1722 when the barrier island was purchased by Aaron Leaming who used it for logging juniper and housing livestock. The island was purchased by the Seven Mile Beach Company in 1887, and this company founded the settlement of Avalon in the north and Stone Harbor in the south. By 1890, Avalon featured two oceanside hotels, the Avalon Hotel between 7th and 8th Streets and the Piermont Hotel between 33rd and 34th Streets, as well as numerous dwellings between 5th and 7th Street along 1st and 2nd Avenues. Avalon was formally incorporated as a borough in 1892 and was touted as a resort town. A railroad was constructed to the island around this time, spurring further development. By 1905, 75 houses, a school, and two churches were constructed in Avalon, and the Avalon Beach Development Company purchased the island with the aim of further developing the area as an exclusive beach resort. A boardwalk was constructed between 21st and 32nd Streets in 1913 and is still extant to this day (VisitNJShore.com, 2023; Sanborn, 1890; NETR, 2023).

Significance: 688 1st Avenue is associated with mid-twentieth-century development in Avalon Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 688 1st Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 688 1st Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 2013 Seaview Avenue

Street Address: Street #: 2013 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Seaview Suffix: N/A Type: AVE

County(s): Ocean **Zip Code:** 08006

Municipality(s): Barnegat Light Borough **Block(s):** 39

Local Place Name(s): N/A **Lot(s):** 16

Ownership: Private **USGS Quad(s)** Hammonton

Description: The residence at 2013 Seaview Avenue is a two-story broken-hipped-roof home with a prominent chimney stack, a large wraparound porch, shingle siding, and a second-floor deck overlooking the ocean.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

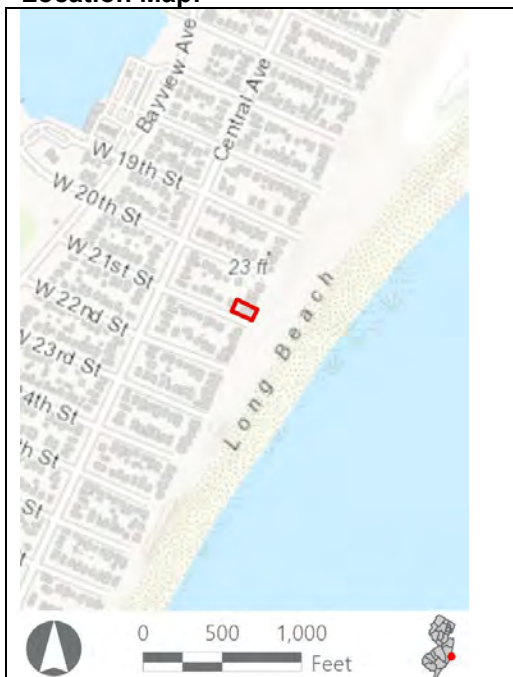


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Barnegat Light Tourism Coalition. 2022. Barnegat Light History – Now and Then. Available at: <https://discoverbarnegatlight.com/barnegat-light-history-now-and-then> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>2013 Seaview Avenue</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1981</u>	Source:	<u>www.njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Excellent</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>High</u>
Style:	<u>Other</u>		
Form:	<u>Other</u>	Stories:	<u>2</u>
Type:	<u>N/A</u>	Bays:	<u>1</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Vinyl Siding</u>		

Exterior Description: The residence at 2013 Seaview Avenue is a two-story New Traditional Shingle-style home with a broken hipped roof. A prominent shingle-clad tower with an oculus and chimney stack penetrates the roof at the point that the hipped roof breaks. One section of the roof projects far beyond the other. The first story has a large wraparound porch with shingled supports and a rooftop balcony overlooking the ocean. The fenestration is largely fixed, slider, or casement sash ranging from small to floor-to-ceiling.

Interior Description: N/A

Setting: The residence at 2013 Seaview Avenue is an oceanfront property surrounded by like buildings with direct beach access. Barnegat Light Borough occupies the northern tip of Long Beach Island. It is defined by a rectilinear grid two blocks in width going east-west. The grid is open on the ocean side with no parallel through-road; each east-west street terminates at a dead end at the beach. The grid runs along a central arterial aptly named Central Avenue. The cross streets are sequentially numbered starting from the northern tip of the island which is occupied by the Barnegat Lighthouse and state park.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Barnegat Light Borough is in the extreme eastern extent of Ocean County at the northern tip of Long Beach Island. This area of Long Beach Island was first visited by European explorers in 1609 when Henry Hudson reached the vicinity of the borough. The Dutch eventually came to call this area Barendegat, or "Island of the Breakers" for the dangerous sea conditions encountered. The area was used as a hunting and fishing ground for Euro-American settlers in the early nineteenth century. By the middle of the nineteenth century, vacationers from New York reached Barnegat Light Borough by traveling to the mouth of Toms River and sailing south down Barnegat Bay to reach the northern end of Long Beach Island. A railroad trestle was constructed in 1886 connecting the island to the mainland. In 1904, the area was incorporated as Barnegat City and was formally separated from Long Beach Township. It was renamed Barnegat Light in 1948 in commemoration of the lighthouse, which had become a landmark on the island. In the 1920s, Norwegian settlers founded the fishing village appropriately named Viking Village on the inlet located on the western side of the borough. The lighthouse and surrounding land were acquired by the state of New Jersey in 1957 and converted into a state park. This area of Long Beach Island continues to be a popular destination for boaters, fishers, and beachgoers (Barnegat Light Tourism Coalition, 2022).

Significance: The residence at 2013 Seaview Avenue is associated with late-twentieth-century development in Barnegat Light Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 2013 Seaview Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 2013 Seaview Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 107 Chatsworth Avenue

Street Address: Street #: 107 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Chatsworth Suffix: N/A Type: AVE

County(s): Ocean **Zip Code:** 08008

Municipality(s): Beach Haven Borough **Block(s):** 103

Local Place Name(s): N/A **Lot(s):** 11

Ownership: Private **USGS Quad(s)** Hammonton

Description: The residence at 107 Chatsworth Avenue is a one-and-one-half-story bungalow with a front gable roof, shed-roof dormers, and a porch. The walls are clad in wood shingle siding on the façade and upper part of the side elevations.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

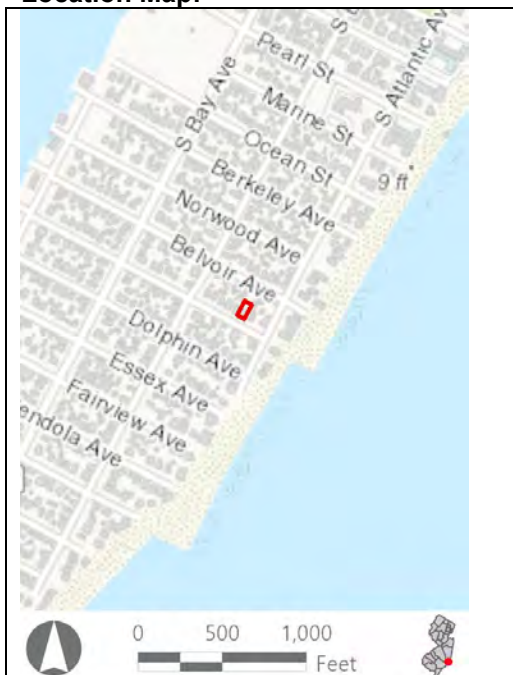


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Borough of Beach Haven. 2023. History of Beach Haven. Available at <https://beachhaven-nj.gov/resources/history-of-beach-haven/> (Accessed January 2023).

Heritage Studies, Inc. 1981. Long Beach Island. New Jersey Historic Sites Inventory, Ocean County Vol. 35. Available at OCE_GB_148_v35.pdf (nj.gov) (Accessed January 2023).

Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).

U.S. Life Saving Service Heritage Association. 2023. Harvey Cedars Station Site. Available at <https://uslife-savingservice.org/station-buildings/harvey-cedars-station-house/> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 107 Chatsworth Avenue

Historic Name: N/A

Present Use: Residential Activity, Permanent

Historic Use: Residential Activity, Permanent

Construction Date: 1904 **Source:** www.njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Excellent

Builder: N/A **Remaining Historic Fabric:** Low

Style: None

Form: Bungalow **Stories:** 1.5

Type: N/A **Bays:** 1

Roof Finish Materials: Asphalt Shingle

Exterior Finish Materials Wood, Shingles

Exterior Description: The residence at 107 Chatsworth Avenue is a one-and-one-half-story bungalow with a front gable roof. There are shingle clad shed-roof dormers on the side of the roof. A recessed porch occupies the first story of the façade with shingle-clad corner supports. The gable is also clad in wood shingle siding on the façade and upper part of the side elevations which flare out slightly. The side elevations are clad in asbestos shingles on the first story. The fenestration overall is 1/1 replacement sash. Evergreen trees obscure much of the façade.

Interior Description: N/A

Setting: The building at 107 Chatsworth Avenue is surrounded by like buildings with beach access to the east down the road. Historic aerial imagery shows that Beach Haven was almost entirely developed by 1920, and the entire borough was completely built out by 1956. The Great Atlantic Hurricane of 1944 caused extensive damage to the borough's hotels and boardwalk and another storm in 1962 resulted in a new zoning law requiring any new constructions to be built on stilts. Beach Haven continues to be a popular seasonal beach community (Beach Haven, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Beach Haven Borough is in the extreme southern extent of Ocean County in the southern portion of Long Beach Island. As early as 1690, Euro-American settlers used Long Beach Island seasonally for fishing, whaling, gathering plants, and harvesting sea salt, but present-day Beach Haven remained relatively undeveloped until the 1870s. In 1871, Captain Tilton Fox bought the Harvey Cedars Life Saving Station, moved it to Beach Haven, and opened it as the Hotel de Crab. The development of cottages, hotels, and roads accelerated over the next decades, cementing Beach Haven as a popular summer getaway for wealthy people from Philadelphia. In 1886, Beach Haven became accessible directly by railroad with the construction of the Long Beach Railroad. In 1880, Beach Haven was incorporated as a borough. By the turn of the twentieth century, Beach Haven had a flourishing commercial economy and tourism industry. In 1914, Beach Haven became accessible by automobile with the construction of a causeway over Barnegat Bay and a boulevard to Beach Haven. The causeway was met with great excitement and supported continued development in Beach Haven in the subsequent decades. (Long Beach Island, 2023; Beach Haven, 2023; U.S. Lifesaving Service, 2023; Heritage Studies, 1981).

Significance: The building at 107 Chatsworth Avenue is associated with early-twentieth-century development in Beach Haven Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 107 Chatsworth Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 107 Chatsworth Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 101 Centre Street

Street Address: Street #: 101 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Centre Suffix: N/A Type: ST

County(s): Ocean **Zip Code:** 08008

Municipality(s): Beach Haven Borough **Block(s):** 157

Local Place Name(s): N/A **Lot(s):** 9

Ownership: Private **USGS Quad(s)** Hammonton

Description: The residence at 101 Centre Street is a two-and-one-half-story cross-gable home with a wraparound porch and asbestos shingle siding.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

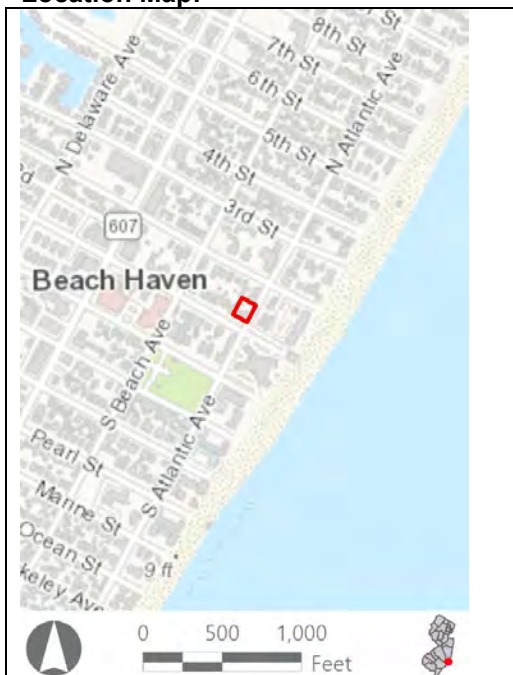
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Borough of Beach Haven. 2023. History of Beach Haven. Available at <https://beachhaven-nj.gov/resources/history-of-beach-haven/> (Accessed January 2023).

Heritage Studies, Inc. 1981. Long Beach Island. New Jersey Historic Sites Inventory, Ocean County Vol. 35. Available at OCE_GB_148_v35.pdf (nj.gov) (Accessed January 2023).

Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).

U.S. Life Saving Service Heritage Association. 2023. Harvey Cedars Station Site. Available at <https://uslife-savingservice.org/station-buildings/harvey-cedars-station-house/> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	101 Centre Street		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1876	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Medium
Style:	None		
Form:	Other	Stories:	2.5
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Asbestos Siding		

Exterior Description: The residence at 101 Centre Street is a two-and-one-half-story cross-gable late Victorian home. There are gabled roof dormers with 9/2 replacement sash. The façade is three bays across with 9/2 and 9/3 replacement sash. The first story features a wraparound porch with a gabled roof supported by square posts with scroll-sawn decorative brackets. The entry is in the right bay indicating a side-hall plan and the original late nineteenth-century double doors with round-arch upper glazing appear intact. The wall cladding is primarily asbestos shingle siding.

Interior Description: N/A

Setting: The residence at 101 Centre Street is surrounded by like buildings with beach access to the east down the road. Historic aerial imagery shows that Beach Haven was almost entirely developed by 1920, and the entire borough was completely built out by 1956. The Great Atlantic Hurricane of 1944 caused extensive damage to the borough's hotels and boardwalk and another storm in 1962 resulted in a new zoning law requiring any new constructions to be built on stilts. Beach Haven continues to be a popular seasonal beach community (Beach Haven, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Beach Haven Borough is in the extreme southern extent of Ocean County in the southern portion of Long Beach Island. As early as 1690, Euro-American settlers used Long Beach Island seasonally for fishing, whaling, gathering plants, and harvesting sea salt, but present-day Beach Haven remained relatively undeveloped until the 1870s. In 1871, Captain Tilton Fox bought the Harvey Cedars Life Saving Station, moved it to Beach Haven, and opened it as the Hotel de Crab. The development of cottages, hotels, and roads accelerated over the next decades, cementing Beach Haven as a popular summer getaway for wealthy people from Philadelphia. In 1886, Beach Haven became accessible directly by railroad with the construction of the Long Beach Railroad. In 1880, Beach Haven was incorporated as a borough. By the turn of the twentieth century, Beach Haven had a flourishing commercial economy and tourism industry. In 1914, Beach Haven became accessible by automobile with the construction of a causeway over Barnegat Bay and a boulevard to Beach Haven. The causeway was met with great excitement and supported continued development in Beach Haven in the subsequent decades. (Long Beach Island, 2023; Beach Haven, 2023; U.S. Lifesaving Service, 2023; Heritage Studies, 1981).

Significance: The residence at 101 Centre Street is associated with late-nineteenth-century development in Beach Haven Borough. However, the building does not retain integrity of design, materials, craftsmanship, or feeling.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 101 Centre Street is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 101 Centre Street is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 1000 South Atlantic Avenue

Street Address: Street #: 1000 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: Atlantic Suffix: N/A Type: AVE

County(s): Ocean **Zip Code:** 08008

Municipality(s): Beach Haven Borough **Block(s):** 87

Local Place Name(s): N/A **Lot(s):** 7

Ownership: Private **USGS Quad(s)** Hammonton

Description: The residence at 1000 South Atlantic Avenue is a two-story center-hall side-gabled Colonial Revival house with a front porch and flanking one-story gable-end wings.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

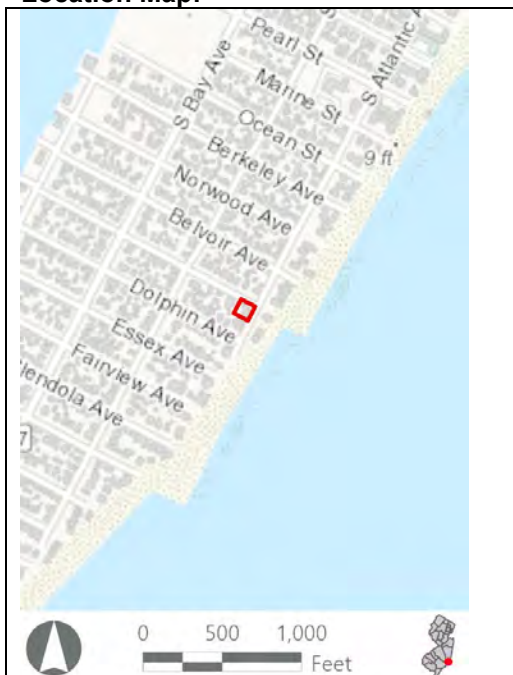


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Borough of Beach Haven. 2023. History of Beach Haven. Available at <https://beachhaven-nj.gov/resources/history-of-beach-haven/> (Accessed January 2023).

Heritage Studies, Inc. 1981. Long Beach Island. New Jersey Historic Sites Inventory, Ocean County Vol. 35. Available at OCE_GB_148_v35.pdf (nj.gov) (Accessed January 2023).

Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).

U.S. Life Saving Service Heritage Association. 2023. Harvey Cedars Station Site. Available at <https://uslifesavingservice.org/station-buildings/harvey-cedars-station-house/> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &
Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	1000 South Atlantic Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1900	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	High
Style:	Colonial Revival		
Form:	Center Hall	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Stucco		

Exterior Description: The residence at 1000 South Atlantic Avenue is a two-story Colonial Revival on a center-hall plan. The roof is side-gabled with a pair of hipped-roof dormers. A wide brick chimney penetrates the roof at one end near the ridge line. The fenestration is four bays across on the upper story with 6/6 double-hung sash. On the first story, the center entrance is flanked by 10-light paired casement sash. The entry is flanked by sidelights and is surmounted by a fanlight. There is a one-story porch across the façade with square columns supporting an entablature which is arched at each bay. One-story gabled side wings flank the building with the one to the left of the façade fenestrated with ribbon windows for a sunroom. The window bays are enframed with entablature, pilasters, and paneled spandrels. There is a small, covered balcony above projecting from the wall surface of the main house block. The opposite wing has a tripartite window and a gabled entry porch for a side entrance. Overall, the house is clad in stucco and the foundation is unpainted brick.

Interior Description: N/A

Setting: The residence at 1000 South Atlantic Avenue is surrounded by like buildings with beach access across the street. Historic aerial imagery shows that Beach Haven was almost entirely developed by 1920, and the entire borough was completely built out by 1956. The Great Atlantic Hurricane of 1944 caused extensive damage to the borough's hotels and boardwalk and another storm in 1962 resulted in a new zoning law requiring any new constructions to be built on stilts. Beach Haven continues to be a popular seasonal beach community (Beach Haven, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Beach Haven Borough is located in the extreme southern extent of Ocean County in the southern portion of Long Beach Island. As early as 1690, Euro-American settlers used Long Beach Island seasonally for fishing, whaling, gathering plants, and harvesting sea salt, but present-day Beach Haven remained relatively undeveloped until the 1870s. In 1871, Captain Tilton Fox bought the Harvey Cedars Life Saving Station, moved it to Beach Haven, and opened it as the Hotel de Crab. The development of cottages, hotels, and roads accelerated over the next decades, cementing Beach Haven as a popular summer getaway for wealthy people from Philadelphia. In 1886, Beach Haven became accessible directly by railroad with the construction of the Long Beach Railroad. In 1880, Beach Haven was incorporated as a borough. By the turn of the twentieth century, Beach Haven had a flourishing commercial economy and tourism industry. In 1914, Beach Haven became accessible by automobile with the construction of a causeway over Barnegat Bay and a boulevard to Beach Haven. The causeway was met with great excitement and supported continued development in Beach Haven in the subsequent decades. (Long Beach Island, 2023; Beach Haven, 2023; U.S. Lifesaving Service, 2023; Heritage Studies, 1981).

Significance: The building at 1000 South Atlantic Avenue is associated with early-twentieth-century development in Beach Haven Borough. While the building is representative of a significant architectural style, it is a common type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1000 South Atlantic Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 1000 South Atlantic Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 910 South Atlantic Avenue

Street Address: Street #: 910 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: Atlantic Suffix: N/A Type: AVE

County(s): Ocean **Zip Code:** 08008

Municipality(s): Beach Haven Borough **Block(s):** 103

Local Place Name(s): N/A **Lot(s):** 9

Ownership: Private **USGS Quad(s)** Hammonton

Description: The residence at 910 South Atlantic Avenue is a two-and-one-half-story cross-gable Colonial Revival house. The building is clad with wood-shingle siding. The primary entry is on the gable end within a recessed porch.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

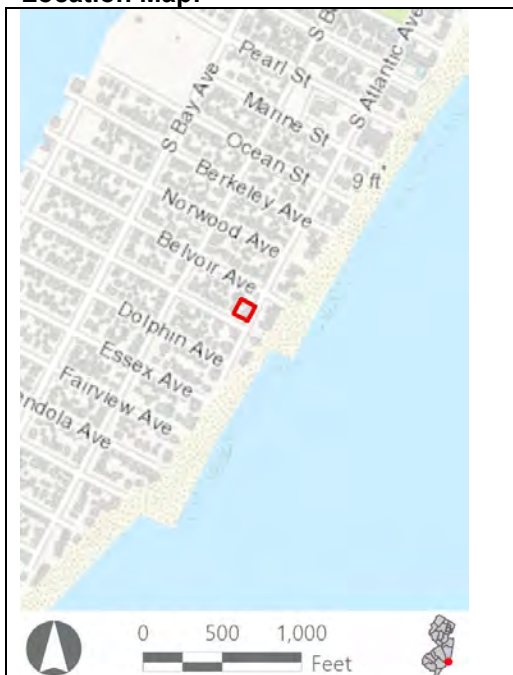
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Borough of Beach Haven. 2023. History of Beach Haven. Available at <https://beachhaven-nj.gov/resources/history-of-beach-haven/> (Accessed January 2023).

Heritage Studies, Inc. 1981. Long Beach Island. New Jersey Historic Sites Inventory, Ocean County Vol. 35. Available at OCE_GB_148_v35.pdf (nj.gov) (Accessed January 2023).

Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).

U.S. Life Saving Service Heritage Association. 2023. Harvey Cedars Station Site. Available at <https://uslife-savingservice.org/station-buildings/harvey-cedars-station-house/> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	910 South Atlantic Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	ca. 1900	Source:	Stylistic Evidence
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	Medium
Style:	Colonial Revival		
Form:	Other	Stories:	2.5
Type:	N/A	Bays:	1
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Wood, Shingles		

Exterior Description: The residence at 910 South Atlantic Avenue is a two-and-one-half-story cross-gable Colonial Revival-style house inspired by post-medieval colonial architecture. The building is clad with wood-shingle siding. There is a slight flare in the siding separating the first and second stories on two-thirds of the façade. The fenestration is primarily 6/6 double-hung sash except for a wide picture window on the center projecting bay of the first story. Instead of being located in the central projecting bay like its colonial antecedents, the primary entrance is on the side elevation within an enclosed recessed porch. A secondary entrance is on the opposite end facing the driveway within a partially recessed porch and a gabled projecting bay that is partially enclosed.

Interior Description: N/A

Setting: The residence at 910 South Atlantic Avenue is surrounded by like buildings with beach access across the street. Historic aerial imagery shows that Beach Haven was almost entirely developed by 1920, and the entire borough was completely built out by 1956. The Great Atlantic Hurricane of 1944 caused extensive damage to the borough's hotels and boardwalk and another storm in 1962 resulted in a new zoning law requiring any new constructions to be built on stilts. Beach Haven continues to be a popular seasonal beach community (Beach Haven, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Beach Haven Borough is in the extreme southern extent of Ocean County in the southern portion of Long Beach Island. As early as 1690, Euro-American settlers used Long Beach Island seasonally for fishing, whaling, gathering plants, and harvesting sea salt, but present-day Beach Haven remained relatively undeveloped until the 1870s. In 1871, Captain Tilton Fox bought the Harvey Cedars Life Saving Station, moved it to Beach Haven, and opened it as the Hotel de Crab. The development of cottages, hotels, and roads accelerated over the next decades, cementing Beach Haven as a popular summer getaway for wealthy people from Philadelphia. In 1886, Beach Haven became accessible directly by railroad with the construction of the Long Beach Railroad. In 1880, Beach Haven was incorporated as a borough. By the turn of the twentieth century, Beach Haven had a flourishing commercial economy and tourism industry. In 1914, Beach Haven became accessible by automobile with the construction of a causeway over Barnegat Bay and a boulevard to Beach Haven. The causeway was met with great excitement and supported continued development in Beach Haven in the subsequent decades. (Long Beach Island, 2023; Beach Haven, 2023; U.S. Lifesaving Service, 2023; Heritage Studies, 1981).

Significance: The residence at 910 South Atlantic Avenue is associated with early-twentieth-century development in Beach Haven Borough. The building is representative of a significant architectural style, however, it does not retain integrity of design, materials, or craftsmanship.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 910 South Atlantic Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 910 South Atlantic Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 133 Pelham Avenue

Street Address: Street #: 133 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Pelham Suffix: N/A Type: AVE

County(s): Ocean **Zip Code:** 08008

Municipality(s): Beach Haven Borough **Block(s):** 64

Local Place Name(s): N/A **Lot(s):** 1.02

Ownership: Private **USGS Quad(s)** Hammonton

Description: The residence at 133 Pelham Avenue is a two-story Contemporary home with a side-gabled roof, a wraparound deck, and a wide chimney on the gable end. The siding appears to be T-111. The majority of the first story is obscured by the dunes and vegetation.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

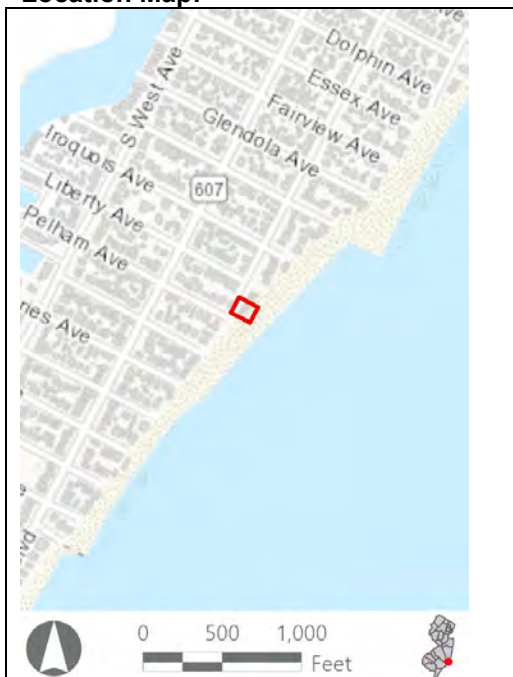


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Borough of Beach Haven. 2023. History of Beach Haven. Available at <https://beachhaven-nj.gov/resources/history-of-beach-haven/> (Accessed January 2023).

Heritage Studies, Inc. 1981. Long Beach Island. New Jersey Historic Sites Inventory, Ocean County Vol. 35. Available at OCE_GB_148_v35.pdf (nj.gov) (Accessed January 2023).

Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).

U.S. Life Saving Service Heritage Association. 2023. Harvey Cedars Station Site. Available at <https://uslifesavingsservice.org/station-buildings/harvey-cedars-station-house/> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>133 Pelham Avenue</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1968</u>	Source:	<u>njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>Other</u>		
Form:	<u>Other</u>	Stories:	<u>2</u>
Type:	<u>N/A</u>	Bays:	<u>5</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Wood, Plywood</u>		

Exterior Description: The residence located at 133 Pelham Avenue is a two-story Contemporary home with a shallow slopped side-gabled roof. A wide brick chimney extends the height of the gable end and penetrates the wide overhanging roof eaves. An elevated deck wraps around from the beach-facing elevation to the side elevation. Overall, the siding appears to be T-111. The fenestration is largely floor-to-ceiling sliders, which may in fact be patio doors for multiple points of egress. On the gable end, these windows/doors are surmounted by angled transoms that extend to the roofline. The majority of the first story is obscured by the dunes and vegetation.

Interior Description: N/A

Setting: The residence at 133 Pelham Avenue is located on the beach set just behind a manmade dune. Historic aerial imagery shows that Beach Haven was almost entirely developed by 1920, and the entire borough was completely built out by 1956. The Great Atlantic Hurricane of 1944 caused extensive damage to the borough's hotels and boardwalk and another storm in 1962 resulted in a new zoning law requiring any new constructions to be built on stilts. Beach Haven continues to be a popular seasonal beach community (Beach Haven, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Beach Haven Borough is in the extreme southern extent of Ocean County in the southern portion of Long Beach Island. As early as 1690, Euro-American settlers used Long Beach Island seasonally for fishing, whaling, gathering plants, and harvesting sea salt, but present-day Beach Haven remained relatively undeveloped until the 1870s. In 1871, Captain Tilton Fox bought the Harvey Cedars Life Saving Station, moved it to Beach Haven, and opened it as the Hotel de Crab. The development of cottages, hotels, and roads accelerated over the next decades, cementing Beach Haven as a popular summer getaway for wealthy people from Philadelphia. In 1886, Beach Haven became accessible directly by railroad with the construction of the Long Beach Railroad. In 1880, Beach Haven was incorporated as a borough. By the turn of the twentieth century, Beach Haven had a flourishing commercial economy and tourism industry. In 1914, Beach Haven became accessible by automobile with the construction of a causeway over Barnegat Bay and a boulevard to Beach Haven. The causeway was met with great excitement and supported continued development in Beach Haven in the subsequent decades. (Long Beach Island, 2023; Beach Haven, 2023; U.S. Lifesaving Service, 2023; Heritage Studies, 1981).

Significance: The residence at 133 Pelham Avenue is associated with mid-twentieth-century development in Beach Haven Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 133 Pelham Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 133 Pelham Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &
Organization: Environmental Services, D.P.C

Date: February 24,
2023

BASE FORM

Historic Sites #:

Property Name: 83 Central Avenue

Street Address: Street #: 83 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Central Suffix: N/A Type: AVE

County(s): Ocean Zip Code: 08752

Municipality(s): Berkeley Township Block(s): 1692

Local Place Name(s): N/A Lot(s): 1

Ownership: Private USGS Quad(s) Seaside Park

Description: The resource at 83 Central Avenue is a one-story mobile home with a gabled roof and vinyl siding.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

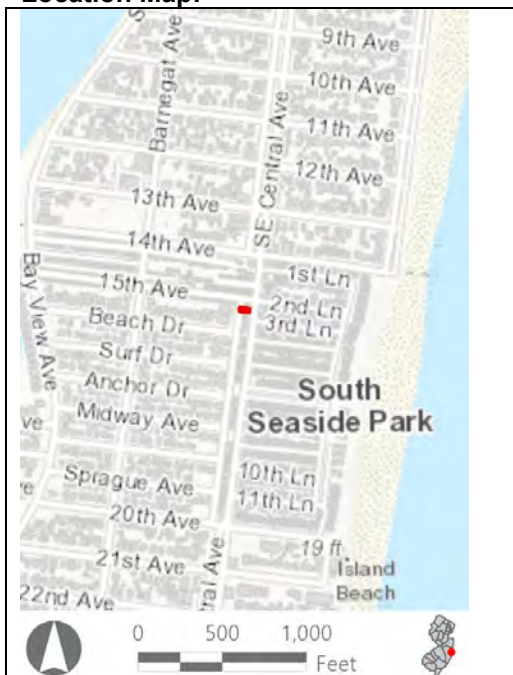


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. New Jersey Historic Sites Inventory, Ocean County Vol. 28. Available at https://www.nj.gov/dep/hpo/hrcn_sandy_OCE_GB_147_148_PDF/OCE_GB_148_v28.pdf (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	83 Central Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	ca. 1970	Source:	Stylistic Evidence
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	1
Type:	N/A	Bays:	1
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The resource at 83 Central Avenue is a one-story mobile home with a gabled roof and vinyl siding. It is one bay wide and four bays deep. The entrance is on the side elevation with a fabric awning. The fenestration is 1/1 replacement sash on the side elevations and a single shallow oriel window on the street-facing elevation.

Interior Description: N/A

Setting: One of a row of mobile homes within a street grid neighborhood of shot gun cottages and mobile homes a block in from the ocean/beach. South Seaside Park is an unincorporated section of Berkley Township located on Barnegat Island.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Berkeley Township is located in the northern limit of Atlantic County and is bounded on the north by Cedar Creek, on the east by Barnegat Bay, on the south by Toms River, and on the west by Manchester Township. The first Euro-American settlers in this area of Atlantic County were English and arrived in the late seventeenth century. The early economies capitalized on the abundant pine barren forests and proximity to Barnegat Bay and Toms River. Agriculture, lumbering, milling, and boatbuilding were the principal trades. Throughout the eighteenth century, the township was predominantly rural with scattered settlements. The township was formally incorporated in 1875 from Dover Township and Bayville, incorporated in 1881, was the primary locale. The Toms River and Waretown Railroad arrived in the area in 1872 and with it brought sportsmen, vacationers, and new residents. The railroad also spurred the export of local produce and fish and shellfish which helped to sustain a diversified agricultural economy. By the early twentieth century, pound fishing (the trapping of large quantities of fish in large nets) and cranberry harvesting became lucrative economies in the township. Although a number of resort communities were proposed and platted in the township, Berkeley Township remained rural and undeveloped throughout the twentieth century. The late twentieth and early twenty-first century brought a proliferation of housing to the township which is largely confined to the bayfront areas (Heritage Studies, Inc., 1981).

Significance: 83 Central Avenue is associated with twentieth-century development in South Seaside Park and Berkeley Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 83 Central Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 83 Central Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24,
	Survey		2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 81 Central Avenue

Street Address: Street #: 81 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Central Suffix: N/A Type: AVE

County(s): Ocean Zip Code: 08752

Municipality(s): Berkeley Township Block(s): 1692

Local Place Name(s): South Seaside Park Lot(s): 1

Ownership: Private USGS Quad(s) Seaside Park

Description: The resource at 81 Central Avenue is a one-story mobile home with a gabled roof and vinyl siding.

Registration and Status Dates:

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

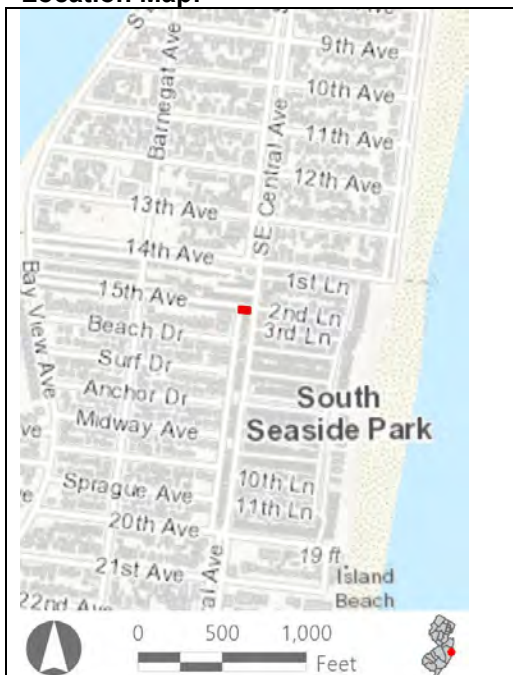
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. New Jersey Historic Sites Inventory, Ocean County Vol. 28. Available at https://www.nj.gov/dep/hpo/hrrcn_sandy_OCE_GB_147_148_PDF/OCE_GB_148_v28.pdf (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>81 Central Avenue</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>ca. 1970</u>	Source:	<u>Stylistic Evidence</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Other</u>	Stories:	<u>1</u>
Type:	<u>N/A</u>	Bays:	<u>1</u>
Roof Finish Materials:	<u>Unknown</u>		
Exterior Finish Materials	<u>Vinyl Siding</u>		

Exterior Description: The resource at 81 Central Avenue is a one-story mobile home with a gabled roof and vinyl siding. It is one bay wide and three bays deep. The entrance is via a sliding patio door on the side elevation. The fenestration is 1/1 replacement sash. The street-facing elevation has an oriel window with two large sash, otherwise, the sash are half-size.

Interior Description: N/A

Setting: One of a row of mobile homes within a street grid neighborhood of shot gun cottages and mobile homes a block in from the ocean/beach. South Seaside Park is an unincorporated section of Berkley Township located on Barnegat Island.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Berkeley Township is located in the northern limit of Atlantic County and is bounded on the north by Cedar Creek, on the east by Barnegat Bay, on the south by Toms River, and on the west by Manchester Township. The first Euro-American settlers in this area of Atlantic County were English and arrived in the late seventeenth century. The early economies capitalized on the abundant pine barren forests and proximity to Barnegat Bay and Toms River. Agriculture, lumbering, milling, and boatbuilding were the principal trades. Throughout the eighteenth century, the township was predominantly rural with scattered settlements. The township was formally incorporated in 1875 from Dover Township and Bayville, incorporated in 1881, was the primary locale. The Toms River and Waretown Railroad arrived in the area in 1872 and with it brought sportsmen, vacationers, and new residents. The railroad also spurred the export of local produce and fish and shellfish which helped to sustain a diversified agricultural economy. By the early twentieth century, pound fishing (the trapping of large quantities of fish in large nets) and cranberry harvesting became lucrative economies in the township. Although a number of resort communities were proposed and platted in the township, Berkeley Township remained rural and undeveloped throughout the twentieth century. The late twentieth and early twenty-first century brought a proliferation of housing to the township which is largely confined to the bayfront areas (Heritage Studies, Inc., 1981).

Significance: 81 Central Avenue is associated with twentieth-century development in South Seaside Park and Berkeley Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 81 Central Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 81 Central Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 84 Central Avenue

Street Address: Street #: 84 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Central Suffix: N/A Type: AVE

County(s): Ocean Zip Code: 08752

Municipality(s): Berkeley Township Block(s): 1692

Local Place Name(s): South Seaside Park Lot(s): 1

Ownership: Private USGS Quad(s) Seaside Park

Description: The resource at 84 Central Avenue is a one-story mobile home with a gabled roof and vinyl siding.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

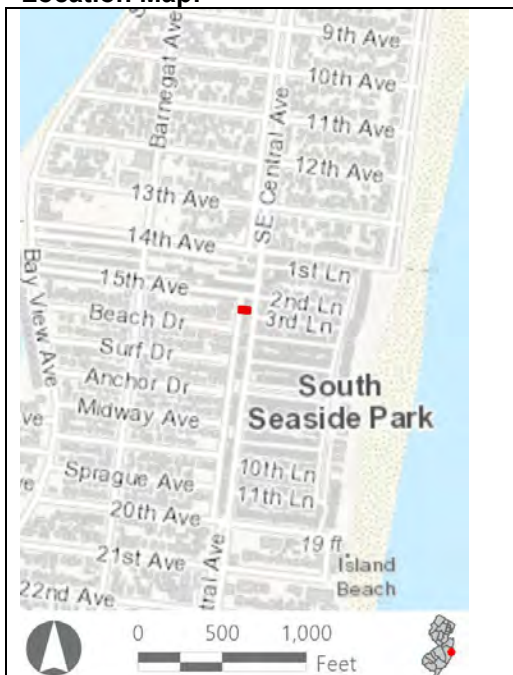


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. New Jersey Historic Sites Inventory, Ocean County Vol. 28. Available at https://www.nj.gov/dep/hpo/hrrcn_sandy_OCE_GB_147_148_PDF/OCE_GB_148_v28.pdf (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>84 Central Ave</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>ca. 1970</u>	Source:	<u>Stylistic Evidence</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Other</u>	Stories:	<u>1</u>
Type:	<u>N/A</u>	Bays:	<u>1</u>
Roof Finish Materials:	<u>Unknown</u>		
Exterior Finish Materials	<u>Vinyl Siding</u>		

Exterior Description: The resource at 84 Central Avenue is a one-story mobile home with a gabled roof and vinyl siding. The building is one bay wide and three bays deep. The eaves on the street-facing elevation overhang with three rows of fish scale shingles overhanging the gable. There is a bay window on the street-facing elevation and 1/1 replacement sash on the side elevations. The primary entrance is on the side elevation.

Interior Description: N/A

Setting: One of a row of mobile homes within a street grid neighborhood of shot gun cottages and mobile homes a block in from the ocean/beach. South Seaside Park is an unincorporated section of Berkley Township located on Barnegat Island.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Berkeley Township is located in the northern limit of Atlantic County and is bounded on the north by Cedar Creek, on the east by Barnegat Bay, on the south by Toms River, and on the west by Manchester Township. The first Euro-American settlers in this area of Atlantic County were English and arrived in the late seventeenth century. The early economies capitalized on the abundant pine barren forests and proximity to Barnegat Bay and Toms River. Agriculture, lumbering, milling, and boatbuilding were the principal trades. Throughout the eighteenth century, the township was predominantly rural with scattered settlements. The township was formally incorporated in 1875 from Dover Township and Bayville, incorporated in 1881, was the primary locale. The Toms River and Waretown Railroad arrived in the area in 1872 and with it brought sportsmen, vacationers, and new residents. The railroad also spurred the export of local produce and fish and shellfish which helped to sustain a diversified agricultural economy. By the early twentieth century, pound fishing (the trapping of large quantities of fish in large nets) and cranberry harvesting became lucrative economies in the township. Although a number of resort communities were proposed and platted in the township, Berkeley Township remained rural and undeveloped throughout the twentieth century. The late twentieth and early twenty-first century brought a proliferation of housing to the township which is largely confined to the bayfront areas (Heritage Studies, Inc., 1981).

Significance: 84 Central Avenue is associated with twentieth-century development in South Seaside Park and Berkeley Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 84 Central Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 84 Central Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24,
2023

BASE FORM

Historic Sites #:

Property Name: 82 Central Avenue

Street Address: Street #: 82 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Central Suffix: N/A Type: AVE

County(s): Ocean Zip Code: 08752

Municipality(s): Berkeley Township Block(s): 1692

Local Place Name(s): South Seaside Park Lot(s): 1

Ownership: Private USGS Quad(s) Seaside Park

Description: The resource at 82 Ocean Avenue is a one-story mobile home with a gabled roof and vinyl siding.

Registration and Status Dates:

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

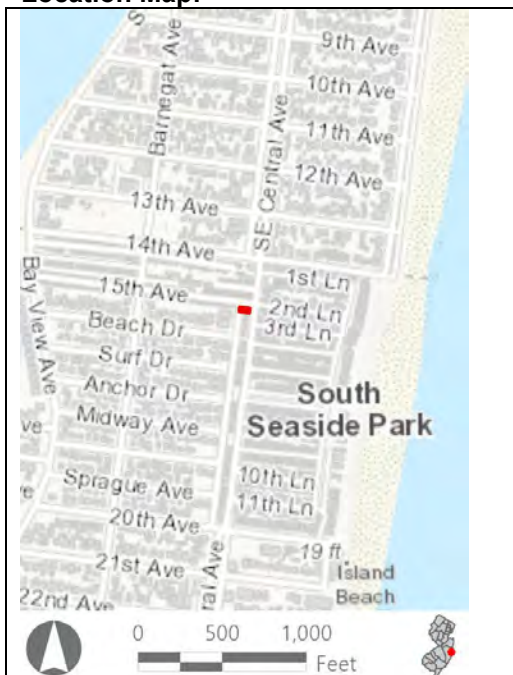
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

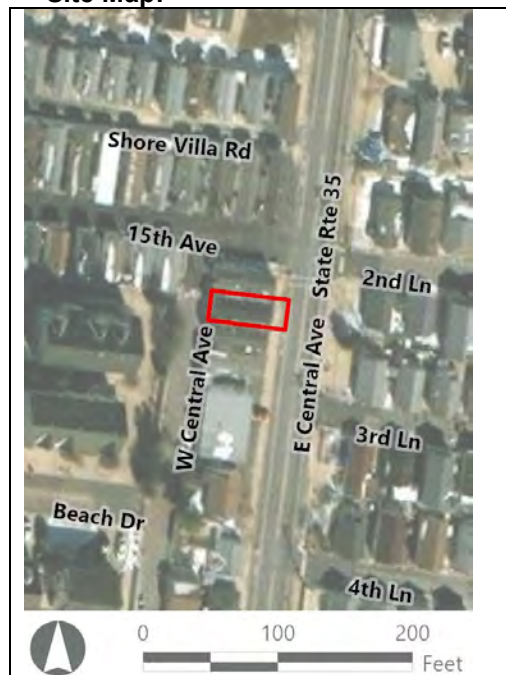
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. New Jersey Historic Sites Inventory, Ocean County Vol. 28. Available at https://www.nj.gov/dep/hpo/hrrcn_sandy_OCE_GB_147_148_PDF/OCE_GB_148_v28.pdf (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>82 Central Avenue</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>ca. 1970</u>	Source:	<u>Stylistic Evidence</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Other</u>	Stories:	<u>1</u>
Type:	<u>N/A</u>	Bays:	<u>1</u>
Roof Finish Materials:	<u>Unknown</u>		
Exterior Finish Materials	<u>Vinyl Siding</u>		

Exterior Description: The resource at 82 Ocean Avenue is a one-story mobile home with a gabled roof and vinyl siding. It is one bay wide and four bays deep. The entrance is on the side elevation. There is a shallow oriel window on the street-facing elevation and 1/1 replacement sash on the side elevations.

Interior Description: N/A

Setting: One of a row of mobile homes within a street grid neighborhood of shot gun cottages and mobile homes a block in from the ocean/beach. South Seaside Park is an unincorporated section of Berkley Township located on Barnegat Island.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Berkeley Township is located in the northern limit of Atlantic County and is bounded on the north by Cedar Creek, on the east by Barnegat Bay, on the south by Toms River, and on the west by Manchester Township. The first Euro-American settlers in this area of Atlantic County were English and arrived in the late seventeenth century. The early economies capitalized on the abundant pine barren forests and proximity to Barnegat Bay and Toms River. Agriculture, lumbering, milling, and boatbuilding were the principal trades. Throughout the eighteenth century, the township was predominantly rural with scattered settlements. The township was formally incorporated in 1875 from Dover Township and Bayville, incorporated in 1881, was the primary locale. The Toms River and Waretown Railroad arrived in the area in 1872 and with it brought sportsmen, vacationers, and new residents. The railroad also spurred the export of local produce and fish and shellfish which helped to sustain a diversified agricultural economy. By the early twentieth century, pound fishing (the trapping of large quantities of fish in large nets) and cranberry harvesting became lucrative economies in the township. Although a number of resort communities were proposed and platted in the township, Berkeley Township remained rural and undeveloped throughout the twentieth century. The late twentieth and early twenty-first century brought a proliferation of housing to the township which is largely confined to the bayfront areas (Heritage Studies, Inc., 1981).

Significance: 82 Central Avenue is associated with twentieth-century development in South Seaside Park and Berkeley Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 82 Central Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 82 Central Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 198 Central Avenue

Street Address: Street #: 198 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Central Suffix: N/A Type: AVE

County(s): Ocean **Zip Code:** 08752

Municipality(s): Berkeley Township **Block(s):** 1693

Local Place Name(s): South Seaside Park **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Seaside Park

Description: The building at 198 Central Avenue is a one-story ranch house with an asymmetrical gable roof and is clad in vinyl siding.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

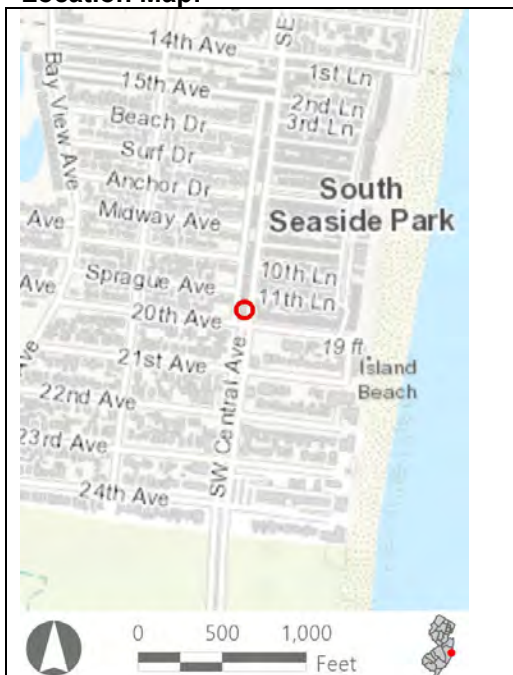


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

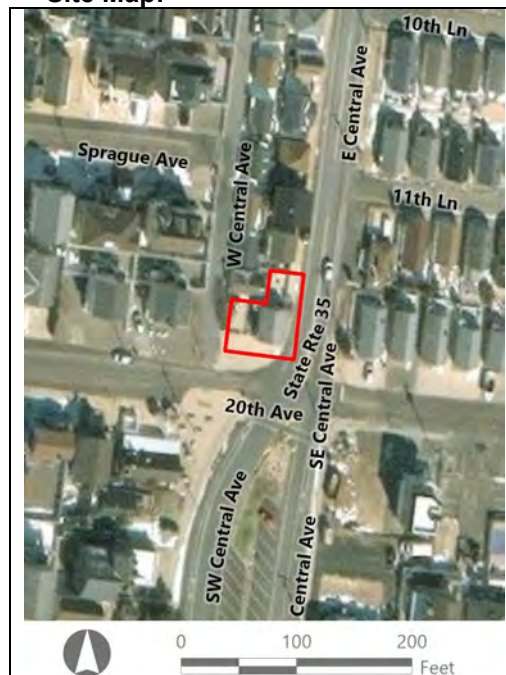
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. New Jersey Historic Sites Inventory, Ocean County Vol. 28. Available at https://www.nj.gov/dep/hpo/hrrcn_sandy_OCE_GB_147_148_PDF/OCE_GB_148_v28.pdf (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 198 Central Avenue

Historic Name: N/A

Present Use: Residential Activity, Permanent

Historic Use: Residential Activity, Permanent

Construction Date: 1940 **Source:** Njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Good

Builder: N/A **Remaining Historic Fabric:** Low

Style: None

Form: Ranch **Stories:** 1

Type: N/A **Bays:** 2

Roof Finish Materials: Asphalt Shingle

Exterior Finish Materials Vinyl Siding

Exterior Description: The building at 198 Central Avenue is a one-story ranch house with an asymmetrical gable roof and is clad in vinyl siding. It is three bays wide and three bays deep. The entrance is on the gable end in the center bay. The fenestration is 1/1 replacement sash and fixed sash.

Interior Description: N/A

Setting: Located within a street grid neighborhood of tightly packed shot gun cottages and one-story vernacular house types a block in from the ocean/beach. South Seaside Park is an unincorporated section of Berkley Township located on Barnegat Island.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Berkeley Township is located in the northern limit of Atlantic County and is bounded on the north by Cedar Creek, on the east by Barnegat Bay, on the south by Toms River, and on the west by Manchester Township. The first Euro-American settlers in this area of Atlantic County were English and arrived in the late seventeenth century. The early economies capitalized on the abundant pine barren forests and proximity to Barnegat Bay and Toms River. Agriculture, lumbering, milling, and boatbuilding were the principal trades. Throughout the eighteenth century, the township was predominantly rural with scattered settlements. The township was formally incorporated in 1875 from Dover Township and Bayville, incorporated in 1881, was the primary locale. The Toms River and Waretown Railroad arrived in the area in 1872 and with it brought sportsmen, vacationers, and new residents. The railroad also spurred the export of local produce and fish and shellfish which helped to sustain a diversified agricultural economy. By the early twentieth century, pound fishing (the trapping of large quantities of fish in large nets) and cranberry harvesting became lucrative economies in the township. Although a number of resort communities were proposed and platted in the township, Berkeley Township remained rural and undeveloped throughout the twentieth century. The late twentieth and early twenty-first century brought a proliferation of housing to the township which is largely confined to the bayfront areas (Heritage Studies, Inc., 1981).

Significance: 198 Central Avenue is associated with twentieth-century development in South Seaside Park and Berkeley Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Does not appear to retain sufficient exterior integrity or exhibit architectural significance. Background research did not reveal any associations with historically important events or persons; therefore, 198 Central Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 198 Central Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 194 Central Avenue

Street Address: Street #: 194 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Central Suffix: N/A Type: AVE

County(s): Ocean **Zip Code:** 08752

Municipality(s): Berkeley Township **Block(s):** 1693

Local Place Name(s): South Seaside Park **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Seaside Park

Description: The building at 194 Central Avenue is a one-story shotgun house with an asphalt shingle roof and vinyl siding.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

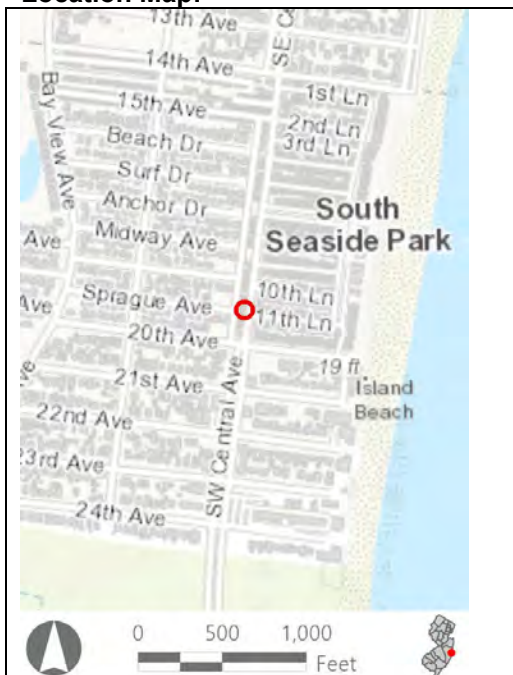
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. New Jersey Historic Sites Inventory, Ocean County Vol. 28. Available at https://www.nj.gov/dep/hpo/hrrcn_sandy_OCE_GB_147_148_PDF/OCE_GB_148_v28.pdf (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 194 Central Avenue

Historic Name: N/A

Present Use: Residential Activity, Permanent

Historic Use: Residential Activity, Permanent

Construction Date: 1940 **Source:** Njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Good

Builder: N/A **Remaining Historic Fabric:** Low

Style: None

Form: Shot Gun **Stories:** 1

Type: N/A **Bays:** 2

Roof Finish Materials: Asphalt Shingle

Exterior Finish Materials Vinyl Siding

Exterior Description: The building at 194 Central Avenue is a one-story shotgun house with an asphalt shingle roof and vinyl siding. The façade is three bays wide with patio doors in the left bay and 1/1 replacement sash in the other bays. The side elevations are devoid of fenestration.

Interior Description: N/A

Setting: Located within a street grid neighborhood of tightly packed shot gun cottages and Cape Cods a block in from the ocean/beach. South Seaside Park is an unincorporated section of Berkley Township located on Barnegat Island.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Berkeley Township is located in the northern limit of Atlantic County and is bounded on the north by Cedar Creek, on the east by Barnegat Bay, on the south by Toms River, and on the west by Manchester Township. The first Euro-American settlers in this area of Atlantic County were English and arrived in the late seventeenth century. The early economies capitalized on the abundant pine barren forests and proximity to Barnegat Bay and Toms River. Agriculture, lumbering, milling, and boatbuilding were the principal trades. Throughout the eighteenth century, the township was predominantly rural with scattered settlements. The township was formally incorporated in 1875 from Dover Township and Bayville, incorporated in 1881, was the primary locale. The Toms River and Waretown Railroad arrived in the area in 1872 and with it brought sportsmen, vacationers, and new residents. The railroad also spurred the export of local produce and fish and shellfish which helped to sustain a diversified agricultural economy. By the early twentieth century, pound fishing (the trapping of large quantities of fish in large nets) and cranberry harvesting became lucrative economies in the township. Although a number of resort communities were proposed and platted in the township, Berkeley Township remained rural and undeveloped throughout the twentieth century. The late twentieth and early twenty-first century brought a proliferation of housing to the township which is largely confined to the bayfront areas (Heritage Studies, Inc., 1981).

Significance: 194 Central Avenue is associated with twentieth-century development in South Seaside Park and Berkeley Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Does not appear to retain sufficient exterior integrity or exhibit architectural significance. Background research did not reveal any associations with historically important events or persons; therefore, 194 Central Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 194 Central Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 190 Central Avenue

Street Address: Street #: 190 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Central Suffix: N/A Type: AVE

County(s): Ocean **Zip Code:** 08752

Municipality(s): Seaside Park **Block(s):** 1693

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Seaside Park

Description: The building at 190 Central Avenue is a one-story square house with a hipped asphalt shingle roof and stucco siding with small stones for texture.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

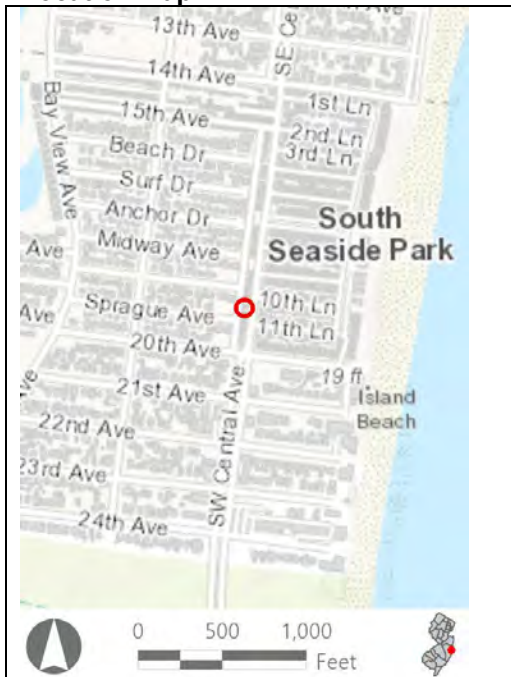


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

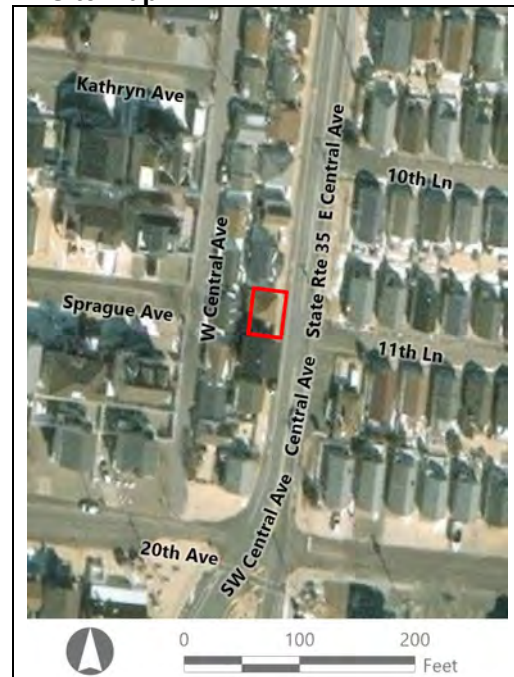
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 190 Central Ave
Historic Name: N/A
Present Use: Residential activity, permanent
Historic Use: Residential activity, permanent
Construction Date: 1940 **Source:** Njtaxrecords.net
Alteration Date(s): N/A **Source:** N/A
Designer: N/A **Physical Condition:** Good
Builder: N/A **Remaining Historic Fabric:** Low
Style: None
Form: Other **Stories:** 1
Type: N/A **Bays:** 2
Roof Finish Materials: Asphalt Shingle
Exterior Finish Materials Stucco

Exterior Description: The building at 190 Central Avenue is a one-story square house with a hipped asphalt shingle roof and stucco siding with small stones for texture. The building is two bays wide and two bays deep. The entrance is in the left bay of the façade with a shed roof overhang. The fenestration is 1/1 replacement sash except for an oriel window on the side elevation.

Interior Description: N/A

Setting: Located within a street grid neighborhood of tightly packed shot gun cottages and one-story vernacular house types a block in from the ocean/beach. South Seaside Park is an unincorporated section of Berkley Township located on Barnegat Island.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Berkeley Township is located in the northern limit of Atlantic County and is bounded on the north by Cedar Creek, on the east by Barnegat Bay, on the south by Toms River, and on the west by Manchester Township. The first Euro-American settlers in this area of Atlantic County were English and arrived in the late seventeenth century. The early economies capitalized on the abundant pine barren forests and proximity to Barnegat Bay and Toms River. Agriculture, lumbering, milling, and boatbuilding were the principal trades. Throughout the eighteenth century, the township was predominantly rural with scattered settlements. The township was formally incorporated in 1875 from Dover Township and Bayville, incorporated in 1881, was the primary locale. The Toms River and Waretown Railroad arrived in the area in 1872 and with it brought sportsmen, vacationers, and new residents. The railroad also spurred the export of local produce and fish and shellfish which helped to sustain a diversified agricultural economy. By the early twentieth century, pound fishing (the trapping of large quantities of fish in large nets) and cranberry harvesting became lucrative economies in the township. Although a number of resort communities were proposed and platted in the township, Berkeley Township remained rural and undeveloped throughout the twentieth century. The late twentieth and early twenty-first century brought a proliferation of housing to the township which is largely confined to the bayfront areas (Heritage Studies, Inc., 1981).

Significance: 190 Central Avenue is associated with twentieth-century development in South Seaside Park and Berkeley Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Does not appear to retain sufficient exterior integrity or exhibit architectural significance. Background research did not reveal any associations with historically important events or persons; therefore, 190 Central Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 190 Central Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

Date: February 24,
2023

BASE FORM

Historic Sites #:

Property Name: 180 Central Avenue

Street Address: Street #: 180 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Central Suffix: N/A Type: AVE

County(s): Ocean **Zip Code:** 08752

Municipality(s): Berkeley Township **Block(s):** 1693

Local Place Name(s): South Seaside Park **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Seaside Park

Description: The building at 180 Central Avenue is a one-story square house with vinyl siding and a hipped asphalt shingle roof. It is three bays wide and two bays deep with 1/1 replacement sash. There is a patio door in the center bay of the façade.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

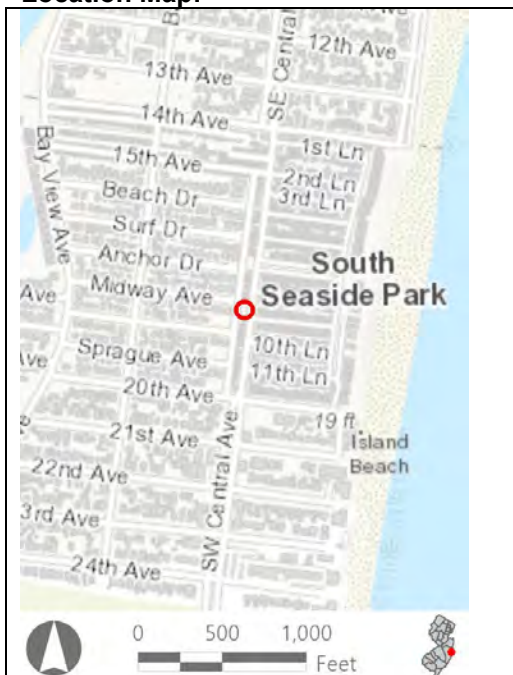


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. New Jersey Historic Sites Inventory, Ocean County Vol. 28. Available at https://www.nj.gov/dep/hpo/hrrcn_sandy_OCE_GB_147_148_PDF/OCE_GB_148_v28.pdf (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey: Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 180 Central Avenue

Historic Name: N/A

Present Use: Residential activity, permanent

Historic Use: Residential activity, permanent

Construction Date: 1940 **Source:** Njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Fair

Builder: N/A **Remaining Historic Fabric:** Low

Style: None

Form: Other **Stories:** 1

Type: N/A **Bays:** 2

Roof Finish Materials: Asphalt Shingle

Exterior Finish Materials Vinyl Siding

Exterior Description: The building at 180 Central Avenue is a one-story square house with vinyl siding and a hipped asphalt shingle roof. It is three bays wide and two bays deep with 1/1 replacement sash. There is a patio door in the center bay of the façade.

Interior Description: N/A

Setting: Located within a street grid neighborhood of tightly packed shot gun cottages and one-story vernacular house types a block in from the ocean/beach. South Seaside Park is an unincorporated section of Berkley Township located on Barnegat Island.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Berkeley Township is located in the northern limit of Atlantic County and is bounded on the north by Cedar Creek, on the east by Barnegat Bay, on the south by Toms River, and on the west by Manchester Township. The first Euro-American settlers in this area of Atlantic County were English and arrived in the late seventeenth century. The early economies capitalized on the abundant pine barren forests and proximity to Barnegat Bay and Toms River. Agriculture, lumbering, milling, and boatbuilding were the principal trades. Throughout the eighteenth century, the township was predominantly rural with scattered settlements. The township was formally incorporated in 1875 from Dover Township and Bayville, incorporated in 1881, was the primary locale. The Toms River and Waretown Railroad arrived in the area in 1872 and with it brought sportsmen, vacationers, and new residents. The railroad also spurred the export of local produce and fish and shellfish which helped to sustain a diversified agricultural economy. By the early twentieth century, pound fishing (the trapping of large quantities of fish in large nets) and cranberry harvesting became lucrative economies in the township. Although a number of resort communities were proposed and platted in the township, Berkeley Township remained rural and undeveloped throughout the twentieth century. The late twentieth and early twenty-first century brought a proliferation of housing to the township which is largely confined to the bayfront areas (Heritage Studies, Inc., 1981).

Significance: 180 Central Avenue is associated with twentieth-century development in South Seaside Park and Berkeley Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Does not appear to retain sufficient exterior integrity or exhibit architectural significance. Background research did not reveal any associations with historically important events or persons; therefore, 180 Central Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 180 Central Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 178 Central Avenue

Street Address: Street #: 178 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Central Suffix: N/A Type: AVE

County(s): Ocean Zip Code: 08752

Municipality(s): Berkeley Township Block(s): 1692

Local Place Name(s): South Seaside Park Lot(s): 1

Ownership: Private USGS Quad(s) Seaside Park

Description: The building at 178 Central Avenue is a one-story house with a cross-gable asphalt shingle roof and vinyl siding.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

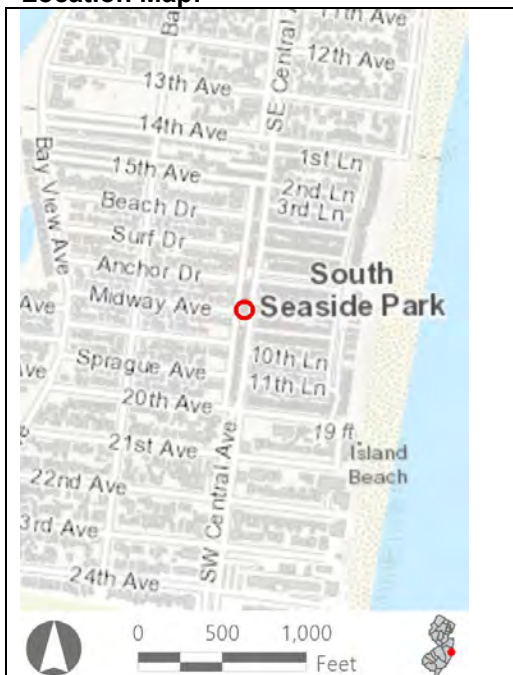


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. New Jersey Historic Sites Inventory, Ocean County Vol. 28. Available at https://www.nj.gov/dep/hpo/hrrcn_sandy_OCE_GB_147_148_PDF/OCE_GB_148_v28.pdf (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	178 Central Avenue		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1940	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	1
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 178 Central Avenue is a one-story house with a cross-gable asphalt shingle roof and vinyl siding. It is three bays wide and two bays deep with the façade further divided by two gable-front volumes. The entrance is in the right bay of the façade and a patio door is in the right bay of the street-facing side elevation. The fenestration is 1/1 replacement sash both singly and in pairs.

Interior Description: N/A

Setting: Located within a street grid neighborhood of tightly packed shot gun cottages and one-story vernacular house types a block in from the ocean/beach. South Seaside Park is an unincorporated section of Berkley Township located on Barnegat Island.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Berkeley Township is located in the northern limit of Atlantic County and is bounded on the north by Cedar Creek, on the east by Barnegat Bay, on the south by Toms River, and on the west by Manchester Township. The first Euro-American settlers in this area of Atlantic County were English and arrived in the late seventeenth century. The early economies capitalized on the abundant pine barren forests and proximity to Barnegat Bay and Toms River. Agriculture, lumbering, milling, and boatbuilding were the principal trades. Throughout the eighteenth century, the township was predominantly rural with scattered settlements. The township was formally incorporated in 1875 from Dover Township and Bayville, incorporated in 1881, was the primary locale. The Toms River and Waretown Railroad arrived in the area in 1872 and with it brought sportsmen, vacationers, and new residents. The railroad also spurred the export of local produce and fish and shellfish which helped to sustain a diversified agricultural economy. By the early twentieth century, pound fishing (the trapping of large quantities of fish in large nets) and cranberry harvesting became lucrative economies in the township. Although a number of resort communities were proposed and platted in the township, Berkeley Township remained rural and undeveloped throughout the twentieth century. The late twentieth and early twenty-first century brought a proliferation of housing to the township which is largely confined to the bayfront areas (Heritage Studies, Inc., 1981).

Significance: 178 Central Avenue is associated with twentieth-century development in South Seaside Park and Berkeley Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Does not appear to retain sufficient exterior integrity or exhibit architectural significance. Background research did not reveal any associations with historically important events or persons; therefore, 178 Central Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 178 Central Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 168 Central Avenue

Street Address: Street #: 168 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Central Suffix: N/A Type: AVE

County(s): Ocean **Zip Code:** 08752

Municipality(s): Seaside Park **Block(s):** 1692

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Seaside Park

Description: The building at 168 Central Avenue is a one-story, side-gabled house on a rectangular plan with asbestos shingle siding.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

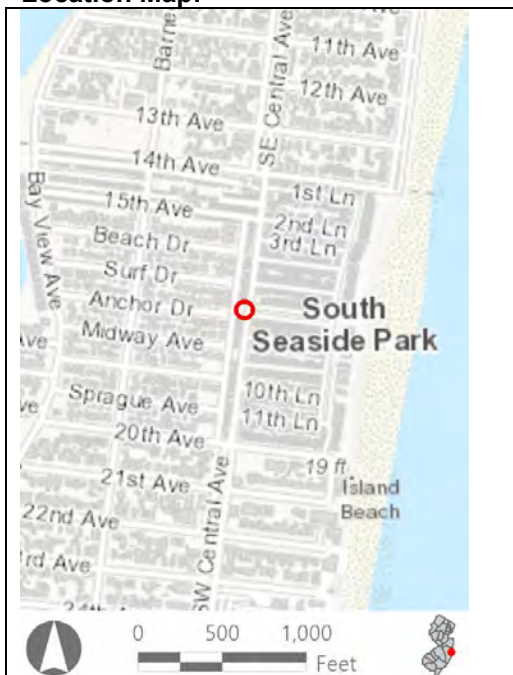


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. New Jersey Historic Sites Inventory, Ocean County Vol. 28. Available at https://www.nj.gov/dep/hpo/hrrcn_sandy_OCE_GB_147_148_PDF/OCE_GB_148_v28.pdf (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 168 Central Avenue

Historic Name: N/A

Present Use: Residential activity, permanent

Historic Use: Residential activity, permanent

Construction Date: 1940 **Source:** Njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Good

Builder: N/A **Remaining Historic Fabric:** Low

Style: None

Form: Other **Stories:** 1

Type: N/A **Bays:** 2

Roof Finish Materials: Asphalt Shingle

Exterior Finish Materials Asbestos Siding

Exterior Description: The building at 168 Central Avenue is a one-story, side-gabled house on a rectangular plan with asbestos shingle siding. It is one bay wide and two bays deep with a shed-roof overhang and projection on one side elevation. The entrance is forward of the projection and shielded by the overhang. The fenestration is horizontal slider replacement sash.

Interior Description: N/A

Setting: Located within a street grid neighborhood of tightly packed shot gun cottages and one-story vernacular house types a block in from the ocean/beach. South Seaside Park is an unincorporated section of Berkley Township located on Barnegat Island.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Berkeley Township is located in the northern limit of Atlantic County and is bounded on the north by Cedar Creek, on the east by Barnegat Bay, on the south by Toms River, and on the west by Manchester Township. The first Euro-American settlers in this area of Atlantic County were English and arrived in the late seventeenth century. The early economies capitalized on the abundant pine barren forests and proximity to Barnegat Bay and Toms River. Agriculture, lumbering, milling, and boatbuilding were the principal trades. Throughout the eighteenth century, the township was predominantly rural with scattered settlements. The township was formally incorporated in 1875 from Dover Township and Bayville, incorporated in 1881, was the primary locale. The Toms River and Waretown Railroad arrived in the area in 1872 and with it brought sportsmen, vacationers, and new residents. The railroad also spurred the export of local produce and fish and shellfish which helped to sustain a diversified agricultural economy. By the early twentieth century, pound fishing (the trapping of large quantities of fish in large nets) and cranberry harvesting became lucrative economies in the township. Although a number of resort communities were proposed and platted in the township, Berkeley Township remained rural and undeveloped throughout the twentieth century. The late twentieth and early twenty-first century brought a proliferation of housing to the township which is largely confined to the bayfront areas (Heritage Studies, Inc., 1981).

Significance: 168 Central Avenue is associated with twentieth-century development in South Seaside Park and Berkeley Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Does not appear to retain sufficient exterior integrity or exhibit architectural significance. Background research did not reveal any associations with historically important events or persons; therefore, 168 Central Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 168 Central Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 160 Central Avenue

Street Address: Street #: 160 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Central Suffix: N/A Type: AVE

County(s): Ocean **Zip Code:** 08752

Municipality(s): Berkeley Township **Block(s):** 1692

Local Place Name(s): South Seaside Park **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Seaside Park

Description: The building at 160 Central Avenue is a one-story rectangular home with a hipped roof, vinyl siding, and no public-facing entry.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

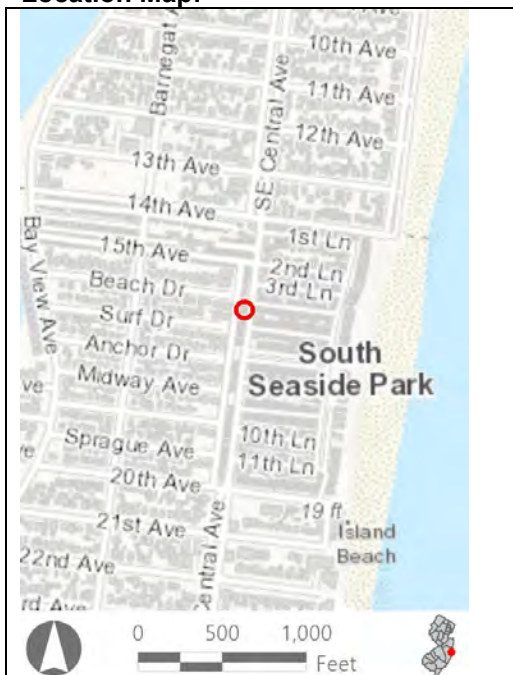


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. New Jersey Historic Sites Inventory, Ocean County Vol. 28. Available at https://www.nj.gov/dep/hpo/hrrcn_sandy_OCE_GB_147_148_PDF/OCE_GB_148_v28.pdf (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	160 Central Avenue		
Historic Name:	N/A		
Present Use:	Residential, Permanent		
Historic Use:	Residential, Permanent		
Construction Date:	1940	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	1
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingles		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 160 Central Avenue is a one-story rectangular home with a hipped roof, vinyl siding, and no public-facing entry. It is two bays wide and two bays deep with 1/1 replacement sash both singly and in pairs. There is a single-bay shed roof projection on one gable end.

Interior Description: N/A

Setting: Located within a street grid neighborhood of tightly packed shot gun cottages and one-story vernacular house types a block in from the ocean/beach. South Seaside Park is an unincorporated section of Berkley Township located on Barnegat Island.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Berkeley Township is located in the northern limit of Atlantic County and is bounded on the north by Cedar Creek, on the east by Barnegat Bay, on the south by Toms River, and on the west by Manchester Township. The first Euro-American settlers in this area of Atlantic County were English and arrived in the late seventeenth century. The early economies capitalized on the abundant pine barren forests and proximity to Barnegat Bay and Toms River. Agriculture, lumbering, milling, and boatbuilding were the principal trades. Throughout the eighteenth century, the township was predominantly rural with scattered settlements. The township was formally incorporated in 1875 from Dover Township and Bayville, incorporated in 1881, was the primary locale. The Toms River and Waretown Railroad arrived in the area in 1872 and with it brought sportsmen, vacationers, and new residents. The railroad also spurred the export of local produce and fish and shellfish which helped to sustain a diversified agricultural economy. By the early twentieth century, pound fishing (the trapping of large quantities of fish in large nets) and cranberry harvesting became lucrative economies in the township. Although a number of resort communities were proposed and platted in the township, Berkeley Township remained rural and undeveloped throughout the twentieth century. The late twentieth and early twenty-first century brought a proliferation of housing to the township which is largely confined to the bayfront areas (Heritage Studies, Inc., 1981).

Significance: 160 Central Avenue is associated with twentieth-century development in South Seaside Park and Berkeley Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Does not appear to retain sufficient exterior integrity or exhibit architectural significance. Background research did not reveal any associations with historically important events or persons; therefore, 160 Central Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 160 Central Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 158 A Central Avenue

Street Address: Street #: 158 A N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Central Suffix: N/A Type: AVE

County(s): Ocean **Zip Code:** 08752

Municipality(s): Berkeley Township **Block(s):** 1692

Local Place Name(s): South Seaside Park **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Seaside Park

Description: The building at 158 A Central Avenue is a hipped roof ranch with wood shingles and clapboard cladding.

Registration and Status Dates: National Historic Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

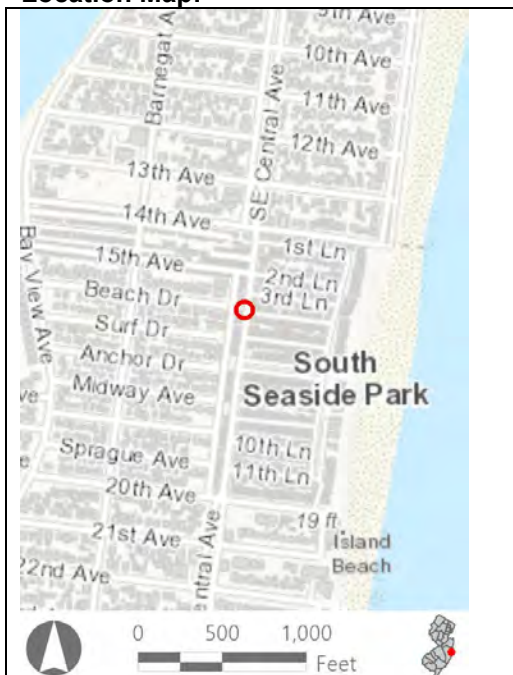
Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. New Jersey Historic Sites Inventory, Ocean County Vol. 28. Available at https://www.nj.gov/dep/hpo/hrrcn_sandy_OCE_GB_147_148_PDF/OCE_GB_148_v28.pdf (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 158 A Central Avenue
Historic Name: N/A
Present Use: Residential, Permanent
Historic Use: Residential, Permanent
Construction Date: 1940 **Source:** Njtaxrecords.net
Alteration Date(s): N/A **Source:** N/A
Designer: N/A **Physical Condition:** Fair
Builder: N/A **Remaining Historic Fabric:** Low
Style: None
Form: Ranch **Stories:** 1
Type: N/A **Bays:** 2
Roof Finish Materials: Asphalt Shingles
Exterior Finish Materials Wood Shingles

Exterior Description: The building at 158 A Central Avenue is a hipped roof ranch with wood shingles and clapboard cladding. It is two bays wide and two bays deep with 1/1 replacement sash and horizontal fixed sash. The front entrance is on the side of a projecting bay at the façade.

Interior Description: N/A

Setting: Located within a street grid neighborhood of tightly packed shot gun cottages and one-story vernacular house types a block in from the ocean/beach. South Seaside Park is an unincorporated section of Berkley Township located on Barnegat Island.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Berkeley Township is located in the northern limit of Atlantic County and is bounded on the north by Cedar Creek, on the east by Barnegat Bay, on the south by Toms River, and on the west by Manchester Township. The first Euro-American settlers in this area of Atlantic County were English and arrived in the late seventeenth century. The early economies capitalized on the abundant pine barren forests and proximity to Barnegat Bay and Toms River. Agriculture, lumbering, milling, and boatbuilding were the principal trades. Throughout the eighteenth century, the township was predominantly rural with scattered settlements. The township was formally incorporated in 1875 from Dover Township and Bayville, incorporated in 1881, was the primary locale. The Toms River and Waretown Railroad arrived in the area in 1872 and with it brought sportsmen, vacationers, and new residents. The railroad also spurred the export of local produce and fish and shellfish which helped to sustain a diversified agricultural economy. By the early twentieth century, pound fishing (the trapping of large quantities of fish in large nets) and cranberry harvesting became lucrative economies in the township. Although a number of resort communities were proposed and platted in the township, Berkeley Township remained rural and undeveloped throughout the twentieth century. The late twentieth and early twenty-first century brought a proliferation of housing to the township which is largely confined to the bayfront areas (Heritage Studies, Inc., 1981).

Significance: 158 A Central Avenue is associated with twentieth-century development in South Seaside Park and Berkeley Township. The building is not representative of a significant architectural style or type and is not architecturally significant

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Does not appear to retain sufficient exterior integrity or exhibit architectural significance. Background research did not reveal any associations with historically important events or persons; therefore, 158 A Central Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 158 A Central Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24,
2023

BASE FORM

Historic Sites #:

Property Name: 158 Central Avenue

Street Address: Street #: 158 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Central Suffix: N/A Type: AVE

County(s): Ocean **Zip Code:** 08752

Municipality(s): Berkeley Township **Block(s):** 1692

Local Place Name(s): South Seaside Park **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Seaside Park

Description: The building at 158 Central Avenue is a one-story Cape Cod with vinyl shingle siding.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

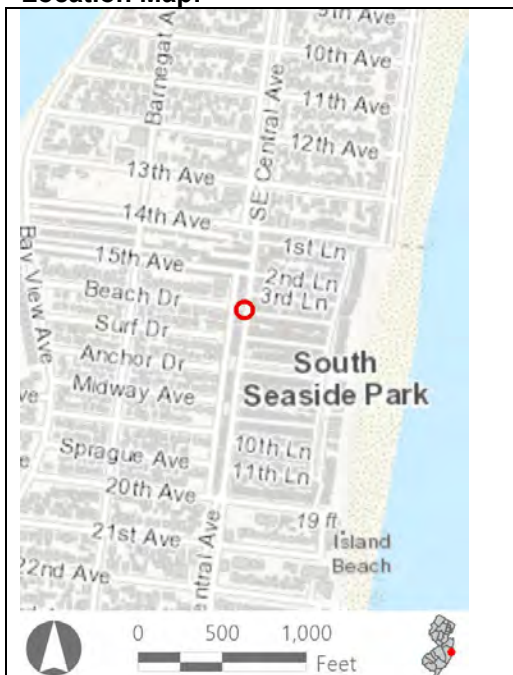


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. New Jersey Historic Sites Inventory, Ocean County Vol. 28. Available at https://www.nj.gov/dep/hpo/hrrcn_sandy_OCE_GB_147_148_PDF/OCE_GB_148_v28.pdf (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 158 Central Avenue
Historic Name: N/A
Present Use: Residential, Permanent
Historic Use: Residential, Permanent
Construction Date: 1940 **Source:** Njtaxrecords.net
Alteration Date(s): N/A **Source:** N/A
Designer: N/A **Physical Condition:** Good
Builder: N/A **Remaining Historic Fabric:** Low
Style: None
Form: Cape Cod **Stories:** 1
Type: N/A **Bays:** 3
Roof Finish Materials: Asphalt Shingles
Exterior Finish Materials Vinyl Siding

Exterior Description: The building at 158 Central Avenue is a one-story Cape Cod with vinyl shingle siding. The building is three bays wide and two bays deep with 1/1 replacement sash with 6/6 dividers. The entrance is in the center bay of the façade.

Interior Description: N/A

Setting: Located within a street grid neighborhood of tightly packed shot gun cottages and one-story vernacular house types a block in from the ocean/beach. South Seaside Park is an unincorporated section of Berkley Township located on Barnegat Island.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Berkeley Township is located in the northern limit of Atlantic County and is bounded on the north by Cedar Creek, on the east by Barnegat Bay, on the south by Toms River, and on the west by Manchester Township. The first Euro-American settlers in this area of Atlantic County were English and arrived in the late seventeenth century. The early economies capitalized on the abundant pine barren forests and proximity to Barnegat Bay and Toms River. Agriculture, lumbering, milling, and boatbuilding were the principal trades. Throughout the eighteenth century, the township was predominantly rural with scattered settlements. The township was formally incorporated in 1875 from Dover Township and Bayville, incorporated in 1881, was the primary locale. The Toms River and Waretown Railroad arrived in the area in 1872 and with it brought sportsmen, vacationers, and new residents. The railroad also spurred the export of local produce and fish and shellfish which helped to sustain a diversified agricultural economy. By the early twentieth century, pound fishing (the trapping of large quantities of fish in large nets) and cranberry harvesting became lucrative economies in the township. Although a number of resort communities were proposed and platted in the township, Berkeley Township remained rural and undeveloped throughout the twentieth century. The late twentieth and early twenty-first century brought a proliferation of housing to the township which is largely confined to the bayfront areas (Heritage Studies, Inc., 1981).

Significance: 158 Central Avenue is associated with twentieth-century development in South Seaside Park and Berkeley Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Does not appear to retain sufficient exterior integrity or exhibit architectural significance. Background research did not reveal any associations with historically important events or persons; therefore, 158 Central Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 158 Central Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 188 B Central Avenue

Street Address: Street #: 188 B N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Central Suffix: N/A Type: AVE

County(s): Ocean **Zip Code:** 08752

Municipality(s): Berkeley Township **Block(s):** 1693

Local Place Name(s): South Seaside Park **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Seaside Park

Description: The building at 188 B Central Avenue is a one-story house with a cross-gabled roof and vinyl siding.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

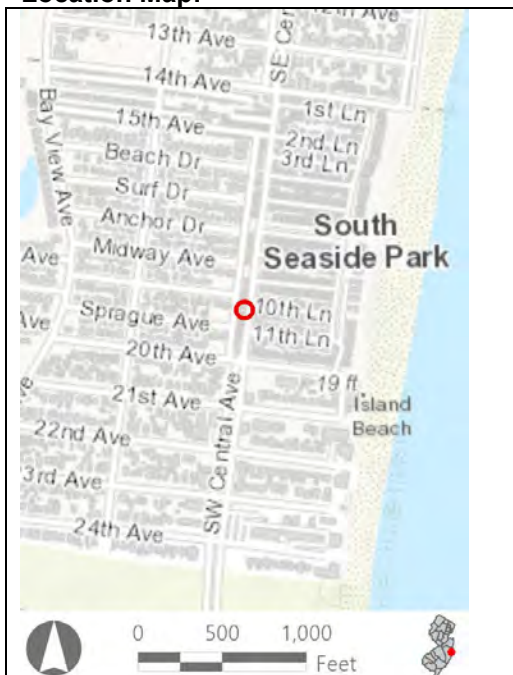


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. New Jersey Historic Sites Inventory, Ocean County Vol. 28. Available at https://www.nj.gov/dep/hpo/hrrcn_sandy_OCE_GB_147_148_PDF/OCE_GB_148_v28.pdf (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 188 B Central Avenue

Historic Name: N/A

Present Use: Residential Activity, Permanent

Historic Use: Residential Activity, Permanent

Construction Date: 1940 **Source:** Njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Fair

Builder: N/A **Remaining Historic Fabric:** Low

Style: None

Form: Other **Stories:** 1

Type: N/A **Bays:** 5

Roof Finish Materials: Asphalt Shingles

Exterior Finish Materials Vinyl Siding

Exterior Description: The building at 188 B Central Avenue is a one-story house with a cross-gabled roof and vinyl siding. There is a projecting gabled-roof bay on one side elevation with an entrance. The fenestration is 1/1 replacement sash with ribbon windows on the façade.

Interior Description: N/A

Setting: Located within a street grid neighborhood of tightly packed shot gun cottages and one-story vernacular house types a block in from the ocean/beach. South Seaside Park is an unincorporated section of Berkley Township located on Barnegat Island.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Berkeley Township is located in the northern limit of Atlantic County and is bounded on the north by Cedar Creek, on the east by Barnegat Bay, on the south by Toms River, and on the west by Manchester Township. The first Euro-American settlers in this area of Atlantic County were English and arrived in the late seventeenth century. The early economies capitalized on the abundant pine barren forests and proximity to Barnegat Bay and Toms River. Agriculture, lumbering, milling, and boatbuilding were the principal trades. Throughout the eighteenth century, the township was predominantly rural with scattered settlements. The township was formally incorporated in 1875 from Dover Township and Bayville, incorporated in 1881, was the primary locale. The Toms River and Waretown Railroad arrived in the area in 1872 and with it brought sportsmen, vacationers, and new residents. The railroad also spurred the export of local produce and fish and shellfish which helped to sustain a diversified agricultural economy. By the early twentieth century, pound fishing (the trapping of large quantities of fish in large nets) and cranberry harvesting became lucrative economies in the township. Although a number of resort communities were proposed and platted in the township, Berkeley Township remained rural and undeveloped throughout the twentieth century. The late twentieth and early twenty-first century brought a proliferation of housing to the township which is largely confined to the bayfront areas (Heritage Studies, Inc., 1981).

Significance: 188 B Central Avenue is associated with twentieth-century development in South Seaside Park and Berkeley Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Does not appear to retain sufficient exterior integrity or exhibit architectural significance. Background research did not reveal any associations with historically important events or persons; therefore, 188 B Central Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 188 B Central Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 188 A Central Avenue

Street Address: Street #: 188 A N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Central Suffix: N/A Type: AVE

County(s): Ocean **Zip Code:** 08752

Municipality(s): Berkeley Township **Block(s):** 1693

Local Place Name(s): South Seaside Park **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Seaside Park

Description: The building at 188 A Central Avenue is a one-story gable front shotgun-type house clad in vinyl siding.

Registration and Status Dates: National Historic Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

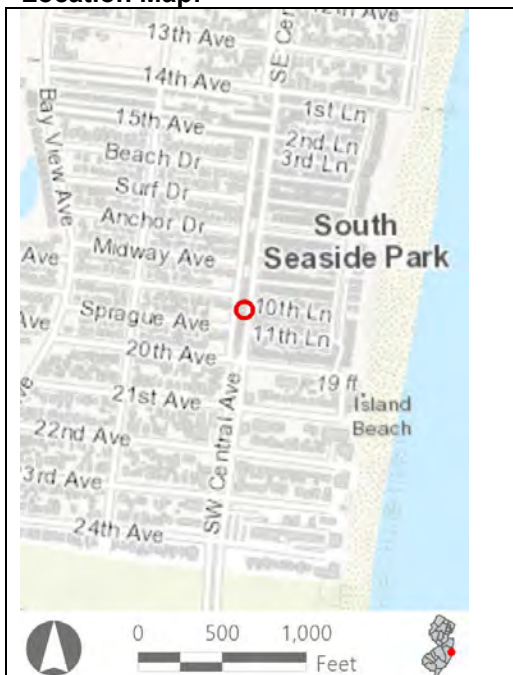
Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. New Jersey Historic Sites Inventory, Ocean County Vol. 28. Available at https://www.nj.gov/dep/hpo/hrrcn_sandy_OCE_GB_147_148_PDF/OCE_GB_148_v28.pdf (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 188 A Central Avenue

Historic Name: N/A

Present Use: Residential Activity, Permanent

Historic Use: Residential Activity, Permanent

Construction Date: 1940 **Source:** Njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Fair

Builder: N/A **Remaining Historic Fabric:** Low

Style: None

Form: Shot Gun **Stories:** 1

Type: N/A **Bays:** 3

Roof Finish Materials: Asphalt Shingles

Exterior Finish Materials Vinyl Siding

Exterior Description: The building at 188 A Central Avenue is a one-story gable front shotgun-type house clad in vinyl siding. It is three bays wide with a center entrance and two bays deep. The fenestration on the façade is 1/1 replacement sash.

Interior Description: N/A

Setting: Located within a street grid neighborhood of tightly packed shot gun cottages and one-story vernacular house types a block in from the ocean/beach. South Seaside Park is an unincorporated section of Berkley Township located on Barnegat Island.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Berkeley Township is located in the northern limit of Atlantic County and is bounded on the north by Cedar Creek, on the east by Barnegat Bay, on the south by Toms River, and on the west by Manchester Township. The first Euro-American settlers in this area of Atlantic County were English and arrived in the late seventeenth century. The early economies capitalized on the abundant pine barren forests and proximity to Barnegat Bay and Toms River. Agriculture, lumbering, milling, and boatbuilding were the principal trades. Throughout the eighteenth century, the township was predominantly rural with scattered settlements. The township was formally incorporated in 1875 from Dover Township and Bayville, incorporated in 1881, was the primary locale. The Toms River and Waretown Railroad arrived in the area in 1872 and with it brought sportsmen, vacationers, and new residents. The railroad also spurred the export of local produce and fish and shellfish which helped to sustain a diversified agricultural economy. By the early twentieth century, pound fishing (the trapping of large quantities of fish in large nets) and cranberry harvesting became lucrative economies in the township. Although a number of resort communities were proposed and platted in the township, Berkeley Township remained rural and undeveloped throughout the twentieth century. The late twentieth and early twenty-first century brought a proliferation of housing to the township which is largely confined to the bayfront areas (Heritage Studies, Inc., 1981).

Significance: 188 A Central Avenue is associated with twentieth-century development in South Seaside Park and Berkeley Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Does not appear to retain sufficient exterior integrity or exhibit architectural significance. Background research did not reveal any associations with historically important events or persons; therefore, 188 A Central Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 188 A Central Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 188 Central Avenue

Street Address: Street #: 188 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Central Suffix: N/A Type: AVE

County(s): Ocean Zip Code: 08752

Municipality(s): Berkeley Township Block(s): 1693

Local Place Name(s): South Seaside Park Lot(s): 1

Ownership: Private USGS Quad(s) Seaside Park

Description: The building at 188 Central Avenue is a one-story hipped-roof house with vinyl siding.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

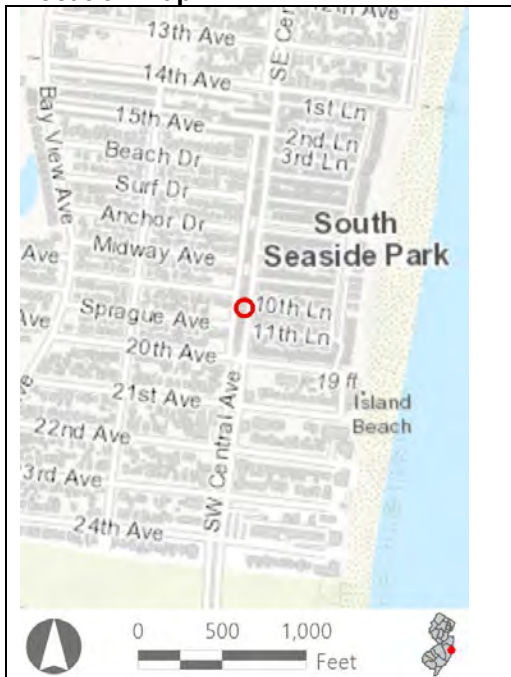


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. New Jersey Historic Sites Inventory, Ocean County Vol. 28. Available at https://www.nj.gov/dep/hpo/hrrcn_sandy_OCE_GB_147_148_PDF/OCE_GB_148_v28.pdf (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 188 Central Avenue

Historic Name: N/A

Present Use: Residential Activity, Permanent

Historic Use: Residential Activity, Permanent

Construction Date: 1940 **Source:** Njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Poor

Builder: N/A **Remaining Historic Fabric:** Low

Style: None

Form: Other **Stories:** 1

Type: N/A **Bays:** 3

Roof Finish Materials: Asphalt Shingles

Exterior Finish Materials Vinyl Siding

Exterior Description: The building at 188 Central Avenue is a one-story hipped-roof house with vinyl siding. The residence is three bays wide and three bays deep with pedestrian doors on two elevations. The fenestration appears to be fixed sash and each window is flanked by faux shutters. There is a grade-level deck on one side.

Interior Description: N/A

Setting: The home is set on a main, two-lane residential road one block from beach access. It is located within a street grid neighborhood of tightly packed shot gun cottages and one-story vernacular house types a block in from the ocean/beach. South Seaside Park is an unincorporated section of Berkley Township located on Barnegat Island.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Berkeley Township is in the northern limit of Atlantic County and is bounded on the north by Cedar Creek, on the east by Barnegat Bay, on the south by Toms River, and on the west by Manchester Township. The first Euro-American settlers in this area of Atlantic County were English and arrived in the late seventeenth century. The early economies capitalized on the abundant pine barren forests and proximity to Barnegat Bay and Toms River. Agriculture, lumbering, milling, and boatbuilding were the principal trades. Throughout the eighteenth century, the township was predominantly rural with scattered settlements. The township was formally incorporated in 1875 from Dover Township and Bayville, incorporated in 1881, was the primary locale. The Toms River and Waretown Railroad arrived in the area in 1872 and with it brought sportsmen, vacationers, and new residents. The railroad also spurred the export of local produce and fish and shellfish which helped to sustain a diversified agricultural economy. By the early twentieth century, pound fishing (the trapping of large quantities of fish in large nets) and cranberry harvesting became lucrative economies in the township. Although a number of resort communities were proposed and platted in the township, Berkeley Township remained rural and undeveloped throughout the twentieth century. The late twentieth and early twenty-first century brought a proliferation of housing to the township which is largely confined to the bayfront areas (Heritage Studies, Inc., 1981).

Significance: 188 Central Avenue is associated with twentieth-century development in South Seaside Park and Berkeley Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Does not appear to retain sufficient exterior integrity or exhibit architectural significance. Background research did not reveal any associations with historically important events or persons; therefore, 188 Central Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 188 Central Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 186 Central Avenue

Street Address: Street #: 186 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Central Suffix: N/A Type: AVE

County(s): Ocean **Zip Code:** 08752

Municipality(s): Berkeley Township **Block(s):** 1693

Local Place Name(s): South Seaside Park **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Seaside Park

Description: The building at 186 Central Avenue is a one-story home with a shallow asymmetrical gabled roof, a center entry, and banks of ribbon windows.

Registration and Status Dates: National Historic Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

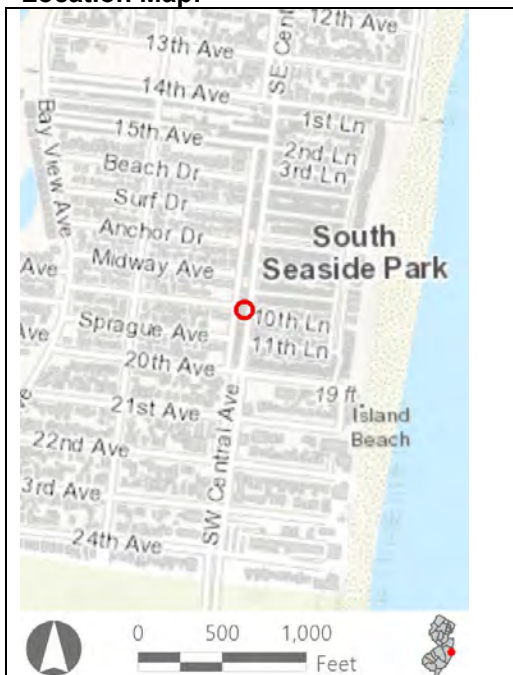
Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. New Jersey Historic Sites Inventory, Ocean County Vol. 28. Available at https://www.nj.gov/dep/hpo/hrrcn_sandy_OCE_GB_147_148_PDF/OCE_GB_148_v28.pdf (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey: Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 186 Central Avenue

Historic Name: N/A

Present Use: Residential activity, permanent

Historic Use: Residential activity, permanent

Construction Date: 1940 **Source:** Njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Fair

Builder: N/A **Remaining Historic Fabric:** Low

Style: None

Form: Other **Stories:** 1

Type: N/A **Bays:** 6

Roof Finish Materials: Asphalt Shingles

Exterior Finish Materials Vinyl Siding

Exterior Description: The building at 186 Central Avenue is a one-story home with a shallow asymmetrical gabled roof, a center entry, and banks of ribbon windows. The building is clad in vinyl siding and the fenestration is 1/1 replacement sash. There is a single-bay gable roof projection on one side adjacent to an at-grade deck and a retractable awning.

Interior Description: N/A

Setting: The building is a home set on a two lane, main residential road one block from beach access. It is located within a street grid neighborhood of tightly packed shot gun cottages and one-story vernacular house types a block in from the ocean/beach. South Seaside Park is an unincorporated section of Berkley Township located on Barnegat

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Berkeley Township is in the northern limit of Atlantic County and is bounded on the north by Cedar Creek, on the east by Barnegat Bay, on the south by Toms River, and on the west by Manchester Township. The first Euro-American settlers in this area of Atlantic County were English and arrived in the late seventeenth century. The early economies capitalized on the abundant pine barren forests and proximity to Barnegat Bay and Toms River. Agriculture, lumbering, milling, and boatbuilding were the principal trades. Throughout the eighteenth century, the township was predominantly rural with scattered settlements. The township was formally incorporated in 1875 from Dover Township and Bayville, incorporated in 1881, was the primary locale. The Toms River and Waretown Railroad arrived in the area in 1872 and with it brought sportsmen, vacationers, and new residents. The railroad also spurred the export of local produce and fish and shellfish which helped to sustain a diversified agricultural economy. By the early twentieth century, pound fishing (the trapping of large quantities of fish in large nets) and cranberry harvesting became lucrative economies in the township. Although a number of resort communities were proposed and platted in the township, Berkeley Township remained rural and undeveloped throughout the twentieth century. The late twentieth and early twenty-first century brought a proliferation of housing to the township which is largely confined to the bayfront areas (Heritage Studies, Inc., 1981).

Significance: 186 Central Avenue is associated with twentieth-century development in South Seaside Park and Berkeley Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Does not appear to retain sufficient exterior integrity or exhibit architectural significance. Background research did not reveal any associations with historically important events or persons; therefore, 186 Central Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 186 Central Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

Date: February 24,
2023

BASE FORM

Historic Sites #:

Property Name: 184 Central Avenue

Street Address: Street #: 184 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Central Suffix: N/A Type: AVE

County(s): Ocean **Zip Code:** 08752

Municipality(s): Berkeley Township **Block(s):** 1693

Local Place Name(s): South Seaside Park **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Seaside Park

Description: The building at 184 Central Avenue is a one-story cross-gable home on a T-shaped plan and is clad in vinyl siding.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

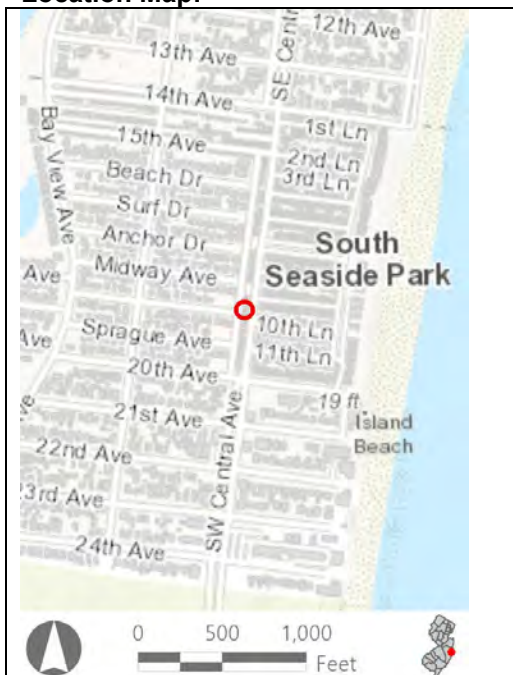


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. New Jersey Historic Sites Inventory, Ocean County Vol. 28. Available at https://www.nj.gov/dep/hpo/hrrcn_sandy_OCE_GB_147_148_PDF/OCE_GB_148_v28.pdf (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey: Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>184 Central Avenue</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential, Permanent</u>		
Historic Use:	<u>Residential, Permanent</u>		
Construction Date:	<u>1940</u>	Source:	<u>Njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Other</u>	Stories:	<u>1</u>
Type:	<u>N/A</u>	Bays:	<u>6</u>
Roof Finish Materials:	<u>Asphalt Singles</u>		
Exterior Finish Materials	<u>Vinyl Siding</u>		

Exterior Description: The building at 184 Central Avenue is a one-story cross-gable home on a T-shaped plan and is clad in vinyl siding. The residence is six bays wide and two bays deep. It has a bank of ribbon windows on a center, forward projection with 1/1 replacement sash, and narrow faux shutters on the ends of the ribbon. A single bay on either side of the projection has a single 1/1 replacement with faux shutters. The fenestration on the side elevations is 1/1 replacement, primarily without shutters. There is a circular attic vent at the façade gable. The primary entrance is on the north side of the projection while a secondary entry appears on the north elevation of the main block and opens onto a patio.

Interior Description: N/A

Setting: The home is set on a main residential road one block from beach access. It is located within a street grid neighborhood of tightly packed shot gun cottages and one-story vernacular house types a block in from the ocean/beach. South Seaside Park is an unincorporated section of Berkley Township located on Barnegat Island.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Berkeley Township is in the northern limit of Atlantic County and is bounded on the north by Cedar Creek, on the east by Barnegat Bay, on the south by Toms River, and on the west by Manchester Township. The first Euro-American settlers in this area of Atlantic County were English and arrived in the late seventeenth century. The early economies capitalized on the abundant pine barren forests and proximity to Barnegat Bay and Toms River. Agriculture, lumbering, milling, and boatbuilding were the principal trades. Throughout the eighteenth century, the township was predominantly rural with scattered settlements. The township was formally incorporated in 1875 from Dover Township and Bayville, incorporated in 1881, was the primary locale. The Toms River and Waretown Railroad arrived in the area in 1872 and with it brought sportsmen, vacationers, and new residents. The railroad also spurred the export of local produce and fish and shellfish which helped to sustain a diversified agricultural economy. By the early twentieth century, pound fishing (the trapping of large quantities of fish in large nets) and cranberry harvesting became lucrative economies in the township. Although a number of resort communities were proposed and platted in the township, Berkeley Township remained rural and undeveloped throughout the twentieth century. The late twentieth and early twenty-first century brought a proliferation of housing to the township which is largely confined to the bayfront areas (Heritage Studies, Inc., 1981).

Significance: 184 Central Avenue is associated with twentieth-century development in South Seaside Park and Berkeley Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Does not appear to retain sufficient exterior integrity or exhibit architectural significance. Background research did not reveal any associations with historically important events or persons; therefore, 184 Central Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 184 Central Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 182 Central Avenue

Street Address: Street #: 182 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Central Suffix: N/A Type: AVE

County(s): Ocean Zip Code: 08752

Municipality(s): Berkeley Township Block(s): 1693

Local Place Name(s): South Seaside Park Lot(s): 1

Ownership: Private USGS Quad(s) Seaside Park

Description: The building at 182 Central Avenue is a ranch house with vinyl siding.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

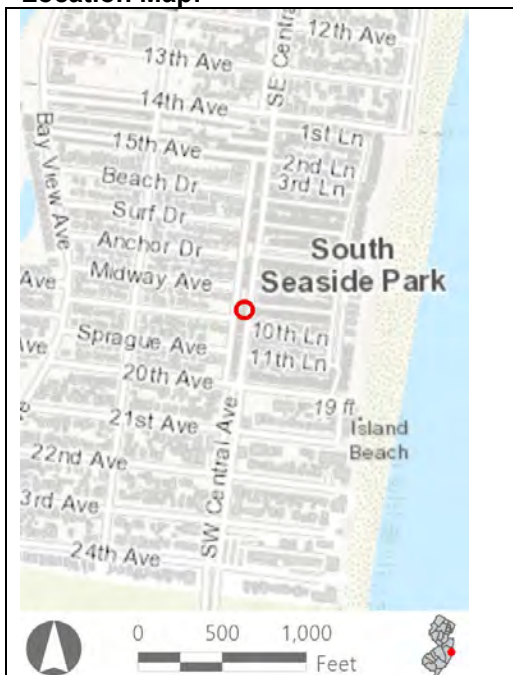


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. New Jersey Historic Sites Inventory, Ocean County Vol. 28. Available at https://www.nj.gov/dep/hpo/hrrcn_sandy_OCE_GB_147_148_PDF/OCE_GB_148_v28.pdf (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey: Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 182 Central Avenue
Historic Name: N/A
Present Use: Residential, Permanent
Historic Use: Residential, Permanent
Construction Date: 1940 **Source:** Njtaxrecords.net
Alteration Date(s): N/A **Source:** N/A
Designer: N/A **Physical Condition:** Fair
Builder: N/A **Remaining Historic Fabric:** Low
Style: None
Form: Ranch **Stories:** 1
Type: N/A **Bays:** 5
Roof Finish Materials: Asphalt Shingles
Exterior Finish Materials Vinyl Siding

Exterior Description: The building at 182 Central Avenue is a ranch house with vinyl siding. The residence is five bays wide and two bays deep. The fenestration is 1/1 replacement sash. The entrance is in the center of the façade with a group of three windows to the left of the entry and a single window to the right with plank shuttlers.

Interior Description: N/A

Setting: The residence is set on a main residential road one block from beach access. It is located within a street grid neighborhood of tightly packed shot gun cottages and one-story vernacular house types a block in from the ocean/beach. South Seaside Park is an unincorporated section of Berkley Township located on Barnegat Island.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Berkeley Township is in the northern limit of Atlantic County and is bounded on the north by Cedar Creek, on the east by Barnegat Bay, on the south by Toms River, and on the west by Manchester Township. The first Euro-American settlers in this area of Atlantic County were English and arrived in the late seventeenth century. The early economies capitalized on the abundant pine barren forests and proximity to Barnegat Bay and Toms River. Agriculture, lumbering, milling, and boatbuilding were the principal trades. Throughout the eighteenth century, the township was predominantly rural with scattered settlements. The township was formally incorporated in 1875 from Dover Township and Bayville, incorporated in 1881, was the primary locale. The Toms River and Waretown Railroad arrived in the area in 1872 and with it brought sportsmen, vacationers, and new residents. The railroad also spurred the export of local produce and fish and shellfish which helped to sustain a diversified agricultural economy. By the early twentieth century, pound fishing (the trapping of large quantities of fish in large nets) and cranberry harvesting became lucrative economies in the township. Although a number of resort communities were proposed and platted in the township, Berkeley Township remained rural and undeveloped throughout the twentieth century. The late twentieth and early twenty-first century brought a proliferation of housing to the township which is largely confined to the bayfront areas (Heritage Studies, Inc., 1981).

Significance: 182 Central Avenue is associated with twentieth-century development in South Seaside Park and Berkeley Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Does not appear to retain sufficient exterior integrity or exhibit architectural significance. Background research did not reveal any associations with historically important events or persons; therefore, 182 Central Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 182 Central Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 13 Ocean Front Terrace

Street Address: Street #: 13 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Front Suffix: N/A Type: TER

County(s): Ocean **Zip Code:** 08738

Municipality(s): Brick Township **Block(s):** 42.04

Local Place Name(s): Brick Barrier Island **Lot(s):** 13

Ownership: Private **USGS Quad(s)** Point Pleasant

Description: The building at 13 Ocean Front Terrace is a three-story house with beige vinyl shingles and three distinct roof lines. There is a first-floor, one-bay, two-car garage on the street-facing elevation.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

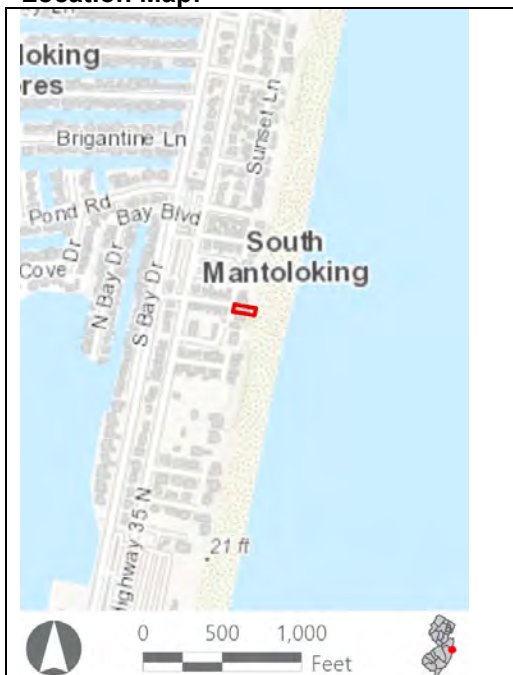
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Bizapedia. 2023. "Fisherman Dunes Property Owners Association." Available at <https://www.bizapedia.com/nj/fisherman-dunes-property-owners-association.html> (Accessed January 2023). Borough of Mantoloking, New Jersey. 2022. History. Available at: <https://www.mantoloking.org/our-community/pages/history#/> (Accessed August 2022). NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed January 2023). Roberts, D.G., and Z. Zeilman. 2017. *Neighborhood Plan: Brick Barrier Island, Brick Township, New Jersey*. Available at <https://www.bricktownship.net/index.php/documents/barrier-island/> (Accessed January 2023). Town of Brick. 2023. "Town History." Available at <https://www.bricktownship.net/index.php/government/town-history/> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	13 Ocean Front Terrace		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1973	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	3
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 13 Ocean Front Terrace is a three-story side-gabled residence located directly on the beach and constructed into an embankment. The beach front elevation has a projecting first story with a deck and a secondary deck on top of the projection. The fenestration on this elevation is largely obscured by rolltop doors. The rear elevation steps down with a flat-roof projection extending over a wide carport located below grad. The fenestration on this elevation is paired sash. The entry is next to the carport with a secondary entrance on the opposite side under a shed roof. The siding is vinyl shingle, and the chimney appears to be clad in textured sheeting.

Interior Description: N/A

Setting: The building at 13 Ocean Front Terrace is a beach front property along a private dirt residential road within a T-shaped development called Fisherman Dunes, part of the Brick Barrier Island neighborhood. Adjacent to the residence is a private access path to the beach. Brick Barrier Island, also known as Brick Beaches, is located in the extreme eastern section of Brick Township on the barrier island immediately south of Mantoloking Borough. The modern-day built landscape reflects the mid-twentieth century development pattern with private enclaves, or sub-neighborhoods, extending from the north-south Route 35 arterial and developing along private dirt roads. Each enclave is overseen by a homeowner's association, and many have private beach access.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 13 Ocean Front Terrace is located in a mid-twentieth century development called Fisherman Dunes. The development has private beach access, and it is overseen by Fishermen Dunes Property Owners Association which was incorporated in 1964 (Bizapedia, 2023). Historical aerial photographs show that as late as 1940 the area was an almost completely undeveloped beach. By 1953, however, Cuttyhunk Road and Ocean Front Terrace have been constructed and homes along Cuttyhunk have been completed. Small cottages appear along the beach front. These are gone by 1956 and new larger housing appear. The residence at 13 Ocean Front Terrace is the last constructed in the development in 1973 with all others completed by 1963 (NETR, 2023).

Brick township has a history dating back to the 1740s when dense woodland attracted the sawmill and charcoal industries (Town of Brick, 2023). However, Brick Barrier Island was late to develop, remaining largely unspoiled beach into the 1930s (Roberts and Zeilman, 2017). The construction of the Mantoloking Bridge in 1884 spurred development on the barrier island and Mantoloking was incorporated as a separate borough in 1911 (Borough of Mantoloking, 2022). The construction of U.S. Route 35 in 1908 served as a connection to the mainland for Brick Barrier Island via Mantoloking and the bridge, otherwise, the area has no physical connection to the rest of the town. Historical aerial photography shows Brick Barrier Island developing along Route 35 starting primarily in the 1930s, but intensive development does not become apparent until the post-WWII period with the entire region completely built out by the 1970s (Roberts and Zeilman, 2017).

Significance: 13 Ocean Front Terrace is associated with late-twentieth-century development in Brick Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 13 Ocean Front Terrace is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 13 Ocean Front Terrace is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

Date: February 24,
2023

BASE FORM

Historic Sites #:

Property Name: 546 Ocean Terrace

Street Address: Street #: 546 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Suffix: N/A Type: TER

County(s): Ocean **Zip Code:** 08738

Municipality(s): Brick Township **Block(s):** 3.19

Local Place Name(s): Brick Barrier Island **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Point Pleasant

Description: The residence at 546 Ocean Terrace is a three-story gable-roof home. The first story is a half-open concrete pad and a half-enclosed basement with a side entrance. The upper stories are clad in wood shingles. The regular fenestration is 1/1 and 6/6 flat-arch sash.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

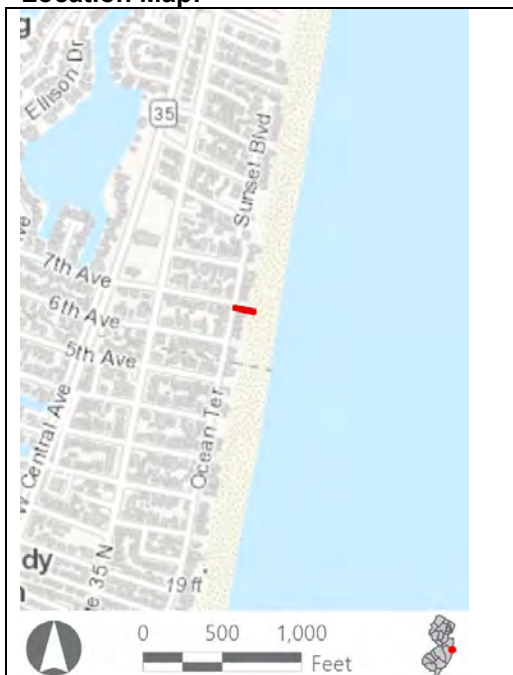


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Borough of Mantoloking, New Jersey. 2022. History. Available at: <https://www.mantoloking.org/our-community/pages/history#/> (Accessed August 2022).

Roberts, D.G., and Z. Zeilman. 2017. *Neighborhood Plan: Brick Barrier Island, Brick Township, New Jersey*. Available at <https://www.bricktownship.net/index.php/documents/barrier-island/> (Accessed January 2023).

Town of Brick. 2023. "Town History." Available at <https://www.bricktownship.net/index.php/government/town-history/> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>546 Ocean Terrace</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential activity, permanent</u>		
Historic Use:	<u>Residential activity, permanent</u>		
Construction Date:	<u>1952</u>	Source:	<u>njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Other</u>	Stories:	<u>3</u>
Type:	<u>N/A</u>	Bays:	<u>3</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Wood, Shingles</u>		

Exterior Description: The residence at 546 Ocean Terrace is a three-story gable-roof home. The first story is a half-open concrete pad with unfinished logs supporting the home above. The other half is an enclosed stucco-clad bay with a side entrance. The fenestration on the first story faces the street. The upper stories are clad in wood shingles but are otherwise devoid of decoration. The regular fenestration is 1/1 and 6/6 flat-arch sash. The ocean-facing elevation projects a single bay in depth and is surmounted by a flat roof. An elevated deck extends from the ocean-facing elevation over the beach.

Interior Description: N/A

Setting: The residence at 546 Ocean Terrace is sited on a paved residential street that runs parallel to the beach at the end of a rectilinear development. The house faces the ocean and is adjacent to a beach access path. Brick Barrier Island, also known as Brick Beaches, is located in the extreme eastern section of Brick Township on the barrier island immediately south of Mantoloking Borough. The modern-day built landscape reflects the mid-twentieth century development pattern with private enclaves, or sub-neighborhoods, extending from the north-south Route 35 arterial and developing along private dirt roads. Each enclave is overseen by a homeowner's association, and many have private beach access.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Brick township has a history dating back to the 1740s when dense woodland attracted the sawmill and charcoal industries (Town of Brick, 2023). However, Brick Barrier Island was late to develop, remaining largely unspoiled beach into the 1930s (Roberts and Zeilman, 2017). The construction of the Mantoloking Bridge in 1884 spurred development on the barrier island and Mantoloking was incorporated as a separate borough in 1911 (Borough of Mantoloking, 2022). The construction of U.S. Route 35 in 1908 served as a connection to the mainland for Brick Barrier Island via Mantoloking and the bridge, otherwise, the area has no physical connection to the rest of the town. Historical aerial photography shows Brick Barrier Island developing along Route 35 starting primarily in the 1930s, but intensive development does not become apparent until the post-WWII period with the entire region completely built out by the 1970s (Roberts and Zeilman, 2017).

Significance: 546 Ocean Terrace is associated with mid-twentieth-century development in Brick Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 546 Ocean Terrace is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 546 Ocean Terrace is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 11 Ocean Front Terrace

Street Address: Street #: 11 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Front Suffix: N/A Type: TER

County(s): Ocean **Zip Code:** 08738

Municipality(s): Brick Township **Block(s):** 42.04

Local Place Name(s): Brick Barrier Island **Lot(s):** 11

Ownership: Private **USGS Quad(s)** Point Pleasant

Description: The residence at 11 Ocean Front Terrace is a two-story embanked home with a cross-gable roof. The gable front elevation faces the ocean. The building is clad with vinyl shingle siding and has 2/2 replacement sash. The entry is below grade on the street-facing elevation.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

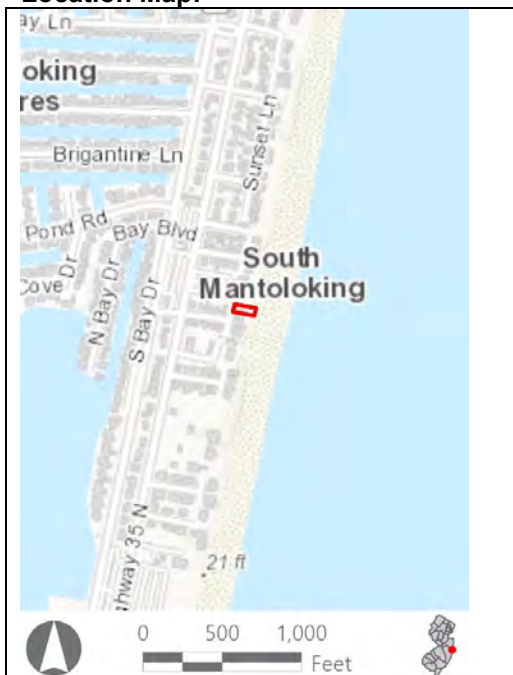


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Bizapedia. 2023. "Fisherman Dunes Property Owners Association." Available at <https://www.bizapedia.com/nj/fisherman-dunes-property-owners-association.html> (Accessed January 2023). Borough of Mantoloking, New Jersey. 2022. History. Available at: <https://www.mantoloking.org/our-community/pages/history#/> (Accessed August 2022). NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed January 2023). Roberts, D.G., and Z. Zeilman. 2017. *Neighborhood Plan: Brick Barrier Island, Brick Township, New Jersey*. Available at <https://www.bricktownship.net/index.php/documents/barrier-island/> (Accessed January 2023). Town of Brick. 2023. "Town History." Available at <https://www.bricktownship.net/index.php/government/town-history/> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	11 Ocean Front Terrace		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	ca.1963	Source:	NETR, 2023.
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The residence at 11 Ocean Front Terrace is a two-story embanked home with a cross-gable roof. The gable front elevation faces the ocean. The building is clad with vinyl shingle siding and has 2/2 replacement sash irregularly placed. The deeply recessed entry is below grade on the street-facing elevation. A standing seam metal pent roof extends halfway across the street-facing elevation separating the first and second stories. The pent roof ends where a windowless projection extends from the wall surface on the second story. The projection is supported from underneath by square supports.

Interior Description: N/A

Setting: 11 Ocean Front Terrace is a beach front property along a private dirt residential road within a T-shaped development called Fisherman Dunes, part of the Brick Barrier Island neighborhood. Adjacent to the residence is a private access path to the beach. Brick Barrier Island, also known as Brick Beaches, is located in the extreme eastern section of Brick Township on the barrier island immediately south of Mantoloking Borough. The modern-day built landscape reflects the mid-twentieth century development pattern with private enclaves, or sub-neighborhoods, extending from the north-south Route 35 arterial and developing along private dirt roads. Each enclave is overseen by a homeowner's association, and many have private beach access.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: 11 Ocean Front Terrace is located in a mid-twentieth century development called Fisherman Dunes. The development has private beach access, and it is overseen by Fishermen Dunes Property Owners Association which was incorporated in 1964 (Bizapedia, 2023). Historical aerial photographs show that as late as 1940 the area was an almost completely undeveloped beach. By 1953, however, Cuttyhunk Road and Ocean Front Terrace have been constructed and homes along Cuttyhunk have been completed. Small cottages appear along the beach front. These are gone by 1956 and new larger housing appear. The residence at 11 Ocean Front Terrace first appears in the historic aerial for 1963 (NETR, 2023).

Brick township has a history dating back to the 1740s when dense woodland attracted the sawmill and charcoal industries (Town of Brick, 2023). However, Brick Barrier Island was late to develop, remaining largely unspoiled beach into the 1930s (Roberts and Zeilman, 2017). The construction of the Mantoloking Bridge in 1884 spurred development on the barrier island and Mantoloking was incorporated as a separate borough in 1911 (Borough of Mantoloking, 2022). The construction of U.S. Route 35 in 1908 served as a connection to the mainland for Brick Barrier Island via Mantoloking and the bridge, otherwise, the area has no physical connection to the rest of the town. Historical aerial photography shows Brick Barrier Island developing along Route 35 starting primarily in the 1930s, but intensive development does not become apparent until the post-WWII period with the entire region completely built out by the 1970s (Roberts and Zeilman, 2017).

Significance: 11 Ocean Front Terrace is associated with mid-twentieth-century development in Brick Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 11 Ocean Front Terrace is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 11 Ocean Front Terrace is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 498 Sunset Boulevard

Street Address: Street #: 498 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Sunset Suffix: N/A Type: BLVD

County(s): Ocean **Zip Code:** 08738

Municipality(s): Brick Township **Block(s):** 32

Local Place Name(s): Mantoloking **Lot(s):** 17.01

Ownership: Private **USGS Quad(s)** Point Pleasant

Description: The residence at 498 Sunset Boulevard is a four-story side-gable house with dormers, shingle siding, and a side entrance. The first story is a two-car garage with stone veneer.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

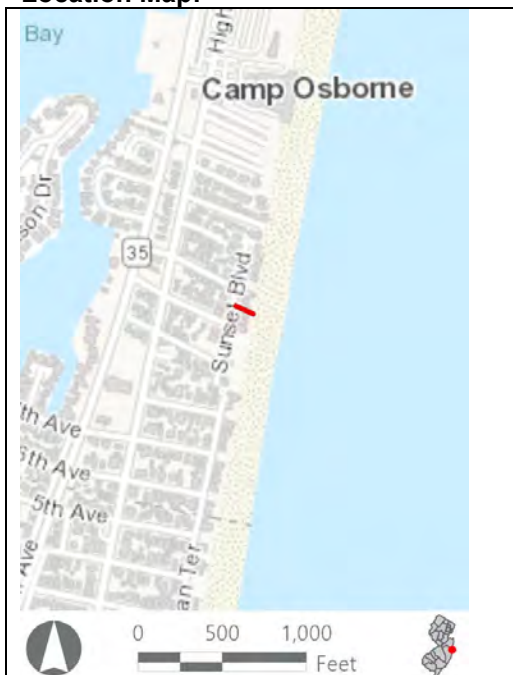
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Borough of Mantoloking, New Jersey. 2022. History. Available at: <https://www.mantoloking.org/our-community/pages/history#/> (Accessed August 2022).
Havens, R.T. 1925. *Deauville Beach, Brick Township, Ocean County, New Jersey* [Blueprint Map]. Available at <https://rucore.libraries.rutgers.edu/rutgers-lib/51765/> (Accessed January 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed January 2023).
Roberts, D.G., and Z. Zeilman. 2017. *Neighborhood Plan: Brick Barrier Island, Brick Township, New Jersey*. Available at <https://www.bricktownship.net/index.php/documents/barrier-island/> (Accessed January 2023).
Town of Brick. 2023. "Town History." Available at <https://www.bricktownship.net/index.php/government/town-history/> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &
Organization: Environmental Services, D.P.C

Date: February 24,
2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	498 Sunset Boulevard		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1954	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	4
Type:	N/A	Bays:	4
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Wood, Shingles		

Exterior Description: The residence at 498 Sunset Boulevard is a four-story side-gable house built into an embankment. The street facing elevation features a gabled dormer. The fenestration is 6/1 replacement sash three and four bays across. The house is clad in wood shingle siding. The street-facing elevation steps down and features a two-bay carport below grade that is clad in stone veneer. Wooden steps lead to the entrance on the side elevation of the second story. Adjacent to this is a projecting bay with an additional entry. A brick chimney, painted white, extends through the roof eaves.

Interior Description: N/A

Setting: The residence at 498 Sunset Boulevard is a beach front property with private beach access. The house is located in the early twentieth century development of Deauville Beach which is composed of a rectilinear grid. Three streets (Jeanette, Deauville, and Georgian drives) extend east from U.S. Route 35 and terminate at Sunset Boulevard which runs parallel to the beach.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: 498 Sunset Boulevard is located in the rectilinear development of Deauville Beach platted in 1925 (Havens, 1925). Historical aerial photographs show that between 1931 and 1933 much of the development was built out, though with perhaps larger homes than envisioned as many of these occupy multiple narrow lots (NETR, 2023).

Brick township has a history dating back to the 1740s when dense woodland attracted the sawmill and charcoal industries (Town of Brick, 2023). However, Brick Barrier Island was late to develop, remaining largely unspoiled beach into the 1930s (Roberts and Zeilman, 2017). The construction of the Mantoloking Bridge in 1884 spurred development on the barrier island and Mantoloking was incorporated as a separate borough in 1911 (Borough of Mantoloking, 2022). The construction of U.S. Route 35 in 1908 served as a connection to the mainland for Brick Barrier Island via Mantoloking and the bridge, otherwise, the area has no physical connection to the rest of the town. Historical aerial photography shows Brick Barrier Island developing along Route 35 starting primarily in the 1930s, but intensive development does not become apparent until the post-WWII period with the entire region completely built out by the 1970s (Roberts and Zeilman, 2017).

Significance: 498 Sunset Boulevard is associated with early to mid-twentieth-century development in Brick Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 498 Sunset Boulevard is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 498 Sunset Boulevard is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24,
2023

BASE FORM

Historic Sites #:

Property Name: 394 Ocean Boulevard

Street Address: Street #: 394 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Suffix: N/A Type: BLVD

County(s): Ocean **Zip Code:** 08738

Municipality(s): Brick Township **Block(s):** 37

Local Place Name(s): Brick Barrier Island **Lot(s):** 8

Ownership: Private **USGS Quad(s)** Point Pleasant

Description: The building at 394 Ocean Avenue is a three-story residence with stucco cladding and a hipped roof.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

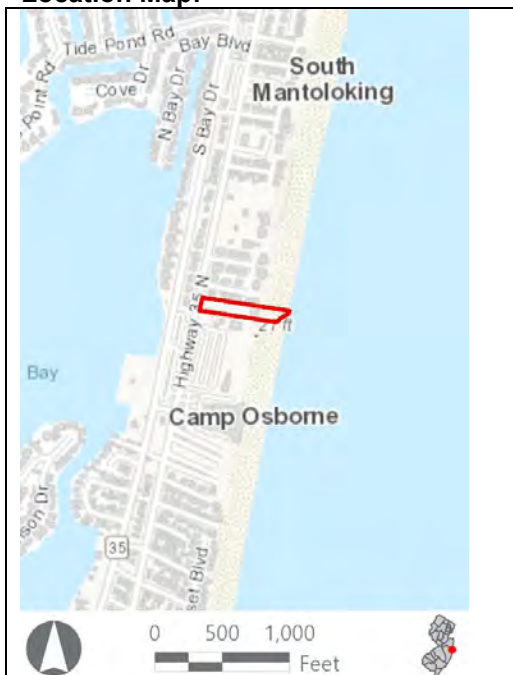


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Borough of Mantoloking, New Jersey. 2022. History. Available at: <https://www.mantoloking.org/our-community/pages/history#/> (Accessed August 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed January 2023).

Roberts, D.G., and Z. Zeilman. 2017. *Neighborhood Plan: Brick Barrier Island, Brick Township, New Jersey*. Available at <https://www.bricktownship.net/index.php/documents/barrier-island/> (Accessed January 2023).

Town of Brick. 2023. "Town History." Available at <https://www.bricktownship.net/index.php/government/town-history/> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	394 Ocean Boulevard		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1925	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	4
Roof Finish Materials:			
Exterior Finish Materials			

Exterior Description: The building at 394 Ocean Avenue is a three-story residence with stucco cladding and a hipped roof with standing seam metal roofing. Fenestration consists of large, modern casement windows and the house appears to have been extended two bays to the north including the addition of a garage. A raised deck with a swimming pool and additional garage bays below is located south of the house.

Interior Description: N/A

Setting: The resource is located directly on the beach and set back from Ocean Avenue with a long driveway. The resource is in a residential neighborhood located along the shore, with sidewalks along the main road, and beach access. Brick Barrier Island, also known as Brick Beaches, is located in the extreme eastern section of Brick Township on the barrier island immediately south of Mantoloking Borough. The modern-day built landscape reflects the mid-twentieth century development pattern with private enclaves, or sub-neighborhoods, extending from the north-south Route 35 arterial and developing along private dirt roads. Each enclave is overseen by a homeowner's association, and many have private beach access.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Brick township has a history dating back to the 1740s when dense woodland attracted the sawmill and charcoal industries (Town of Brick, 2023). However, Brick Barrier Island was late to develop, remaining largely unspoiled beach into the 1930s (Roberts and Zeilman, 2017). The construction of the Mantoloking Bridge in 1884 spurred development on the barrier island and Mantoloking was incorporated as a separate borough in 1911 (Borough of Mantoloking, 2022). The construction of U.S. Route 35 in 1908 served as a connection to the mainland for Brick Barrier Island via Mantoloking and the bridge, otherwise, the area has no physical connection to the rest of the town. Historical aerial photography shows Brick Barrier Island developing along Route 35 starting primarily in the 1930s, but intensive development does not become apparent until the post-WWII period with the entire region completely built out by the 1970s (Roberts and Zeilman, 2017).

The building at 394 Ocean Boulevard was built in about 1925 and was one of a handful of residences built along this stretch of Brick Barrier Island before it was more densely developed in the late twentieth century (NETR, 2023).

Significance: 394 Ocean Boulevard is associated with twentieth-century development in Brick Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 394 Ocean Boulevard is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 394 Ocean Boulevard is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 101 Faber Lane

Street Address: Street #: 101 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Faber Suffix: N/A Type: LN

County(s): Ocean **Zip Code:** 08738

Municipality(s): Brick Township **Block(s):** 39

Local Place Name(s): Brick Barrier Island **Lot(s):** 6

Ownership: Private **USGS Quad(s)** Point Pleasant

Description: The residence at 101 Faber Lane is a two-story side-gable house on a rectangular plan constructed into an embankment. It has wood shingle siding and a wraparound porch on the beach-facing elevation. Two-thirds of the beach elevation is glazed floor to the roofline.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

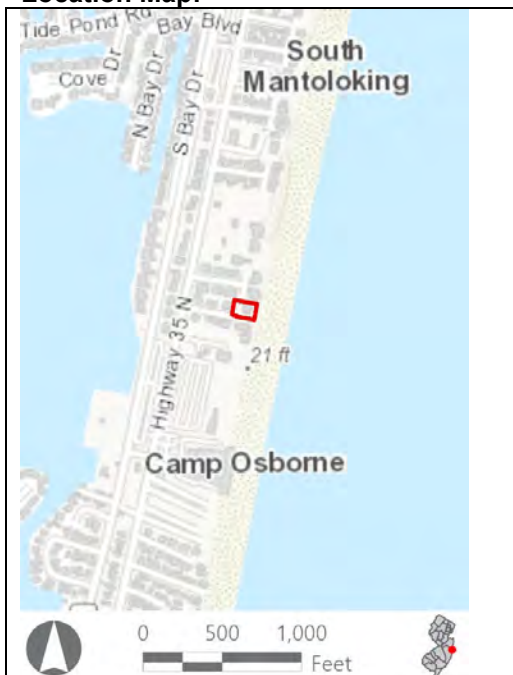


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Borough of Mantoloking, New Jersey. 2022. History. Available at: <https://www.mantoloking.org/our-community/pages/history#/> (Accessed August 2022).

Roberts, D.G., and Z. Zeilman. 2017. *Neighborhood Plan: Brick Barrier Island, Brick Township, New Jersey*. Available at <https://www.bricktownship.net/index.php/documents/barrier-island/> (Accessed January 2023).

Town of Brick. 2023. "Town History." Available at <https://www.bricktownship.net/index.php/government/town-history/> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	101 Faber Lane		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1970	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Colonial Revival		
Form:	Other	Stories:	2
Type:	N/A	Bays:	6
Roof Finish Materials:	Wood, Shingles		
Exterior Finish Materials	Wood, Shingles		

Exterior Description: The residence at 101 Faber Lane is a two-story side-gable house on a rectangular plan constructed into an embankment. It has wood shingle siding and a wraparound porch on the beach-facing elevation, which due to the grade presents as a single story. The porch roof is hipped and is supported by square columns resting on a concrete pad. Two-thirds of the beach elevation is glazed floor to the roofline. The street-facing elevation presents as a two-story Colonial with 12/1 and 12/12 sash with working shutters and a center entry with sidelights. The entry is shielded by a pent roof supported by square posts. A carport to the left of the entry is recessed with a barn door.

Interior Description: N/A

Setting: 101 Faber Lane is a beach front property at the end of a dirt residential road, part of the Brick Barrier Island neighborhood. Brick Barrier Island, also known as Brick Beaches, is located in the extreme eastern section of Brick Township on the barrier island immediately south of Mantoloking Borough. The modern-day built landscape reflects the mid-twentieth century development pattern with private enclaves, or sub-neighborhoods, extending from the north-south Route 35 arterial and developing along private dirt roads. Each enclave is overseen by a homeowner's association, and many have private beach access.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Brick township has a history dating back to the 1740s when dense woodland attracted the sawmill and charcoal industries (Town of Brick, 2023). However, Brick Barrier Island was late to develop, remaining largely unspoiled beach into the 1930s (Roberts and Zeilman, 2017). The construction of the Mantoloking Bridge in 1884 spurred development on the barrier island and Mantoloking was incorporated as a separate borough in 1911 (Borough of Mantoloking, 2022). The construction of U.S. Route 35 in 1908 served as a connection to the mainland for Brick Barrier Island via Mantoloking and the bridge, otherwise, the area has no physical connection to the rest of the town. Historical aerial photography shows Brick Barrier Island developing along Route 35 starting primarily in the 1930s, but intensive development does not become apparent until the post-WWII period with the entire region completely built out by the 1970s (Roberts and Zeilman, 2017).

Significance: 101 Faber Lane is associated with mid-twentieth-century development in Brick Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 101 Faber Lane is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 101 Faber Lane is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BASE FORM

Historic Sites #:

Property Name: 252 Sunset Lane South

Street Address: Street #: 252 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Sunset Suffix: S Type: LN

County(s): Ocean **Zip Code:** 08738

Municipality(s): Brick Township **Block(s):** 50.02

Local Place Name(s): Brick Barrier Island **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Point Pleasant

Description: The residence at 252 Sunset Lane South is a three-story, hipped-roof house with a first-floor two-car garage and stairs leading up to the second floor. There is a porch with a rooftop deck on the beach side.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

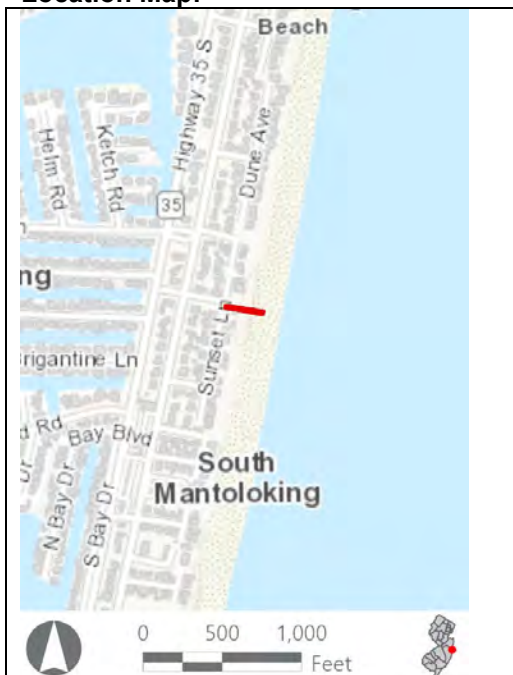
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: realtor.com. 2023. "252 Sunset Ln." Available at https://www.realtor.com/realestateandhomes-detail/252-Sunset-Ln_Mantoloking_NJ_08738_M55107-78537 (Accessed February 2023).

Borough of Mantoloking, New Jersey. 2022. History. Available at: <https://www.mantoloking.org/our-community/pages/history/#/> (Accessed August 2022).

Roberts, D.G., and Z. Zeilman. 2017. *Neighborhood Plan: Brick Barrier Island, Brick Township, New Jersey*. Available at <https://www.bricktownship.net/index.php/documents/barrier-island/> (Accessed January 2023).

Town of Brick. 2023. "Town History." Available at <https://www.bricktownship.net/index.php/government/town-history/> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>252 Sunset Lane South</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential activity, permanent</u>		
Historic Use:	<u>Residential activity, permanent</u>		
Construction Date:	<u>1955</u>	Source:	<u>njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Four Square</u>	Stories:	<u>3</u>
Type:	<u>N/A</u>	Bays:	<u>3</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Vinyl Siding</u>		

Exterior Description: The residence at 252 Sunset Lane South is a hipped roof foursquare with wide overhanging eaves. The house is constructed into an embankment with the beach side elevation presenting as two stories. The beachside has an enclosed porch with a rooftop deck. The second story on the beachside is four bays across. Overall, the majority of the fenestration is 1/1 replacement sash. The siding appears to be wide vinyl or aluminum and there is a tall brick chimney. A two-bay carport with a pedestrian entry between is below grade on the street-facing elevation. The foundation is parged.

Interior Description: N/A

Setting: The residence at 252 Sunset Lane South is a beachfront property located in a residential neighborhood along a stretch of dead-end road that runs parallel to the beach located in the Brick Barrier Island neighborhood. Brick Barrier Island, also known as Brick Beaches, is located in the extreme eastern section of Brick Township on the barrier island immediately south of Mantoloking Borough. The modern-day built landscape reflects the mid-twentieth century development pattern with private enclaves, or sub-neighborhoods, extending from the north-south Route 35 arterial and developing along private dirt roads. Each enclave is overseen by a homeowner's association, and many have private beach access.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Brick township has a history dating back to the 1740s when dense woodland attracted the sawmill and charcoal industries (Town of Brick, 2023). However, Brick Barrier Island was late to develop, remaining largely unspoiled beach into the 1930s (Roberts and Zeilman, 2017). The construction of the Mantoloking Bridge in 1884 spurred development on the barrier island and Mantoloking was incorporated as a separate borough in 1911 (Borough of Mantoloking, 2022). The construction of U.S. Route 35 in 1908 served as a connection to the mainland for Brick Barrier Island via Mantoloking and the bridge, otherwise, the area has no physical connection to the rest of the town. Historical aerial photography shows Brick Barrier Island developing along Route 35 starting primarily in the 1930s, but intensive development does not become apparent until the post-WWII period with the entire region completely built out by the 1970s (Roberts and Zeilman, 2017).

Significance: The residence at 252 Sunset Lane South is associated with mid-twentieth-century development in Brick Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 252 Sunset Lane South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 252 Sunset Lane South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 104 Lyndhurst Drive

Street Address: Street #: 104 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Lyndhurst Suffix: N/A Type: DR

County(s): Ocean **Zip Code:** 08738

Municipality(s): Brick Township **Block(s):** 36

Local Place Name(s): Brick Barrier Island **Lot(s):** 10.08

Ownership: Private **USGS Quad(s)** Point Pleasant

Description: The building at 104 Lyndhurst Drive is an elevated one-and-one-half-story front gabled house with vinyl siding and a shed-roof dormer.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

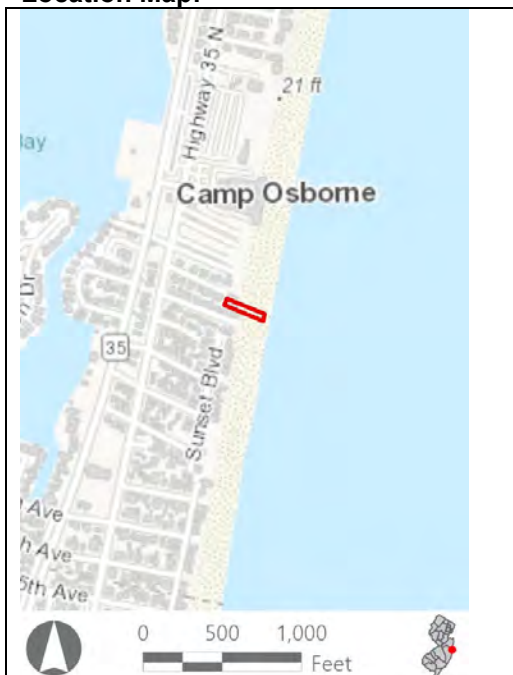


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Borough of Mantoloking, New Jersey. 2022. History. Available at: <https://www.mantoloking.org/our-community/pages/history#/> (Accessed August 2022).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed January 2023).
Roberts, D.G., and Z. Zeilman. 2017. *Neighborhood Plan: Brick Barrier Island, Brick Township, New Jersey*. Available at <https://www.bricktownship.net/index.php/documents/barrier-island/> (Accessed January 2023).
Town of Brick. 2023. "Town History." Available at <https://www.bricktownship.net/index.php/government/town-history/> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	104 Lyndhurst Drive		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1935	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Cape Cod	Stories:	1.5
Type:	N/A	Bays:	5
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 104 Lyndhurst Drive is a heavily altered one-and-one-half-story ca. 1935 Cape Cod dwelling raised on wood pilings and in infilled ground floor. The exterior is clad in vinyl siding and stucco, and the asphalt shingle roof has a shed-roof dormer. Window openings have been altered and consist of one-over-one vinyl windows as well as large, modern casement windows. Sliding glass doors have also been added. A large second-story deck extends across the beach-facing (east) elevation and wraps around the north elevation.

Interior Description: N/A

Setting: The resource is located on the beach in a residential neighborhood located along the shore with direct beach access. Brick Barrier Island, also known as Brick Beaches, is located in the extreme eastern section of Brick Township on the barrier island immediately south of Mantoloking Borough. The modern-day built landscape reflects the mid-twentieth century development pattern with private enclaves, or sub-neighborhoods, extending from the north-south Route 35 arterial and developing along private dirt roads. Each enclave is overseen by a homeowner's association, and many have private beach access.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Brick township has a history dating back to the 1740s when dense woodland attracted the sawmill and charcoal industries (Town of Brick, 2023). However, Brick Barrier Island was late to develop, remaining largely unspoiled beach into the 1930s (Roberts and Zeilman, 2017). The construction of the Mantoloking Bridge in 1884 spurred development on the barrier island and Mantoloking was incorporated as a separate borough in 1911 (Borough of Mantoloking, 2022). The construction of U.S. Route 35 in 1908 served as a connection to the mainland for Brick Barrier Island via Mantoloking and the bridge, otherwise, the area has no physical connection to the rest of the town. Historical aerial photography shows Brick Barrier Island developing along Route 35 starting primarily in the 1930s, but intensive development does not become apparent until the post-WWII period with the entire region completely built out by the 1970s (Roberts and Zeilman, 2017).

The building at 104 Lyndhurst Drive was built in about 1935 as part of a development of seaside cottages primarily built between 1930 and 1960 (NETR, 2023).

Significance: 104 Lyndhurst Drive is associated with twentieth-century development in Brick Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 104 Lyndhurst Drive is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 104 Lyndhurst Drive is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 166 Sunset Lane North

Street Address: Street #: 166 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Sunset Suffix: N Type: LN

County(s): Ocean **Zip Code:** 08738

Municipality(s): Brick Township **Block(s):** 62

Local Place Name(s): Brick Barrier Island **Lot(s):** 14

Ownership: Private **USGS Quad(s)** Point Pleasant

Description: The residence at 166 Sunset Lane North is a three-story embanked cross-gable house clad in wood shingle siding and has a rusticated CMU first story with a carport.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

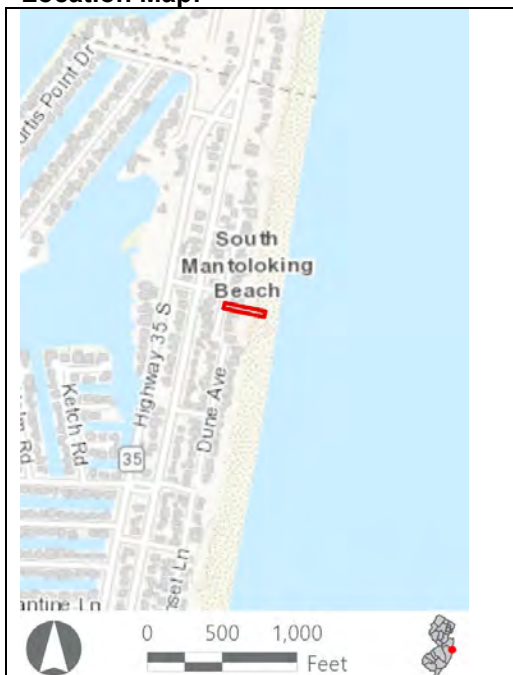


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Borough of Mantoloking, New Jersey. 2022. History. Available at: <https://www.mantoloking.org/our-community/pages/history#/> (Accessed August 2022).

Roberts, D.G., and Z. Zeilman. 2017. *Neighborhood Plan: Brick Barrier Island, Brick Township, New Jersey*. Available at <https://www.bricktownship.net/index.php/documents/barrier-island/> (Accessed January 2023).

Town of Brick. 2023. "Town History." Available at <https://www.bricktownship.net/index.php/government/town-history/> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	166 Sunset Lane North		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1927	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	3
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Wood, Shingles		

Exterior Description: The residence at 166 Sunset Lane North is a three-story wood-shingle clad house with a cross-gable roof system. The building is constructed into an embankment with a rusticated CMU first story below grade. The first story features a two-bay carport; however, the left bay has been infilled with a pedestrian door, a single six-pane sash, and shingle siding, likely to create additional living space. The entry has a gabled overhang supported by square posts with railings. The upper stories are two bays across with a variety of replacement sash types. An oriel window with a hipped roof occupies the second-story bay above the intact carport. A brick chimney extends the height of the side elevation and penetrates the roof eaves. Wooden stairs on either side of the house lead to a deck on the beach-side elevation.

Interior Description: N/A

Setting: 166 Sunset Lane North is a beachfront home located in the Brick Barrier Island neighborhood along a dead-end road that runs parallel to the beach. Brick Barrier Island, also known as Brick Beaches, is located in the extreme eastern section of Brick Township on the barrier island immediately south of Mantoloking Borough. The modern-day built landscape reflects the mid-twentieth century development pattern with private enclaves, or sub-neighborhoods, extending from the north-south Route 35 arterial and developing along private dirt roads. Each enclave is overseen by a homeowner's association, and many have private beach access.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Brick township has a history dating back to the 1740s when dense woodland attracted the sawmill and charcoal industries (Town of Brick, 2023). However, Brick Barrier Island was late to develop, remaining largely unspoiled beach into the 1930s (Roberts and Zeilman, 2017). The construction of the Mantoloking Bridge in 1884 spurred development on the barrier island and Mantoloking was incorporated as a separate borough in 1911 (Borough of Mantoloking, 2022). The construction of U.S. Route 35 in 1908 served as a connection to the mainland for Brick Barrier Island via Mantoloking and the bridge, otherwise, the area has no physical connection to the rest of the town. Historical aerial photography shows Brick Barrier Island developing along Route 35 starting primarily in the 1930s, but intensive development does not become apparent until the post-WWII period with the entire region completely built out by the 1970s (Roberts and Zeilman, 2017).

Significance: 166 Sunset Lane North is associated with early to mid-twentieth-century development in Brick Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 166 Sunset Lane North is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 166 Sunset Lane North is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Property Name: 492 Sunset Boulevard

Street Address: Street #: 492 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Sunset Suffix: N/A Type: BLVD

County(s): Ocean **Zip Code:** 08738

Municipality(s): Brick Township **Block(s):** 32

Local Place Name(s): Brick Barrier Island **Lot(s):** 12.01

Ownership: Private **USGS Quad(s)** Point Pleasant

Description: The building at 492 Sunset Boulevard is an altered three-story house with a flat roof and vinyl siding.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

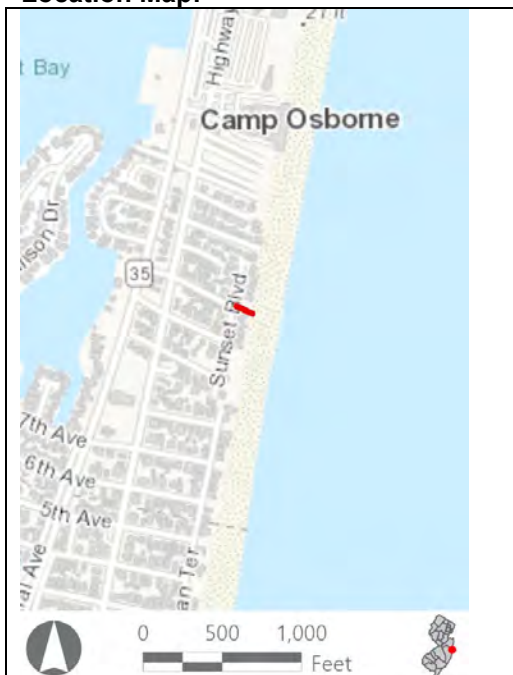


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Borough of Mantoloking, New Jersey. 2022. History. Available at:

<https://www.mantoloking.org/our-community/pages/history#/> (Accessed August 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed January 2023).

Roberts, D.G., and Z. Zeilman. 2017. *Neighborhood Plan: Brick Barrier Island, Brick Township, New Jersey*.

Available at <https://www.bricktownship.net/index.php/documents/barrier-island/> (Accessed January 2023).

Town of Brick. 2023. "Town History." Available at <https://www.bricktownship.net/index.php/government/town-history/> (Accessed January 2023).

Zillow. 2023. "492 Sunset Blvd." Available at https://www.zillow.com/homedetails/492-Sunset-Blvd-Mantoloking-NJ-08738/52677934_zpid/ (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	492 Sunset Boulevard		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1954	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	3
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 492 Sunset Boulevard is an altered three-story house with a flat roof. The first floor contains a two-bay garage and is clad in stucco, while the upper floors are clad in vinyl siding. Windows are one-over-one and sliding vinyl units. A large deck extends from the second floor at the beach-facing (southeast) elevation.

Interior Description: N/A

Setting: The resource is located on the beach in a residential neighborhood located along the shore with direct beach access. Brick Barrier Island, also known as Brick Beaches, is located in the extreme eastern section of Brick Township on the barrier island immediately south of Mantoloking Borough. The modern-day built landscape reflects the mid-twentieth century development pattern with private enclaves, or sub-neighborhoods, extending from the north-south Route 35 arterial and developing along private dirt roads. Each enclave is overseen by a homeowner's association, and many have private beach access.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Brick township has a history dating back to the 1740s when dense woodland attracted the sawmill and charcoal industries (Town of Brick, 2023). However, Brick Barrier Island was late to develop, remaining largely unspoiled beach into the 1930s (Roberts and Zeilman, 2017). The construction of the Mantoloking Bridge in 1884 spurred development on the barrier island and Mantoloking was incorporated as a separate borough in 1911 (Borough of Mantoloking, 2022). The construction of U.S. Route 35 in 1908 served as a connection to the mainland for Brick Barrier Island via Mantoloking and the bridge, otherwise, the area has no physical connection to the rest of the town. Historical aerial photography shows Brick Barrier Island developing along Route 35 starting primarily in the 1930s, but intensive development does not become apparent until the post-WWII period with the entire region completely built out by the 1970s (Roberts and Zeilman, 2017).

The building at 492 Sunset Boulevard was built in about 1954 as part of a development of seaside cottages primarily built between 1930 and 1960 (NETR, 2023).

Significance: 492 Sunset Boulevard is associated with mid-twentieth-century development in Brick Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 492 Sunset Boulevard is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 492 Sunset Boulevard is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 14 Falls Road

Street Address: Street #: 14 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Falls Suffix: N/A Type: RD

County(s): Ocean Zip Code: 08738

Municipality(s): Brick Township Block(s): 42.06

Local Place Name(s): Brick Barrier Island Lot(s): 14

Ownership: Private USGS Quad(s) Point Pleasant

Description: The residence at 14 Falls Road is a two-story split level with a gable roof. The building is constructed into an embankment with the street-facing elevation presenting as two stories. The building is clad in vinyl shingle siding and has a single-bay carport.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

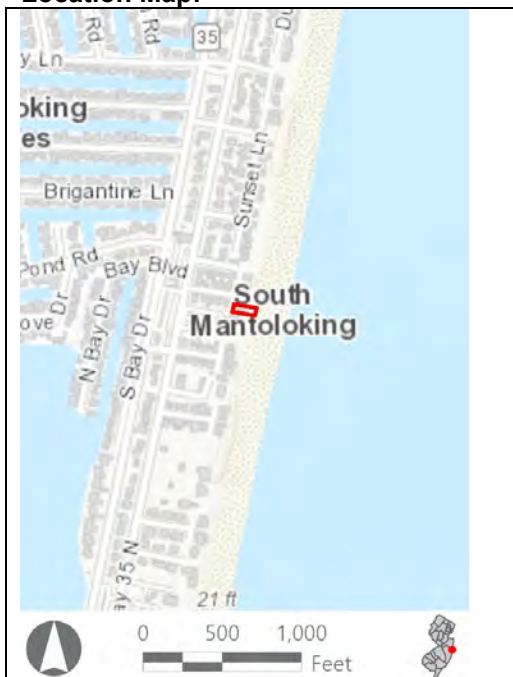


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Borough of Mantoloking, New Jersey. 2022. History. Available at: <https://www.mantoloking.org/our-community/pages/history#/> (Accessed August 2022).

Roberts, D.G., and Z. Zeilman. 2017. *Neighborhood Plan: Brick Barrier Island, Brick Township, New Jersey*. Available at <https://www.bricktownship.net/index.php/documents/barrier-island/> (Accessed January 2023).

Town of Brick. 2023. "Town History." Available at <https://www.bricktownship.net/index.php/government/town-history/> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	14 Falls Rd		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1953	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Split Level	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The residence at 14 Falls Road is a two-story split level with a gable roof. The building is constructed into an embankment with the street-facing elevation presenting as two stories. The street elevation is three bays across with a center entry. A pent roof separates the first and second stories and merges into a hipped overhang without supports above the entry. The bay to the right of the entry is a carport, while that to the left features paired 1/1 replacement sash. Fenestration on the upper façade is 1/1 and sliding replacement sash. The building is clad in vinyl shingle siding, including on the façade of the masonry first story while the sides of the first story are parged. The beach elevation appears to have a porch with a large rooftop deck. A brick chimney surmounts the center of the roof at the ridge.

Interior Description: N/A

Setting: 14 Falls Road is a beach front property located on a dirt road at the end of a T-shaped development. The Falls Road development is located in the Brick Barrier Island neighborhood. Brick Barrier Island, also known as Brick Beaches, is located in the extreme eastern section of Brick Township on the barrier island immediately south of Mantoloking Borough. The modern-day built landscape reflects the mid-twentieth century development pattern with private enclaves, or sub-neighborhoods, extending from the north-south Route 35 arterial and developing along private dirt roads. Each enclave is overseen by a homeowner's association, and many have private beach access.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Brick township has a history dating back to the 1740s when dense woodland attracted the sawmill and charcoal industries (Town of Brick, 2023). However, Brick Barrier Island was late to develop, remaining largely unspoiled beach into the 1930s (Roberts and Zeilman, 2017). The construction of the Mantoloking Bridge in 1884 spurred development on the barrier island and Mantoloking was incorporated as a separate borough in 1911 (Borough of Mantoloking, 2022). The construction of U.S. Route 35 in 1908 served as a connection to the mainland for Brick Barrier Island via Mantoloking and the bridge, otherwise, the area has no physical connection to the rest of the town. Historical aerial photography shows Brick Barrier Island developing along Route 35 starting primarily in the 1930s, but intensive development does not become apparent until the post-WWII period with the entire region completely built out by the 1970s (Roberts and Zeilman, 2017).

Significance: 14 Falls Road is associated with mid-twentieth-century development in Brick Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 14 Falls Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 14 Falls Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 502 Sunset Boulevard

Street Address: Street #: 502 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Sunset Suffix: N/A Type: BLVD

County(s): Ocean **Zip Code:** 08738

Municipality(s): Brick Township **Block(s):** 32

Local Place Name(s): Mantoloking **Lot(s):** 21

Ownership: Private **USGS Quad(s)** Point Pleasant

Description: The residence at 502 Sunset Boulevard is a three-story cross-gable building with a steeply pitched roof. The beach-facing elevation is angled outward from the center and features broad glazed fenestration that extends up to the roofline. A two-tier deck occupies the second and third-story façade. The building is clad in vinyl siding and there is a two-bay carport at the first story of the rear elevation.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

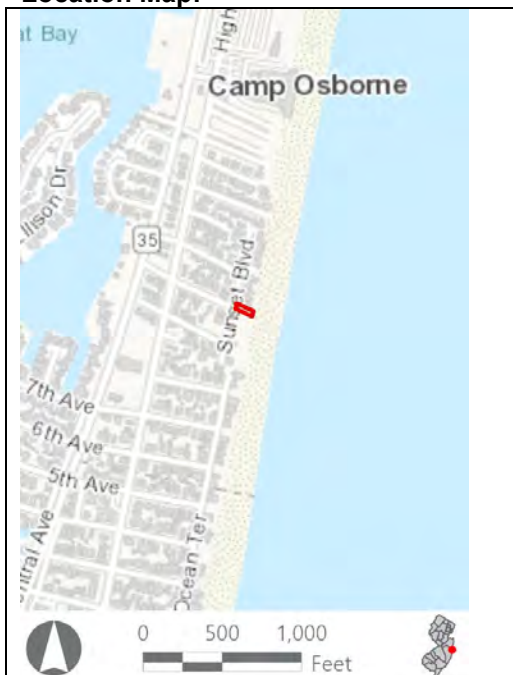


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Borough of Mantoloking, New Jersey. 2022. History. Available at: <https://www.mantoloking.org/our-community/pages/history#/> (Accessed August 2022).
Havens, R.T. 1925. *Deauville Beach, Brick Township, Ocean County, New Jersey* [Blueprint Map]. Available at <https://rucore.libraries.rutgers.edu/rutgers-lib/51765/> (Accessed January 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed January 2023).
Roberts, D.G., and Z. Zeilman. 2017. *Neighborhood Plan: Brick Barrier Island, Brick Township, New Jersey*. Available at <https://www.bricktownship.net/index.php/documents/barrier-island/> (Accessed January 2023).
Town of Brick. 2023. "Town History." Available at <https://www.bricktownship.net/index.php/government/town-history/> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: <u>502 Sunset Boulevard</u>	
Historic Name: <u>N/A</u>	
Present Use: <u>Residential activity, permanent</u>	
Historic Use: <u>Residential activity, permanent</u>	
Construction Date: <u>ca.1972</u>	Source: <u>NETR, 2023.</u>
Alteration Date(s): <u>2013</u>	Source: <u>Bing Streetview</u>
Designer: <u>N/A</u>	Physical Condition: <u>Excellent</u>
Builder: <u>N/A</u>	Remaining Historic Fabric: <u>Low</u>
Style: <u>None</u>	
Form: <u>Other</u>	Stories: <u>3</u>
Type: <u>N/A</u>	Bays: <u>2</u>
Roof Finish Materials: <u>Asphalt Shingle</u>	
Exterior Finish Materials <u>Vinyl Siding</u>	

Exterior Description: The residence at 502 Sunset Boulevard is a three-story cross-gable building with a steeply pitched roof. The beach-facing elevation is angled outward from the center and features broad glazed fenestration that extends up to the roofline. A two-tier deck occupies the second and third-story façade. The building is clad in vinyl siding and there is a two-bay carport at the first story of the rear elevation. On the rear elevation, a pent roof separates the first story from the upper stories. Fenestration is paired 2/2 replacement sash. The house was originally two stories but was elevated in 2013. Consequently, the entry is on the side elevation of the second story. The entry is reached by wooden steps that connect with the second-story deck which wraps around from the beach elevation to the side elevation and is supported by braces rather than posts.

Interior Description: N/A

Setting: The residence at 502 Sunset Boulevard is a beach front property with private beach access. The house is located in the early twentieth-century development of Deauville Beach which is composed of a rectilinear grid. Three streets (Jeanette, Deauville, and Georgian drives) extend east from U.S. Route 35 and terminate at Sunset Boulevard which runs parallel to the beach.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: 502 Sunset Boulevard is located in the rectilinear development of Deauville Beach plated in 1925 (Havens, 1925). Historical aerial photographs show that between 1931 and 1933 much of the development was built out, though with perhaps larger homes than envisioned as many of these occupy multiple narrow lots. The house at 502 Sunset Boulevard first appears in the 1972 historic aerial (NETR, 2023).

Brick township has a history dating back to the 1740s when dense woodland attracted the sawmill and charcoal industries (Town of Brick, 2023). However, Brick Barrier Island was late to develop, remaining largely unspoiled beach into the 1930s (Roberts and Zeilman, 2017). The construction of the Mantoloking Bridge in 1884 spurred development on the barrier island and Mantoloking was incorporated as a separate borough in 1911 (Borough of Mantoloking, 2022). The construction of U.S. Route 35 in 1908 served as a connection to the mainland for Brick Barrier Island via Mantoloking and the bridge, otherwise, the area has no physical connection to the rest of the town. Historical aerial photography shows Brick Barrier Island developing along Route 35 starting primarily in the 1930s, but intensive development does not become apparent until the post-WWII period with the entire region completely built out by the 1970s (Roberts and Zeilman, 2017).

Significance: 502 Sunset Boulevard is associated with mid-twentieth-century development in Brick Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 502 Sunset Boulevard is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 502 Sunset Boulevard is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 11 Falls Road

Street Address: Street #: 11 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Falls Suffix: N/A Type: RD

County(s): Ocean Zip Code: 08738

Municipality(s): Brick Township Block(s): 42.06

Local Place Name(s): Brick Barrier Island Lot(s): 11

Ownership: Private USGS Quad(s) Point Pleasant

Description: The building at 11 Falls Road is a three-story gable front house with stone cladding at the first floor and wood exterior on the upper floors.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

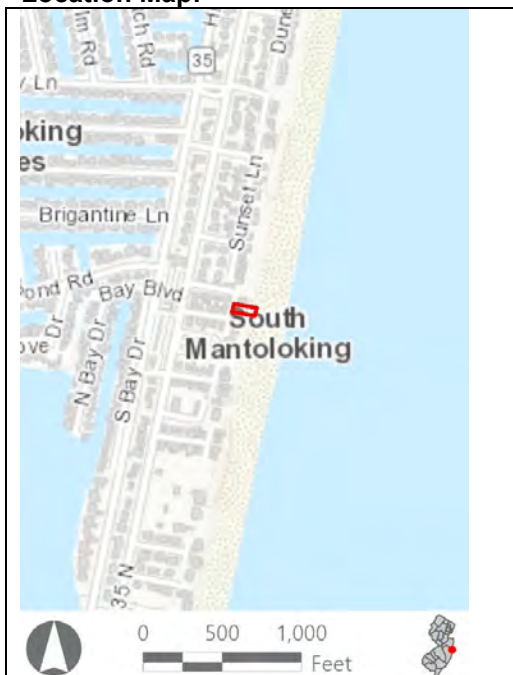


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Borough of Mantoloking, New Jersey. 2022. History. Available at: <https://www.mantoloking.org/our-community/pages/history#/> (Accessed August 2022).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed January 2023).
Roberts, D.G., and Z. Zeilman. 2017. *Neighborhood Plan: Brick Barrier Island, Brick Township, New Jersey*. Available at <https://www.bricktownship.net/index.php/documents/barrier-island/> (Accessed January 2023).
REDFIN. 2023. "11 Falls Rd." Available at <https://www.redfin.com/NJ/Mantoloking/11-Falls-Rd-08738/home/37199875> (Accessed February 2023).
Town of Brick. 2023. "Town History." Available at <https://www.bricktownship.net/index.php/government/town-history/> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	11 Falls Road		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1980	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Gable Front	Stories:	3
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 11 Falls Road is a three-story gable front house with stone cladding at the first floor and vinyl siding with a wood shingle look at the upper floors. The primary entrance is at the first floor, adjacent to a single-bay garage, on the street-facing (west) elevation. A pent roof clad in asphalt shingle spans the width of the elevation above the first floor. The upper floors of this elevation are symmetrically arranged, with a Palladian window at the third floor. Windows throughout are vinyl sash with simulated divided lights. To the east, a two-story gable-roofed extension projects from the main volume and beyond it, a single-story addition is topped with a roof deck.

Interior Description: N/A

Setting: The resource is located on the beach in a residential neighborhood located along the shore with direct beach access. Brick Barrier Island, also known as Brick Beaches, is located in the extreme eastern section of Brick Township on the barrier island immediately south of Mantoloking Borough. The modern-day built landscape reflects the mid-twentieth century development pattern with private enclaves, or sub-neighborhoods, extending from the north-south Route 35 arterial and developing along private dirt roads. Each enclave is overseen by a homeowner's association, and many have private beach access.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Brick township has a history dating back to the 1740s when dense woodland attracted the sawmill and charcoal industries (Town of Brick, 2023). However, Brick Barrier Island was late to develop, remaining largely unspoiled beach into the 1930s (Roberts and Zeilman, 2017). The construction of the Mantoloking Bridge in 1884 spurred development on the barrier island and Mantoloking was incorporated as a separate borough in 1911 (Borough of Mantoloking, 2022). The construction of U.S. Route 35 in 1908 served as a connection to the mainland for Brick Barrier Island via Mantoloking and the bridge, otherwise, the area has no physical connection to the rest of the town. Historical aerial photography shows Brick Barrier Island developing along Route 35 starting primarily in the 1930s, but intensive development does not become apparent until the post-WWII period with the entire region completely built out by the 1970s (Roberts and Zeilman, 2017).

The building at 11 Falls Road was built in about 1980 as part of a development of seaside cottages primarily built between 1940 and 1970 (NETR, 2023).

Significance: 11 Falls Road is associated with late-twentieth-century development in Brick Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 11 Falls Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 11 Falls Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BASE FORM

Historic Sites #:

Property Name: 12 Falls Road

Street Address: Street #: 12 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Falls Suffix: N/A Type: RD

County(s): Ocean **Zip Code:** 08738

Municipality(s): Brick Township **Block(s):** 42.06

Local Place Name(s): Brick Barrier Island **Lot(s):** 12

Ownership: Private **USGS Quad(s)** Point Pleasant

Description: The building at 12 Falls Road is a two-story residence with a shed roof, vinyl siding, and vinyl replacement windows.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

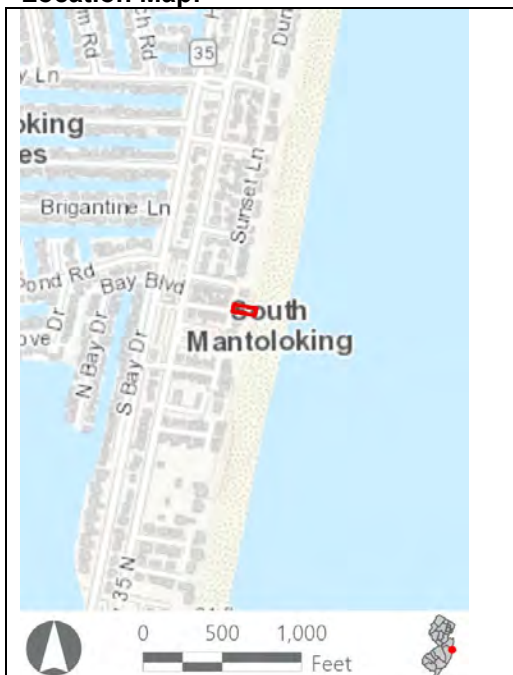


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Borough of Mantoloking, New Jersey. 2022. History. Available at: <https://www.mantoloking.org/our-community/pages/history#/> (Accessed August 2022).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed January 2023).
Roberts, D.G., and Z. Zeilman. 2017. *Neighborhood Plan: Brick Barrier Island, Brick Township, New Jersey*. Available at <https://www.bricktownship.net/index.php/documents/barrier-island/> (Accessed January 2023).
Town of Brick. 2023. "Town History." Available at <https://www.bricktownship.net/index.php/government/town-history/> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	12 Falls Road		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1960	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Ranch	Stories:	2
Type:	N/A	Bays:	4
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 12 Falls Road is a two-story residence with a shed roof, vinyl siding, and vinyl windows. It appears to originally have been a single-story residence which was raised atop a new stucco-clad first floor containing a two-bay garage and entrance. The second floor overhangs the first floor. The beach-facing (east) elevation features a wide brick chimney at the south and a deep roof overhang.

Interior Description: N/A

Setting: The resource is located on the beach in a residential neighborhood located along the shore with direct beach access. Brick Barrier Island, also known as Brick Beaches, is located in the extreme eastern section of Brick Township on the barrier island immediately south of Mantoloking Borough. The modern-day built landscape reflects the mid-twentieth century development pattern with private enclaves, or sub-neighborhoods, extending from the north-south Route 35 arterial and developing along private dirt roads. Each enclave is overseen by a homeowner's association, and many have private beach access.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Brick township has a history dating back to the 1740s when dense woodland attracted the sawmill and charcoal industries (Town of Brick, 2023). However, Brick Barrier Island was late to develop, remaining largely unspoiled beach into the 1930s (Roberts and Zeilman, 2017). The construction of the Mantoloking Bridge in 1884 spurred development on the barrier island and Mantoloking was incorporated as a separate borough in 1911 (Borough of Mantoloking, 2022). The construction of U.S. Route 35 in 1908 served as a connection to the mainland for Brick Barrier Island via Mantoloking and the bridge, otherwise, the area has no physical connection to the rest of the town. Historical aerial photography shows Brick Barrier Island developing along Route 35 starting primarily in the 1930s, but intensive development does not become apparent until the post-WWII period with the entire region completely built out by the 1970s (Roberts and Zeilman, 2017).

The building at 12 Falls Road was built in about 1960 as part of a development of seaside cottages primarily built between 1930 and 1960 (NETR, 2023).

Significance: 12 Falls Road is associated with mid-twentieth-century development in Brick Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 12 Falls Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 12 Falls Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

Date: February 24,
2023

BASE FORM

Historic Sites #:

Property Name: 142 Sunset Lane North

Street Address: Street #: 142 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Sunset Suffix: N Type: LN

County(s): Ocean **Zip Code:** 08738

Municipality(s): Brick Township **Block(s):** 62

Local Place Name(s): Brick Barrier Island **Lot(s):** 3

Ownership: Private **USGS Quad(s)** Point Pleasant

Description: 142 Sunset Lane North is an elevated side-gable bungalow with wood shingle siding. There is a shed roof dormer on the street-facing elevation. The fenestration is paired casement replacement sash. The first story is rusticated CMU foundation with a carport.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Borough of Mantoloking, New Jersey. 2022. History. Available at: <https://www.mantoloking.org/our-community/pages/history#/> (Accessed August 2022).

Roberts, D.G., and Z. Zeilman. 2017. *Neighborhood Plan: Brick Barrier Island, Brick Township, New Jersey*. Available at <https://www.bricktownship.net/index.php/documents/barrier-island/> (Accessed January 2023).

Town of Brick. 2023. "Town History." Available at <https://www.bricktownship.net/index.php/government/town-history/> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	142 Sunset Lane North		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1932	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Bungalow	Stories:	2
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Wood, Shingles		

Exterior Description: 142 Sunset Lane North is an elevated side-gable bungalow with wood shingle siding. The residence is constructed into an embankment and presents as two stories on the street-facing elevation. There is a shed roof dormer on the street-facing elevation with paired casement replacement sash. The upper story is two bays across also with paired casement replacement sash. The first story is constructed of rusticated CMU and features a two-bay carport. The right bay has been infilled with wood singles and an 8/8 replacement sash. A pedestrian entry is located between the two bays. There is a projecting shed roof bay on the side elevation of the upper story. A brick chimney on the opposite elevation penetrates the roof eaves. Beyond the chimney toward the beach appears to be the primary entry which is reached by a set of wooden stairs. The fenestration on this side is 1/1 replacement sash. There appears to be a deck on the beach facing elevation.

Interior Description: N/A

Setting: 142 Sunset Lane North is a beachfront home located in the Brick Barrier Island neighborhood along a dead-end road that runs parallel to the beach. Brick Barrier Island, also known as Brick Beaches, is located in the extreme eastern section of Brick Township on the barrier island immediately south of Mantoloking Borough. The modern-day built landscape reflects the mid-twentieth century development pattern with private enclaves, or sub-neighborhoods, extending from the north-south Route 35 arterial and developing along private dirt roads. Each enclave is overseen by a homeowner's association, and many have private beach access.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Brick township has a history dating back to the 1740s when dense woodland attracted the sawmill and charcoal industries (Town of Brick, 2023). However, Brick Barrier Island was late to develop, remaining largely unspoiled beach into the 1930s (Roberts and Zeilman, 2017). The construction of the Mantoloking Bridge in 1884 spurred development on the barrier island and Mantoloking was incorporated as a separate borough in 1911 (Borough of Mantoloking, 2022). The construction of U.S. Route 35 in 1908 served as a connection to the mainland for Brick Barrier Island via Mantoloking and the bridge, otherwise, the area has no physical connection to the rest of the town. Historical aerial photography shows Brick Barrier Island developing along Route 35 starting primarily in the 1930s, but intensive development does not become apparent until the post-WWII period with the entire region completely built out by the 1970s (Roberts and Zeilman, 2017).

Significance: 142 Sunset Lane North is associated with early to mid-twentieth-century development in Brick Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 142 Sunset Lane North is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 142 Sunset Lane North is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 256 Sunset Lane South

Street Address: Street #: 256 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Sunset Suffix: S Type: LN

County(s): Ocean **Zip Code:** 08738

Municipality(s): Brick Township **Block(s):** 50.02

Local Place Name(s): Brick Barrier Island **Lot(s):** 4

Ownership: Private **USGS Quad(s)** Point Pleasant

Description: The residence at 256 Sunset Lane South is a wide, three-story cross-gable house. The building has stone veneer on the first story and vinyl siding on the upper stories. There is a first-story carport.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

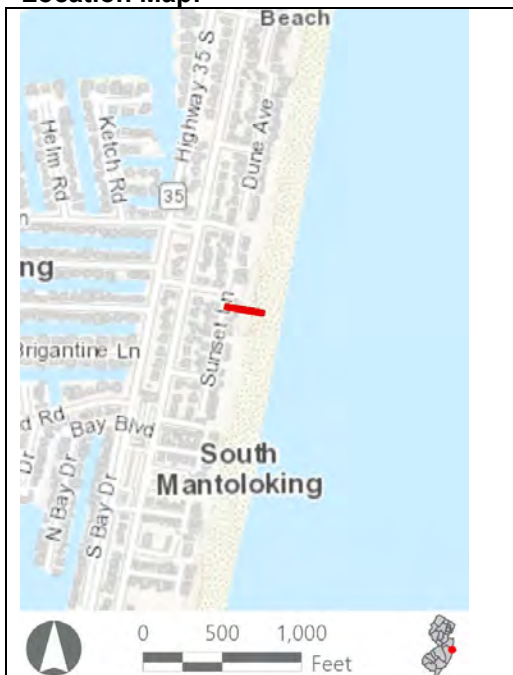


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Borough of Mantoloking, New Jersey. 2022. History. Available at: <https://www.mantoloking.org/our-community/pages/history#/> (Accessed August 2022).

Roberts, D.G., and Z. Zeilman. 2017. *Neighborhood Plan: Brick Barrier Island, Brick Township, New Jersey*. Available at <https://www.bricktownship.net/index.php/documents/barrier-island/> (Accessed January 2023).

Town of Brick. 2023. "Town History." Available at <https://www.bricktownship.net/index.php/government/town-history/> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	256 Sunset Lane South		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1940	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	3
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The residence at 256 Sunset Lane South is a wide, three-story cross-gable house. Divided roughly into three bays on the façade, the gable end of a gambrel roof occupies the right bay of the third story. A shed roof dormer occupies the center and left bays. A pent roof separates the first story from the second story. The building is clad with stone veneer on the first-story façade and vinyl shingle siding on the upper stories and side elevations. From left to right, the first story has a four-part window bay, the primary entry, a small 1/1 sash window, and a wide carport. The fenestration of the upper façade is primarily paired 2/2 sash.

Interior Description: N/A

Setting: The residence at 256 Sunset Lane South is a beachfront property located in a residential neighborhood along a stretch of dead-end road that runs parallel to the beach located in the Brick Barrier Island neighborhood. Brick Barrier Island, also known as Brick Beaches, is located in the extreme eastern section of Brick Township on the barrier island immediately south of Mantoloking Borough. The modern-day built landscape reflects the mid-twentieth century development pattern with private enclaves, or sub-neighborhoods, extending from the north-south Route 35 arterial and developing along private dirt roads. Each enclave is overseen by a homeowner's association, and many have private beach access.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Brick township has a history dating back to the 1740s when dense woodland attracted the sawmill and charcoal industries (Town of Brick, 2023). However, Brick Barrier Island was late to develop, remaining largely unspoiled beach into the 1930s (Roberts and Zeilman, 2017). The construction of the Mantoloking Bridge in 1884 spurred development on the barrier island and Mantoloking was incorporated as a separate borough in 1911 (Borough of Mantoloking, 2022). The construction of U.S. Route 35 in 1908 served as a connection to the mainland for Brick Barrier Island via Mantoloking and the bridge, otherwise, the area has no physical connection to the rest of the town. Historical aerial photography shows Brick Barrier Island developing along Route 35 starting primarily in the 1930s, but intensive development does not become apparent until the post-WWII period with the entire region completely built out by the 1970s (Roberts and Zeilman, 2017).

Significance: The residence at 256 Sunset Lane South is associated with mid-twentieth-century development in Brick Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 256 Sunset Lane South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 256 Sunset Lane South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 146 Sunset Lane North

Street Address: Street #: 146 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Sunset Suffix: N Type: LN

County(s): Ocean **Zip Code:** 08738

Municipality(s): Brick Township **Block(s):** 62

Local Place Name(s): Mantoloking **Lot(s):** 5

Ownership: Private **USGS Quad(s)** Point Pleasant

Description: 146 Sunset Lane North is an elevated side-gable bungalow with wood shingle siding. There is a gable roof dormer on the street-facing elevation. The fenestration is casement and 1/1 replacement sash. The first story is rusticated CMU foundation with dual carports.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

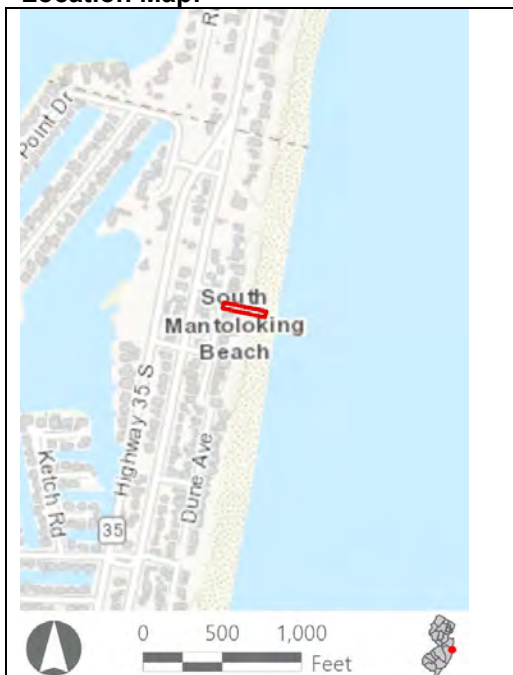


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	146 Sunset Lane North		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1931	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Bungalow	Stories:	3
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Wood, Shingles		

Exterior Description: 146 Sunset Lane North is an elevated side-gable bungalow with wood shingle siding. The residence is constructed into an embankment and presents as two stories on the street-facing elevation. There is a gabled roof dormer on the street-facing elevation with a bank of casement sash surmounted by a half-elliptical light. The upper story is two bays across with paired casement and 1/1 replacement sash. The first story is constructed of rusticated CMU and features a two-bay carport. A pedestrian entry is located between the two bays. There is a projecting shed roof bay on the side elevation of the upper story. A brick chimney on the opposite elevation penetrates the roof eaves. Forward of the chimney toward the street is a two-story projecting bay with a parged masonry first story and wood-shingle second story. The first story of the bay has a pedestrian entry. A set of wooden stairs leads to what appears to be an enclosed wraparound porch with a rooftop deck, both of which extend from the side elevation to the beach-facing elevation.

Interior Description: N/A

Setting: 146 Sunset Lane North is a beachfront home located in the Brick Barrier Island neighborhood along a dead-end road that runs parallel to the beach. Brick Barrier Island, also known as Brick Beaches, is located in the extreme eastern section of Brick Township on the barrier island immediately south of Mantoloking Borough. The modern-day built landscape reflects the mid-twentieth century development pattern with private enclaves, or sub-neighborhoods, extending from the north-south Route 35 arterial and developing along private dirt roads. Each enclave is overseen by a homeowner's association, and many have private beach access.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Brick township has a history dating back to the 1740s when dense woodland attracted the sawmill and charcoal industries (Town of Brick, 2023). However, Brick Barrier Island was late to develop, remaining largely unspoiled beach into the 1930s (Roberts and Zeilman, 2017). The construction of the Mantoloking Bridge in 1884 spurred development on the barrier island and Mantoloking was incorporated as a separate borough in 1911 (Borough of Mantoloking, 2022). The construction of U.S. Route 35 in 1908 served as a connection to the mainland for Brick Barrier Island via Mantoloking and the bridge, otherwise, the area has no physical connection to the rest of the town. Historical aerial photography shows Brick Barrier Island developing along Route 35 starting primarily in the 1930s, but intensive development does not become apparent until the post-WWII period with the entire region completely built out by the 1970s (Roberts and Zeilman, 2017).

Significance: 146 Sunset Lane North is associated with early to mid-twentieth-century development in Brick Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 146 Sunset Lane North is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 146 Sunset Lane North is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 222 3rd Street

Street Address: Street #: 222 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 3rd Street Suffix: South Type: N/A

County(s): Atlantic Zip Code: 08203

Municipality(s): Brigantine City Block(s): 603

Local Place Name(s): N/A Lot(s): 23

Ownership: Private USGS Quad(s) Brigantine Inlet

Description: The building at 222 3rd Street is a three-story hipped-roof home with a stone exterior on the first-story façade and vinyl siding elsewhere.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

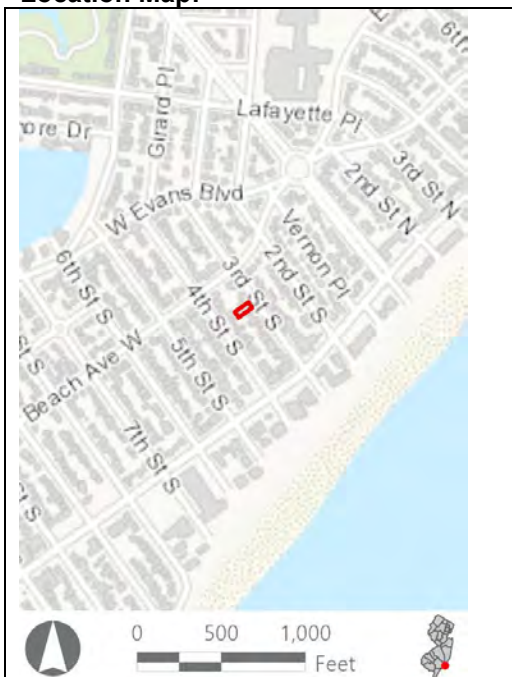


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: <u>222 3rd Street South</u>	
Historic Name: <u>N/A</u>	
Present Use: <u>Residential Activity, Permanent</u>	
Historic Use: <u>Residential Activity, Permanent</u>	
Construction Date: <u>1925</u>	Source: <u>www.zillow.com</u>
Alteration Date(s): <u>N/A</u>	Source: <u>N/A</u>
Designer: <u>N/A</u>	Physical Condition: <u>Good</u>
Builder: <u>N/A</u>	Remaining Historic Fabric: <u>Low</u>
Style: <u>None</u>	
Form: <u>Other</u>	Stories: <u>3</u>
Type: <u>N/A</u>	Bays: <u>3</u>
Roof Finish Materials: <u>Asphalt Shingle</u>	
Exterior Finish Materials <u>Stone</u>	

Exterior Description: The building at 222 3rd Street is a three-story hipped-roof home with a stone exterior on the first-story façade and vinyl siding elsewhere. The façade is three bays with octagon porthole windows in the right bay. Otherwise, the fenestration is 6/6 simulated divided light sash. The first and second-story façade projects forward of the main block and is surmounted by a shed roof. A pent roof separates the first and second-story façade. The entrance is on the side elevation.

Interior Description: N/A

Setting: The resource is in a residential neighborhood, surrounded by other homes, one and a half blocks from Brigantine Beach. Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name: <u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date: <u>February 24, 2023</u>
Surveyor: <u>Grant Johnson and Laura Mancuso</u>	
Organization: <u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>	

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 222 3rd Street is associated with early-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☒ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 222 3rd Street is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 222 3rd Street is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: Leeds House

Street Address: Street #: 226 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 3rd Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 603

Local Place Name(s): N/A **Lot(s):** 24

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: Leeds House is a two-story cross-gable residence with vinyl siding and an enclosed porch.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

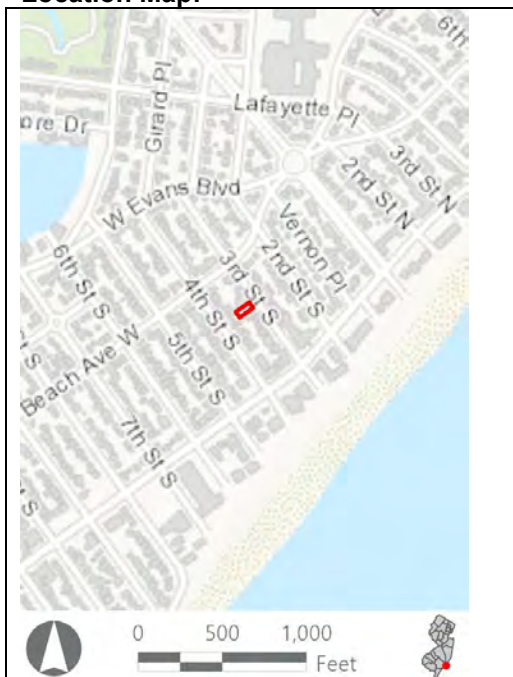
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>Leeds House</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1890</u>	Source:	<u>Njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Fair</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Medium</u>
Style:	<u>None</u>		
Form:	<u>Other</u>	Stories:	<u>2</u>
Type:	<u>N/A</u>	Bays:	<u>2</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Vinyl Siding</u>		

Exterior Description: Leeds House is a two-story cross-gable residence with vinyl siding and an enclosed porch. The gables feature cornice returns and a single window. The building is two bays on the façade and three bays on the side elevations. The porch has a shed roof and a parged masonry knee wall or bulkhead. The primary entrance is in the left bay within the porch and is surmounted by a transom. The fenestration is 1/1 replacement sash.

Interior Description: N/A

Setting: Leeds House is in a residential area, two blocks from the beach and five blocks from a school. Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: Leeds House is associated with late-nineteenth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, Leeds House is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, Leeds House is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BASE FORM

Historic Sites #:

Property Name: 223 10th Street North

Street Address: Street #: 223 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 10th Suffix: N Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 203

Local Place Name(s): N/A **Lot(s):** 3.01

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: The building at 223 10th Street North is a two-story side-gabled duplex with vinyl siding, a partially covered front porch, and two uncovered balconies on the second story.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

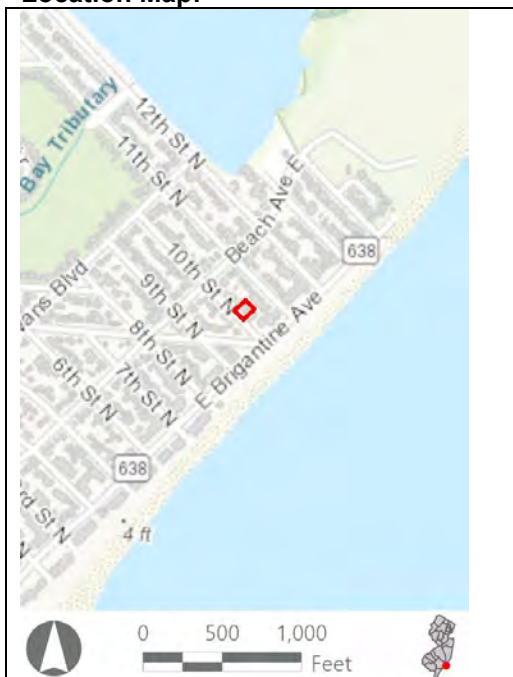


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>223 10th Street North</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential activity, permanent</u>		
Historic Use:	<u>Residential activity, permanent</u>		
Construction Date:	<u>1968</u>	Source:	<u>www.njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Excellent</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Medium</u>
Style:	<u>None</u>		
Form:	<u>Duplex</u>	Stories:	<u>2</u>
Type:	<u>N/A</u>	Bays:	<u>6</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Vinyl Siding</u>		

Exterior Description: The building at 223 10th Street North is a two-story side-gabled duplex with vinyl siding, a partially covered front porch, and two uncovered balconies on the second story. The building is six bays on the first-story façade and four on the second. The fenestration is 1/1 replacement sash on the façade while the side elevations are devoid of fenestration. Access to each unit is via a pedestrian door in the end bay of either side of the façade. The porch and balconies have a simple balustrade and square posts support the balconies above the porch.

Interior Description: N/A

Setting: The resource is in a residential area half a block away from the beach and boardwalk access, surrounded by similar residential buildings. Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 223 10th Street North is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 223 10th Street North is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 223 10th Street North is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 250 9th Street South

Street Address: Street #: 250 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 9th Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 806

Local Place Name(s): N/A **Lot(s):** 21

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: The building at 250 9th Street South is a two-story front gable residence with vinyl siding, a porch, and an uncovered balcony. The entry is on the side elevation.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

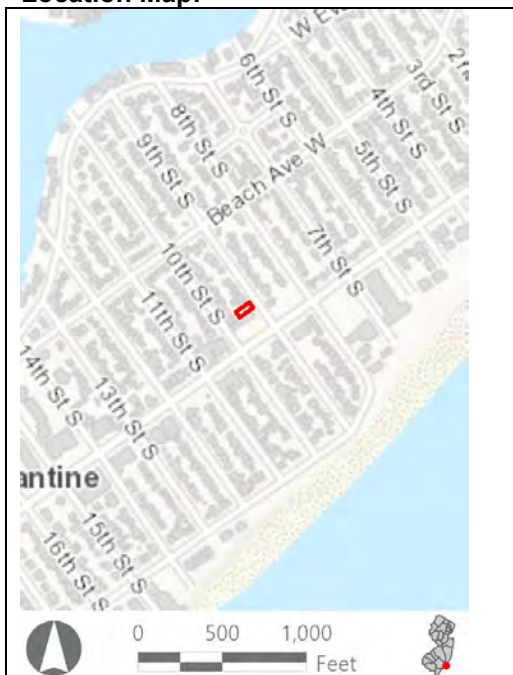


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	250 9 th Street South		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1980	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Gable Front	Stories:	2
Type:	N/A	Bays:	2
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 250 9th Street South is a two-story front gable residence. The roof has a shallow pitch with wide overhanging eaves on one side and exposed roof purlins. The facade is two bays across with paired 6/6 sash on the first story and sliding patio doors in each bay on the second story. The doors open onto an elevated deck or balcony supported by squared posts. The entry to the building is on the side elevation and is reached by a set of wood or synthetic steps and a small deck. The fenestration on this elevation is also paired. Overall, the building is clad in vinyl siding and the foundation is parged.

Interior Description: N/A

Setting: The building at 250 9th Street South is in a primarily residential area. It is about a block and a half away from the beach and boardwalk and is surrounded by similar residential houses and some commercial buildings. Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 250 9th Street South is associated with late-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 250 9th Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 250 9th Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 205 2nd Street South

Street Address: Street #: 205 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 2nd Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 601

Local Place Name(s): N/A **Lot(s):** 9

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: The building at 205 2nd Street South is a one-and-one-half-story side-gabled bungalow with vinyl siding, a front porch, a balcony on the side elevation, and a later front-gabled projection.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

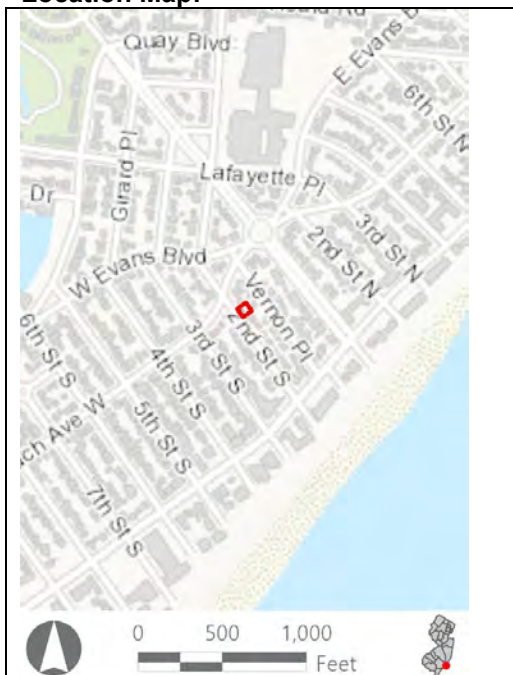


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>205 2nd Street South</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1955</u>	Source:	<u>www.njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Bungalow</u>	Stories:	<u>1.5</u>
Type:	<u>N/A</u>	Bays:	<u>4</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Vinyl Siding</u>		

Exterior Description: The building at 205 2nd Street South is a one-and-one-half-story side-gabled bungalow. The main block has an overhanging half-story which forms a front porch with simple square posts. There is a shed roof dormer with paired 1/1 sash on the forward roof elevation. Within the porch, there is a left-bay entry and a four-part oriel window with casement sash. Projecting forward of the facade and engaged with the corner of the porch on the left side is a front-gabled projection that is two bays across with 1/1 replacement sash. On the opposite elevation, there is a two-tiered deck that is reached on the second story by a flight of steps. Access to both levels of the deck is via sliding patio doors. The siding is vinyl shingle on the facade and vinyl clapboard on the side elevations.

Interior Description: N/A

Setting: The building at 205 2nd Street South is in a primarily residential area, about one and a half blocks away from the oceanfront. Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 205 2nd Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 205 2nd Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 205 2nd Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey: _____
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

Date: February 24,
2023

BASE FORM

Historic Sites #:

Property Name: 206 Vernon Place

Street Address: Street #: 206 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Vernon Suffix: N/A Type: PL

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 601

Local Place Name(s): N/A **Lot(s):** 15

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: The building at 206 Vernon Place is a one-story front-gable house with asphalt shingles, vinyl siding, and a small, uncovered entry porch.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

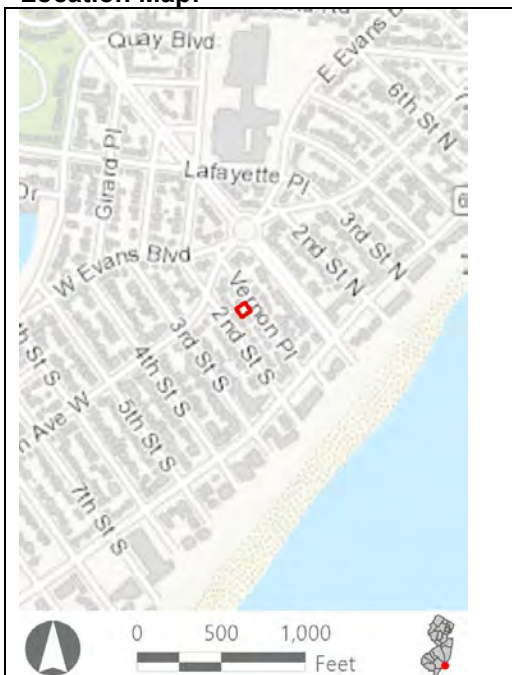


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	206 Vernon Place		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1953	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Gable Front	Stories:	1
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 206 Vernon Place is a one-story front-gable house. The building is four bays across the facade with the rightmost bay extending beyond the gable front and occupying a single-bay side projection with a gabled roof. From left to right the bays are occupied by a picture window and the primary entrance, followed by 1/1 replacement sash. The entry is reached by an elevated concrete platform or deck with vinyl railings that extends from the entry all the way to the end of the facade on the left. There is a single 1/1 replacement sash in the gable above. The gable is clad in vertical vinyl siding while the entire first story is clad in vinyl clapboard. The building is two bays on the public-facing side elevation with 1/1 replacement sash. The foundation is paved.

Interior Description: N/A

Setting: The building at 206 Vernon Place is in a residential area about one block away from the beach and surrounded by similar residential housing. Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 206 Vernon Place is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 206 Vernon Place is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 206 Vernon Place is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey: _____
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

Date: February 24,
2023

BASE FORM

Historic Sites #:

Property Name: 223 6th Street South

Street Address: Street #: 223 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 6th Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 704

Local Place Name(s): N/A **Lot(s):** 10

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: The building at 223 6th Street South is a one-story bungalow with a gable-on-hipped roof, asphalt shingle roofing, vinyl siding, and a small, covered porch/entranceway.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

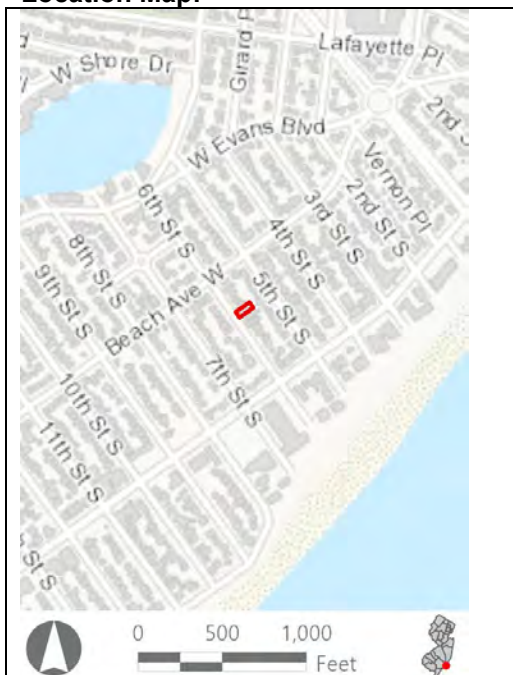


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	223 6 TH Street South		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1955	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Bungalow	Stories:	1
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 223 6th Street South is a one-story bungalow with a gable-on-hipped roof. The building has two bays on the facade with the left bay recessed to form a porch with paired square columns. This bay is occupied by paired 6/6 sash and then an entry located on the side of the right bay. The right bay has the gabled projection above and is occupied by a shallow square oriole window supported by brackets and occupied by a picture window. Overall, the wall cladding is vinyl siding.

Interior Description: N/A

Setting: The building at 223 6th Street South is in a residential area about one block away from the beach and surrounded by similar residential housing. Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 223 6th Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 223 6th Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 223 6th Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 230 5th Street South

Street Address: Street #: 230 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 5th Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 704

Local Place Name(s): N/A **Lot(s):** 22

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: The building at 230 5th Street South is a one-story Cape Cod with asphalt shingle roofing, vinyl siding, and a small, covered front porch/entranceway.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

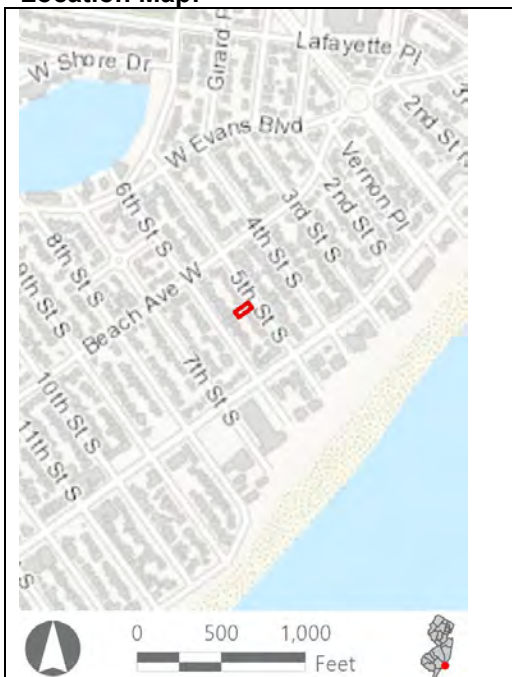


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>230 5TH Street South</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1951</u>	Source:	<u>www.njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Cape Cod</u>	Stories:	<u>1</u>
Type:	<u>N/A</u>	Bays:	<u>2</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Vinyl Siding</u>		

Exterior Description: The building at 230 5th Street South is a one-story Cape Cod. The facade is three bays with a center entry flanked to the left by a set of three 6/1 sash and to the right by a single 6/1 sash. There is a two-bay shed roof porch on the facade with a concrete deck, turned supports, and a turned balustrade. The building is two bays deep with 1/1 replacement sash. Overall, the building is clad in vinyl siding.

Interior Description: N/A

Setting: The building at 230 5th Street South is in a residential area approximately one and a half blocks away from the beach and is surrounded by similar residential housing. Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 230 5th Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 230 5th Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 230 5th Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Property Name: 209 2ND Street South

Street Address: Street #: 209 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 2nd Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 601

Local Place Name(s): N/A **Lot(s):** 7

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: The building at 209 2ND Street South is a two-story house with asphalt shingle roofing, vinyl shingle siding, and a porch that extends across the entire front of the building.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

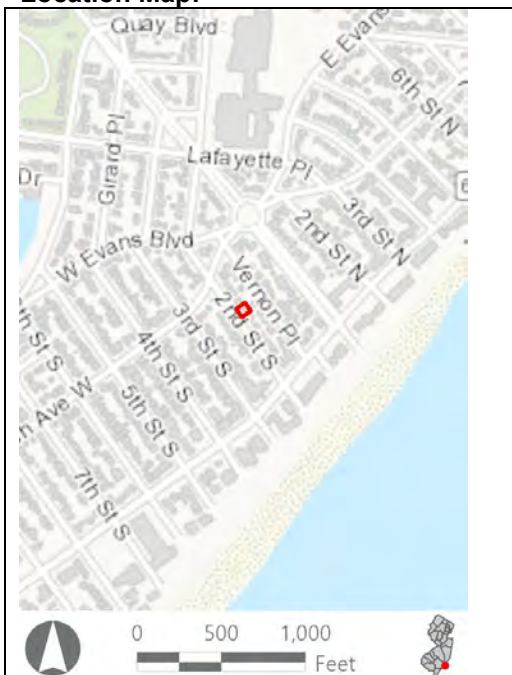


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>209 2ND Street South</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1950</u>	Source:	<u>www.njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Other</u>	Stories:	<u>2</u>
Type:	<u>N/A</u>	Bays:	<u>3</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Vinyl Siding</u>		

Exterior Description: The altered circa 1950 two-story dwelling measures four bays wide and three bays deep and rests on a concrete block foundation. The exterior consists of replacement vinyl siding and the low-pitched side gable roof is covered in asphalt shingle. The fenestration consists of replacement, vinyl sash 1/1 windows with a single tripartite picture window on the southwest (front) elevation. A full-width, one-story replacement shed roof porch is attached to the southwest (front) elevation.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 209 2nd Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 209 2nd Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 209 2nd Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Property Name: 215 Vernon Place

Street Address: Street #: 215 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Vernon Suffix: N/A Type: PL

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 505

Local Place Name(s): N/A **Lot(s):** 17

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: The building at 215 Vernon Place is a two-story house with a two-tiered shed roof, shingle roofing, vinyl siding, solar panels on the roof, and a second-floor overhang that covers a front porch with square columns.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

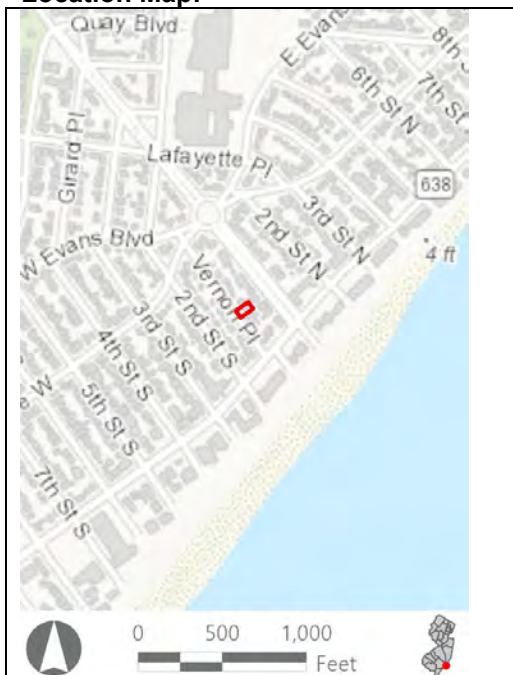


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	215 Vernon Place		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1950	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Irregular	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingles		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The resource at 215 Vernon Place is a heavily altered circa 1950 two-and-a-half story dwelling measuring two bays wide and two bays deep. The house rests on a concrete block foundation and is covered in replacement vinyl siding with synthetic painted wood shingles on the southwest (front) elevation. Fenestration consists of replacement vinyl sash 1/1 windows, some in pairs. The resource has a shed roof profile and a full-width second-story addition set atop an integral porch supported by square posts with a simple balustrade is attached to the southwest elevation. A second-story wood deck is attached to the northeast (rear) elevation.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 215 Vernon Place is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 215 Vernon Place is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 215 Vernon Place is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 210 Vernon Place

Street Address: Street #: 210 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Vernon Suffix: N/A Type: PL

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 601

Local Place Name(s): N/A **Lot(s):** 17

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: The building at 210 Vernon Place is a two-story house with asphalt shingle roofing, vinyl siding, and a small, uncovered front porch.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

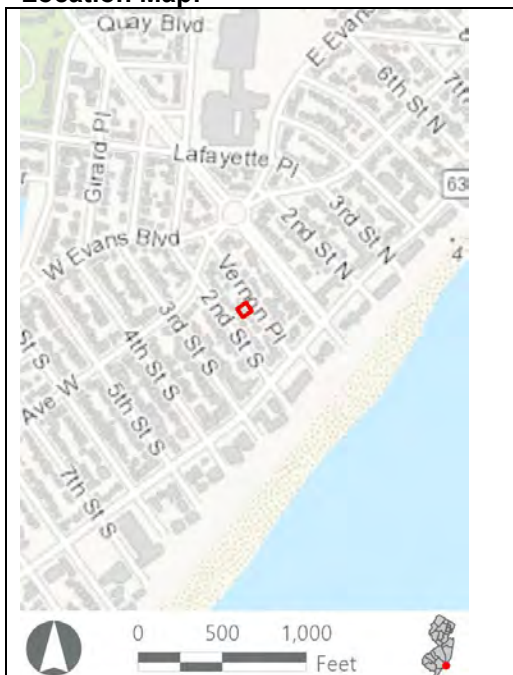


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	210 Vernon Place		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1953	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Colonial Revival		
Form:	Other	Stories:	2
Type:	N/A	Bays:	4
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The resource at 210 Vernon Place is an altered circa 1953 two-story Colonial Revival dwelling measuring four bays wide and two bays deep. The house rests on a concrete block foundation and is covered in replacement vinyl siding. The low-pitched side gable roof is covered in asphalt shingle and the fenestration consists of replacement vinyl sash 1/1 windows. The northwest (front) elevation includes a slight second-story overhang common in this era of Colonial Revival homes. Additionally, the northwest elevation includes a central vinyl sash fanlight window and centrally placed flush vinyl pediment. A one-story addition is attached to the northwest (side) elevation.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 210 Vernon Place is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 210 Vernon Place is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 210 Vernon Place is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 202 2ND Street South

Street Address: Street #: 202 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 2nd Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 602

Local Place Name(s): N/A **Lot(s):** 16

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: The building at 202 2ND Street South is a two-story house with asphalt shingle roofing, vinyl siding, outdoor stairs accessing the second floor, a wooden front porch with railings, and a covered second-floor balcony with square columns.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

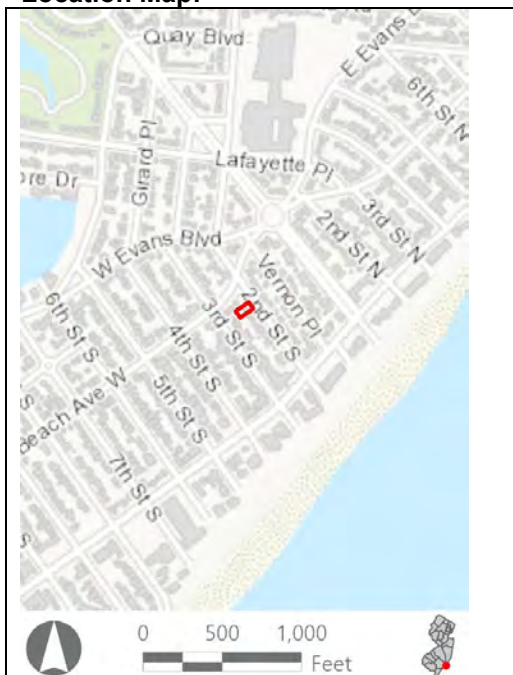


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>202 2ND Street South</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1955</u>	Source:	<u>www.njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Other</u>	Stories:	<u>2</u>
Type:	<u>N/A</u>	Bays:	<u>4</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Vinyl Siding</u>		

Exterior Description: The resource at 202 2ND Street South is an altered circa 1955 two-story dwelling measuring four bays wide and three bays deep. The house rests on a concrete block foundation and is covered in replacement vinyl siding. The low-pitched side gable roof is covered in asphalt shingle and fenestration consists of replacement vinyl sash 1/1 windows and tripartite windows. A two-story shed roof porch is attached to the northeast (front) elevation and is supported by square posts with a simple balustrade on both stories. A flight of wood steps on the northwest (side) elevation provides access to the second story and includes a small patio with a balustrade.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 202 Second Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 202 Second Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 202 Second Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 352 8th Street South

Street Address: Street #: 352 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 8th Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 103

Local Place Name(s): N/A **Lot(s):** 20

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: The building at 352 8th Street South is a front gable Ranch with stone detailing.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

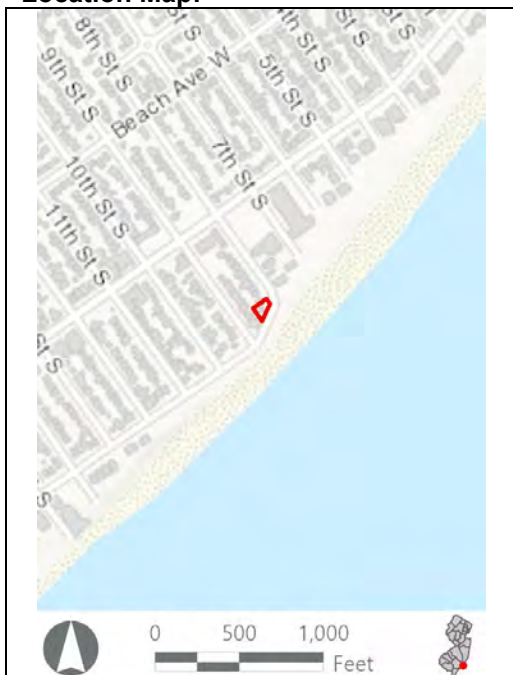


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	352 8 th Street South		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1974	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Other		
Form:	Ranch	Stories:	1
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Stone		

Exterior Description: The resource at 352 8th Street South is a circa 1974 one-story front gable Ranch dwelling measuring three bays wide and three bays deep. The house rests on a concrete block foundation and is covered in vertical board. The fenestration consists of aluminum sash fixed and sliding windows. The northeast (front) elevation features a deep overhanging eave supported by square posts. The central entry is flanked by stone pilasters. Stone pilasters also decorate the southeast (side) and northwest (side) elevations. A raised porch with a simple balustrade is located on the northeast and southeast elevations.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 352 8th South Street is associated with late-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 352 8th South Street is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 352 8th South Street is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 234 5th Street South

Street Address: Street #: 234 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 5th Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 704

Local Place Name(s): N/A **Lot(s):** 23

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: The building at 234 5th Street South is a one-story altered ranch with brick and vinyl siding, and a front gable addition on the front elevation.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

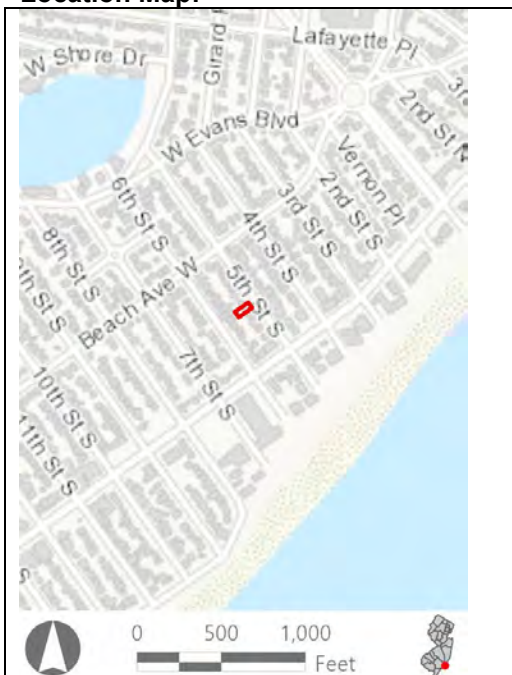


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>234 5th Street South</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1950</u>	Source:	<u>www.njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Ranch</u>	Stories:	<u>1</u>
Type:	<u>N/A</u>	Bays:	<u>2</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Vinyl Siding</u>		

Exterior Description: The resource at 234 5th Street South is a heavily altered, one-story minimal ranch dwelling measuring two bays wide and three bays deep. The house rests on a concrete block foundation and is covered in replacement vinyl siding. The side gable roof is covered in asphalt shingle and the fenestration consists of replacement aluminum sash 1/1 windows and a slightly projecting bay window on the northeast (front) elevation. A partially enclosed one-story addition with a front gable roof is attached to the northeast elevation. The enclosed section of the addition is covered with applied stretcher bond brick. The open section functions as a porch and is supported by a square post that is also covered in stretcher bond brick.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 234 5th Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 234 5th Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 234 5th Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 218 6th Street South

Street Address: Street #: 218 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 6th Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 706

Local Place Name(s): N/A **Lot(s):** 18

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: One-story Minimal Traditional with asphalt shingle roofing, vinyl siding, and a partially covered front porch/patio.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24, 2023

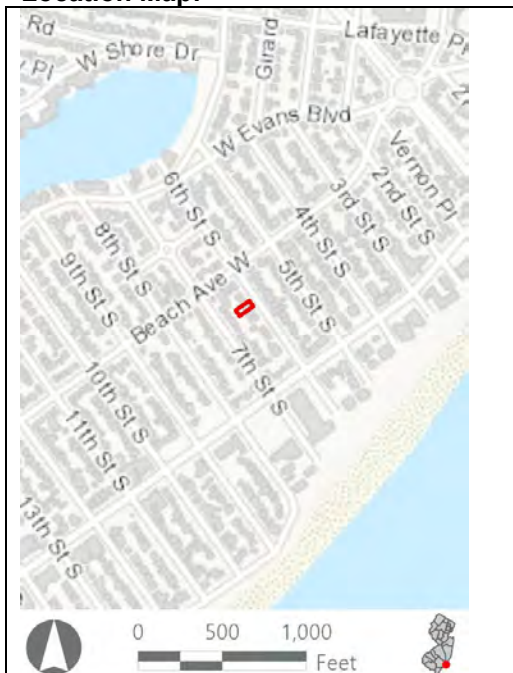
Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>218 6th Street South</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1960</u>	Source:	<u>www.njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>Minimal Traditional</u>		
Form:	<u>Ranch</u>	Stories:	<u>1</u>
Type:	<u>N/A</u>	Bays:	<u>3</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Vinyl Siding</u>		

Exterior Description: The resource is an altered ca. 1960 one-story Minimal Traditional dwelling measuring three bays wide and two bays deep. The house rests on a concrete block foundation and is covered in replacement vinyl siding with a small section of applied stretcher bond brick on the northeast (front) elevation. Fenestration consists of replacement vinyl sash windows with simulated 4/4 and 6/6 panes. A projecting gable is located on the northeast elevation and the porch consists of an overhanging gable roof and a simple metal balustrade.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 218 6th Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 218 6th Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 218 6th Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 231 6th Street South

Street Address: Street #: 231 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 6th Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 704

Local Place Name(s): N/A **Lot(s):** 8

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: One-story Front Gable with asphalt shingle roofing, vinyl siding, and an enclosed entry porch.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

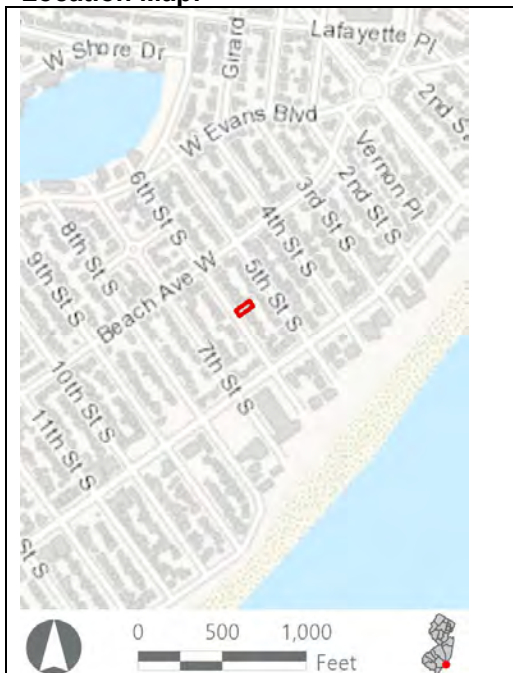


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>231 6th Street South</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1952</u>	Source:	<u>www.njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Front Gable</u>	Stories:	<u>1</u>
Type:	<u>N/A</u>	Bays:	<u>3</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Aluminum Siding</u>		

Exterior Description: The resource is an altered ca. 1952 one-story Front Gable dwelling measuring three bays wide and three bays deep. The house rests on a concrete block foundation and is covered in aluminum siding. The roof is covered in asphalt shingle and is pierced by an exterior chimney on the southwest (side) elevation. Fenestration consists of replacement aluminum sash 1/1 windows. A partial-width screened porch capped by a front gable roof covered in vinyl siding is attached to the southwest (front) elevation.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 231 6th Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 231 6th Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 231 6th Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 211 2nd Street South

Street Address: Street #: 211 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 2nd Suffix: S Type: ST

County(s): Atlantic Zip Code: 08203

Municipality(s): Brigantine City Block(s): 601

Local Place Name(s): N/A Lot(s): 6

Ownership: Private USGS Quad(s): Brigantine Inlet

Description: Two-story side-gable house with asphalt shingle roofing, vinyl siding, a wrap-around porch, and an uncovered wooden balcony on the second floor.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

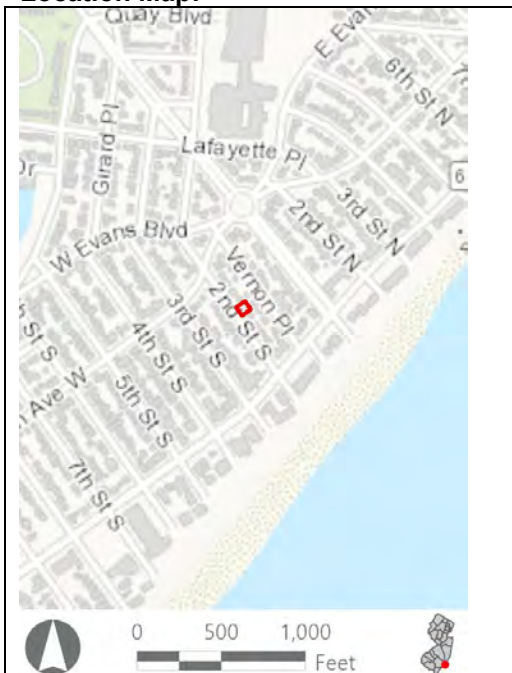


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 211 2nd Street South

Historic Name: N/A

Present Use: Residential Activity, Permanent

Historic Use: Residential Activity, Permanent

Construction Date: 1956 **Source:** www.njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A

Physical Condition: Fair

Builder: N/A

Remaining Historic Fabric: Low

Style: None

Form: Other

Stories: 2

Type: N/A

Bays: 3

Roof Finish Materials: Asphalt Shingle

Exterior Finish Materials Vinyl Siding

Exterior Description: The resource is an altered ca. 1956 two-story dwelling measuring three bays wide and two bays deep. The house rests on a concrete block foundation and is covered in replacement vinyl siding. The low-pitched side gable roof is covered in asphalt shingle and fenestration consists of replacement vinyl sash 1/1 windows. A two-story porch is attached to the southwest (front) and southeast (side) elevations and is supported by a simple square posts and a simple balustrade.

Interior Description: N/A

Setting: Residential area approximately one block away from beach/ocean access, surrounded by similar residential housing.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 211 2nd Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 211 2nd Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 211 2nd Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 206 W Beach Ave

Street Address: Street #: 206 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: W Street Name: Beach Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 602

Local Place Name(s): N/A **Lot(s):** 12

Ownership: Private **USGS Quad(s):** Brigantine Inlet

Description: Two-story house with asphalt shingle roofing, vinyl siding, an uncovered second-floor balcony, and outdoor stairs accessing the second floor.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

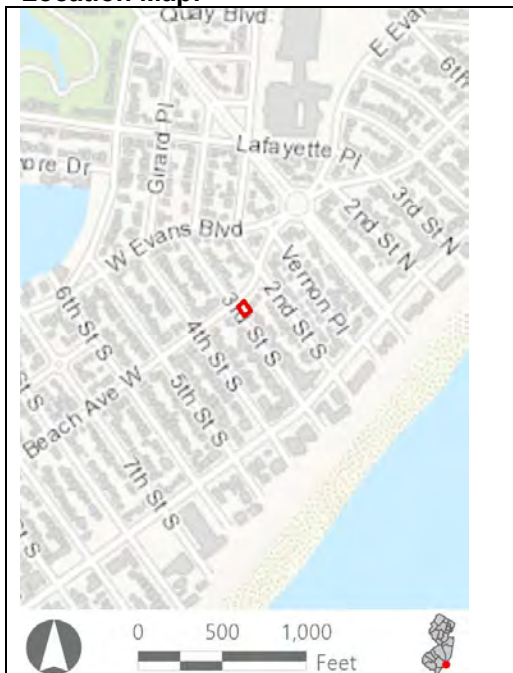


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	206 W Beach Ave		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1953	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The resource is a heavily altered ca. 1953 two-story dwelling measuring three bays wide and three bays deep. The low-pitched side gable roof is covered in asphalt shingle and exterior material consists of replacement vinyl siding. The house rests on a concrete block foundation and fenestration consists of replacement 1/1 aluminum sash windows. An enclosed, partial-width one-story addition is attached to the northwest (front) elevation and covers the original entrance. The roof of the addition features a balcony with a simple balustrade which is accessible from an exterior stairway. An exterior door is located on the northwest elevation accessing the balcony. Another entrance has been added to the southwest (side) elevation and is covered by a full width, slightly overhanging hipped roof. The southwest elevation also includes a patio with a simple vinyl balustrade.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 206 W Beach Ave is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 206 W Beach Ave is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 206 W Beach Ave is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 204 2ND Street South

Street Address: Street #: 204 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 2nd Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 602

Local Place Name(s): N/A **Lot(s):** 17

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: Two-story cape cod with the gable end facing the street. Has asphalt shingle roofing, vinyl siding, a covered front porch with square columns, and an uncovered second-floor balcony.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

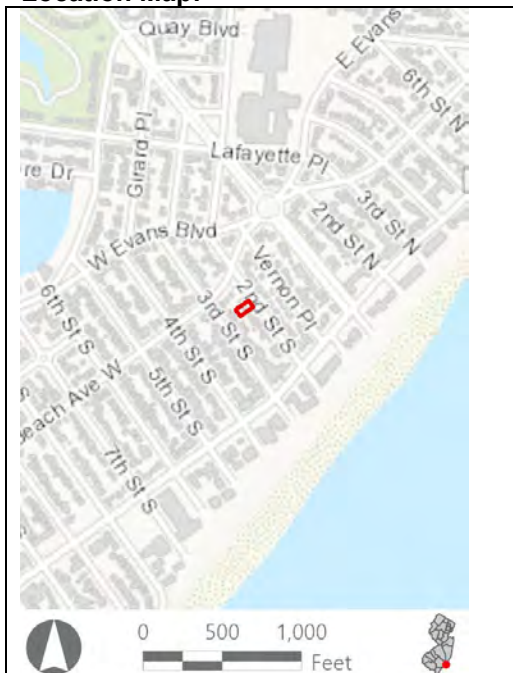


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	204 2 ND Street South		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1950	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Cape Cod	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The resource is a heavily altered ca. 1950 Cape Cod dwelling measuring three bays wide and four bays deep with a gable-end entry. The house rests on a concrete block foundation and is covered in replacement vinyl siding. The front-gable roof is covered in asphalt shingle and includes two gable-roof dormer windows on the southeast (side) elevation and a visor dormer window on the northwest (side) elevation. Fenestration consists of replacement vinyl sash windows with simulated 4/4 panes. A partial width shed roof addition is attached to the southeast elevation while a porch with a second story balcony is attached to the northeast (front) elevation. The porch material consists of vinyl and the upper balcony is supported by square posts and each story includes a simple balustrade.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 204 2nd Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 204 2nd Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 204 2nd Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 250 6TH Street South

Street Address: Street #: 250 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 6th Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 706

Local Place Name(s): N/A **Lot(s):** 25

Ownership: Private **USGS Quad(s):** Brigantine Inlet

Description: One-story ranch with asphalt shingle roofing, vinyl siding, and an uncovered concrete porch that extends along the front of the house.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

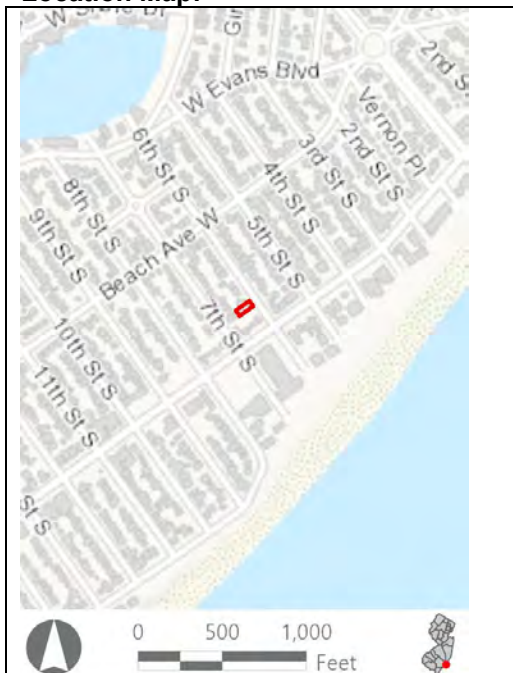


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 250 6TH Street South
Historic Name: N/A
Present Use: Residential Activity, Permanent
Historic Use: Residential Activity, Permanent
Construction Date: 1951 **Source:** www.njtaxrecords.net
Alteration Date(s): N/A **Source:** N/A
Designer: N/A **Physical Condition:** Fair
Builder: N/A **Remaining Historic Fabric:** Low
Style: None
Form: Ranch **Stories:** 1
Type: N/A **Bays:** 2
Roof Finish Materials: Asphalt Shingle
Exterior Finish Materials Vinyl Siding

Exterior Description: The resource is an altered one-story minimal Ranch dwelling measuring two bays wide and two bays deep. The house rests on a concrete block foundation and is covered in replacement vinyl siding. The side gable roof is covered in asphalt shingle and overhangs slightly on the northeast (front) elevation and fenestration consist of replacement vinyl sash 1/1 windows. The porch on the northeast elevation consists of a simple concrete slab and a full width shed roof addition is attached to the southwest (rear) elevation.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 250 6th Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 250 6th Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 250 6th Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 236 7th Street South

Street Address: Street #: 236 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 7th Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 802

Local Place Name(s): N/A **Lot(s):** 20

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: One-story altered cape cod with asphalt shingle roofing, vinyl shingle siding, and a projecting gabled bay over a covered front porch.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

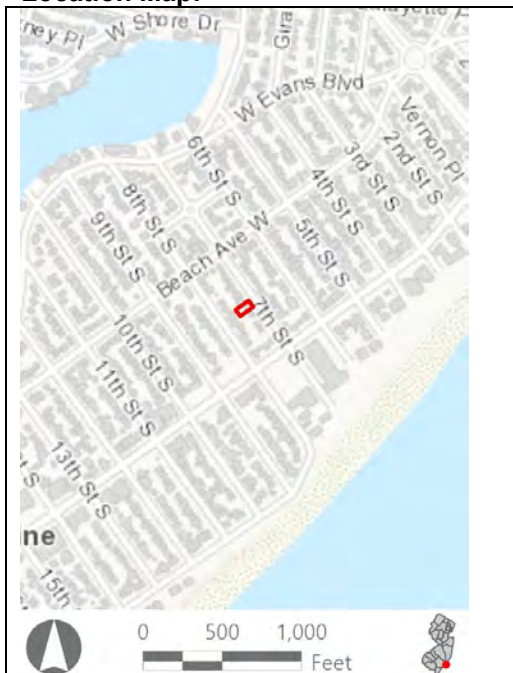


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	236 7 th Street South		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1953	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Cape Cod	Stories:	1
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingles		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The resource is an altered one-and-a-half story Minimal Traditional dwelling measuring three bays wide and three bays deep. The house rests on a concrete block foundation and is covered in replacement vinyl cedar shake shingles. The roof is covered in asphalt shingle and the roof profile has been altered to account for a rear addition resulting in a modified side gable roof that includes a flat roof with a slope on the northeast (front) elevation. Fenestration consists of replacement vinyl sash 1/1 windows as well as a tripartite picture window on the northeast elevation and a projecting bay windows on the southeast (side) elevation. The replacement porch comprises a partial width projecting gable supported by three square posts resting on a concrete pad. A one-bay garage is located to the southwest (rear) of the house.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 236 7th Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 236 7th Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 236 7th Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 240 7TH Street South

Street Address: Street #: 240 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 7th Suffix: S Type: ST

County(s): Atlantic Zip Code: 08203

Municipality(s): Brigantine City Block(s): 802

Local Place Name(s): N/A Lot(s): 21

Ownership: Private USGS Quad(s): Brigantine Inlet

Description: One-story altered Cape Cod with asphalt shingle roofing and a concrete chimney. The siding was removed, and a gable front bay was under construction at the time of the survey.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

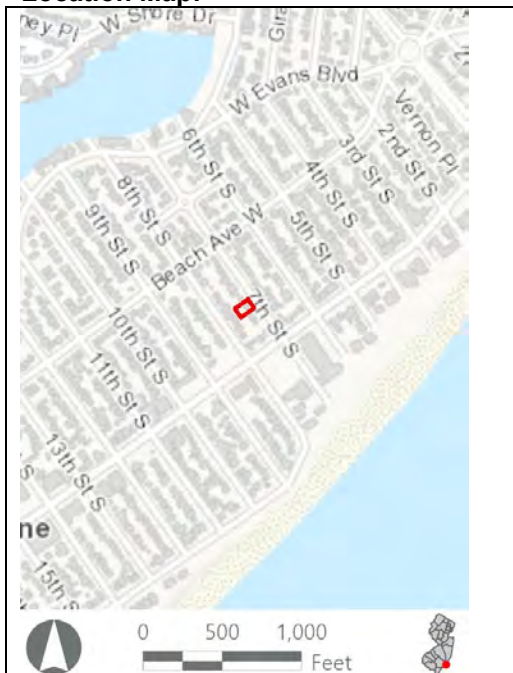


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	240 7 TH Street South		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1960	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Poor
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Cape Cod	Stories:	1
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Unknown		

Exterior Description: The resource is a heavily altered ca. 1960 one-and-a-half story Cape Cod dwelling measuring three bays wide and two bays deep. The house rests on a concrete block foundation and is covered in replacement vinyl siding. The steeply pitched side gable roof is covered in asphalt shingle and is pierced by a large stucco-covered exterior chimney on the southeast (side) elevation. Fenestration consists of replacement vinyl sash 1/1 windows and a visor dormer window is located on the southwest (rear) elevation. A partial width one-story addition is attached to the northwest (side) elevation. At the time of survey, the house was undergoing renovations including the addition of two stepped projecting gables on the northeast (front) elevation and the removal of some siding materials.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 240 7th Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 240 7th Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 240 7th Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 250 7TH Street South

Street Address: Street #: 250 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 7th Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 802

Local Place Name(s): N/A **Lot(s):** 23

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: Altered one-and-a-half story Gable Front dwelling covered in aluminum siding.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

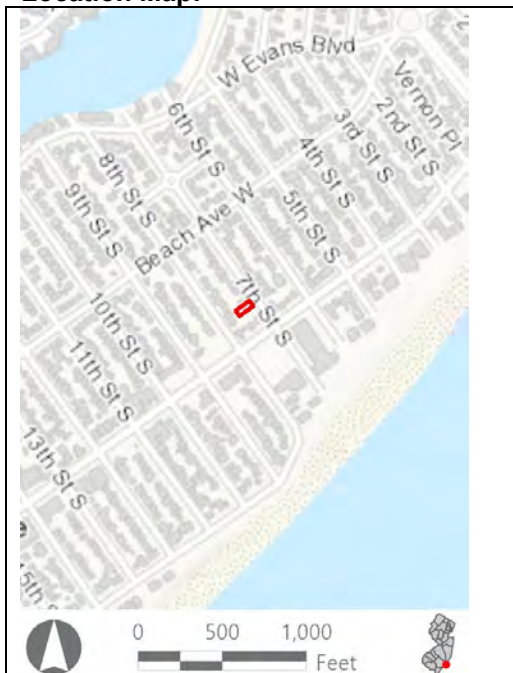
Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: <u>250 7TH Street South</u>	
Historic Name: <u>N/A</u>	
Present Use: <u>Residential Activity, Permanent</u>	
Historic Use: <u>Residential Activity, Permanent</u>	
Construction Date: <u>1949</u>	Source: <u>www.njtaxrecords.net</u>
Alteration Date(s): <u>N/A</u>	Source: <u>N/A</u>
Designer: <u>N/A</u>	Physical Condition: <u>Fair</u>
Builder: <u>N/A</u>	Remaining Historic Fabric: <u>Low</u>
Style: <u>None</u>	
Form: <u>Gable Front</u>	Stories: <u>1.5</u>
Type: <u>N/A</u>	Bays: <u>3</u>
Roof Finish Materials: <u>Asphalt Shingle</u>	
Exterior Finish Materials <u>Aluminum Siding</u>	

Exterior Description: The resource is an altered one-and-a-half story Gable Front dwelling measuring three bays wide and two bays deep. The house rests on a rock-faced concrete block foundation and is covered in aluminum siding. Fenestration consists of aluminum sash 1/1 windows and the front gable roof is covered in asphalt shingle and pierced by an exterior brick chimney on the southeast (side) elevation. The gable ends include fixed wood vents. The northeast (front) elevation includes a one-bay gable roof porch supported by brackets.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name: <u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date: <u>February 24, 2023</u>
Surveyor: <u>Grant Johnson and Laura Mancuso</u>	
Organization: <u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>	

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 250 7th Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 250 7th Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 250 7th Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 242 8TH Street South

Street Address: Street #: 242 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 8th Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 804

Local Place Name(s): N/A **Lot(s):** 19

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: One-and-a-half story cape cod with asphalt shingle roofing, vinyl siding, shed roof dormer, and a shed roof front porch.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

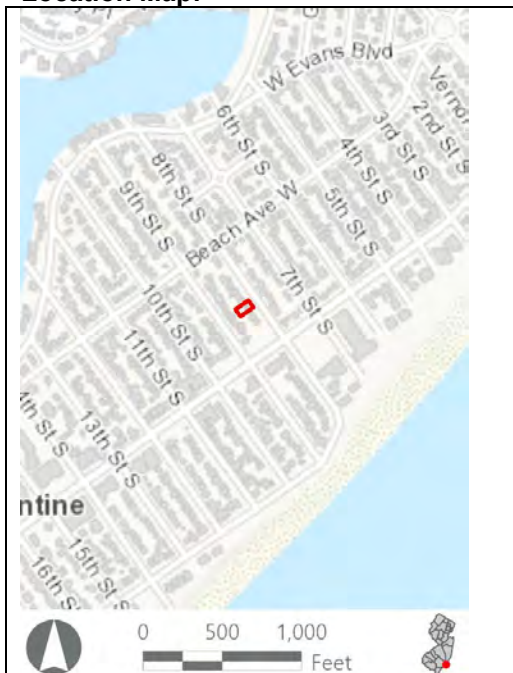


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>242 8TH Street South</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1948</u>	Source:	<u>www.njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Cape Cod</u>	Stories:	<u>1.5</u>
Type:	<u>N/A</u>	Bays:	<u>3</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Vinyl Siding</u>		

Exterior Description: The resource is an altered ca. 1948 one-and-a-half story Cape Cod dwelling measuring three bays wide and three bays deep. The house rests on a concrete block foundation and is covered in replacement vinyl siding. The side gable roof is covered in asphalt shingle and includes a visor dormer on the northeast (front) elevation. A shed roof dormer is located on the southwest (rear) elevation. The northeast elevation also includes a shed roof porch supported by square posts with a simple vinyl balustrade. The southeast (side) elevation includes a shed roof stoop.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 242 8TH Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 242 8TH Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 242 8TH Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 206 Roosevelt Boulevard South

Street Address: Street #: 206 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Roosevelt Suffix: S Type: BLVD

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 505

Local Place Name(s): N/A **Lot(s):** 2

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: Two-story cape cod with asphalt shingle roofing, vinyl siding, and a partially covered front porch that wraps around to a side entrance.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

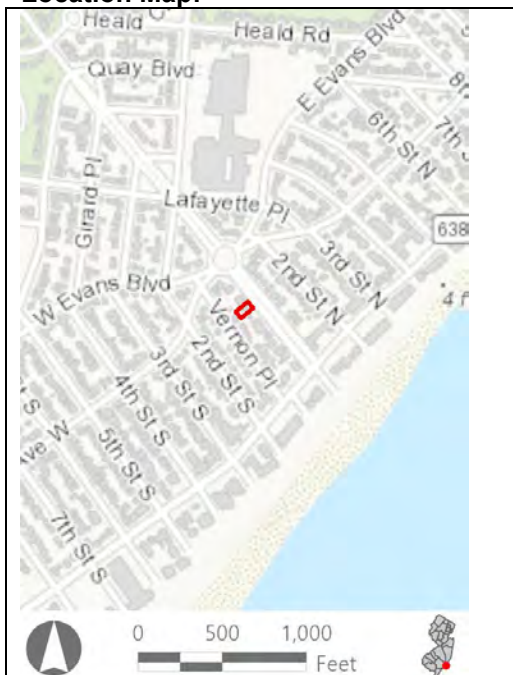
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	206 Roosevelt Boulevard South		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1950	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Cape Cod	Stories:	1.5
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The resource is an altered ca. 1950 one-and-a-half story Cape Cod dwelling measuring three bays wide and four bays deep. The house rests on a concrete block foundation and is covered in replacement vinyl siding. The side gable roof is covered in asphalt shingle and a visor dormer is located on the northeast (front) elevation. The northeast elevation also includes a small, shed roof entry porch and a poured concrete patio. Fenestration consists of replacement vinyl sash 1/1 windows. A one-story secondary structure is located to the southwest (rear) of the house.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 206 Roosevelt Boulevard South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 206 Roosevelt Boulevard South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 206 Roosevelt Boulevard South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 246 9th Street South

Street Address: Street #: 246 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 9th Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 806

Local Place Name(s): N/A **Lot(s):** 20

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: Two-story residential house with two-tiered shed roof, vinyl shingle siding, a covered front porch, and an uncovered second-floor balcony that extend along the front of the building.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

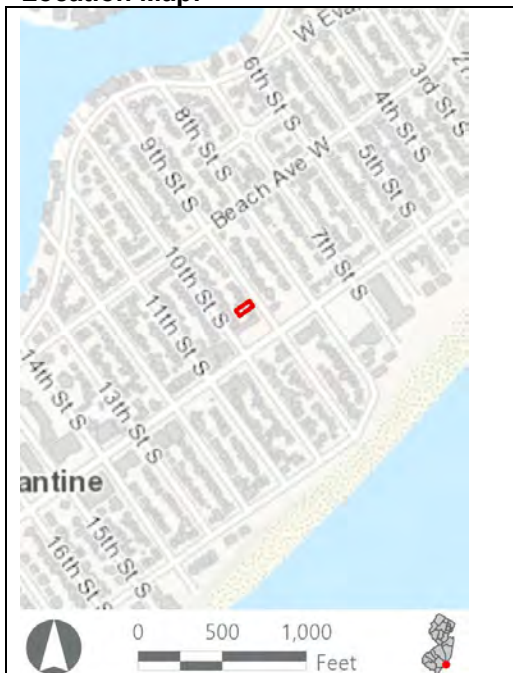
Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	246 9 th Street South		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1950	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Shed		
Form:	Irregular	Stories:	2
Type:	N/A	Bays:	2
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The resource is an altered two-story ca. 1950 Shed style dwelling measuring two bays wide and three bays deep. The house rests on a concrete block foundation and is covered in replacement vinyl siding. The roof consist of two, tiered shed roofs and fenestration consists of replacement vinyl sash 1/1 windows and fixed windows. The northeast (front) elevation includes a two-story porch with an upper balcony supported by square vinyl posts. Each story of the porch has a simple vinyl balustrade and the ground level has a sliding glass door entrance in addition to the front entrance.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 246 9th Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 246 9th Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 246 9th Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Property Name: 1219 E Brigantine Avenue

Street Address: Street #: 1219 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: Brigantine Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 102

Local Place Name(s): N/A **Lot(s):** 11

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: One-story commercial building with diagonal wood flush-board siding, asphalt shingle roofing, and a patio with pavers.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

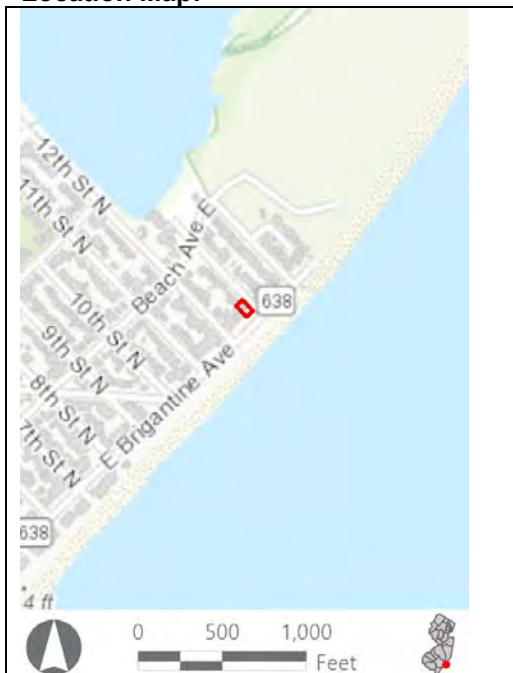
Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	1219 E Brigantine Avenue		
Historic Name:	N/A		
Present Use:	Commercial Activity, Eating, Drinking		
Historic Use:	Commercial Activity, Eating, Drinking		
Construction Date:	1945	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Commercial	Stories:	1
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Wood, Flush		

Exterior Description: The resource is an altered one-story commercial building measuring two bays wide and two bays deep. The building is capped by an overhanging faux-Mansard roof covered in asphalt shingle and is covered in wood siding arranged diagonally. The foundation material is covered by applied stone at the water table. Fenestration consists of aluminum sash 1/1 windows.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 1219 E Brigantine Avenue is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1219 E Brigantine Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 1219 E Brigantine Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 254 5th Street South

Street Address: Street #: 254 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 5th Suffix: S Type: ST

County(s): Atlantic Zip Code: 08203

Municipality(s): Brigantine City Block(s): 704

Local Place Name(s): N/A Lot(s): 27

Ownership: Private USGS Quad(s): Brigantine Inlet

Description: Two-story altered gable-on-hipped house with oversized shed roof dormers, asphalt shingle roofing, vinyl siding, and a partially covered front porch that extends along the front of the house.

Registration and Status Dates:

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

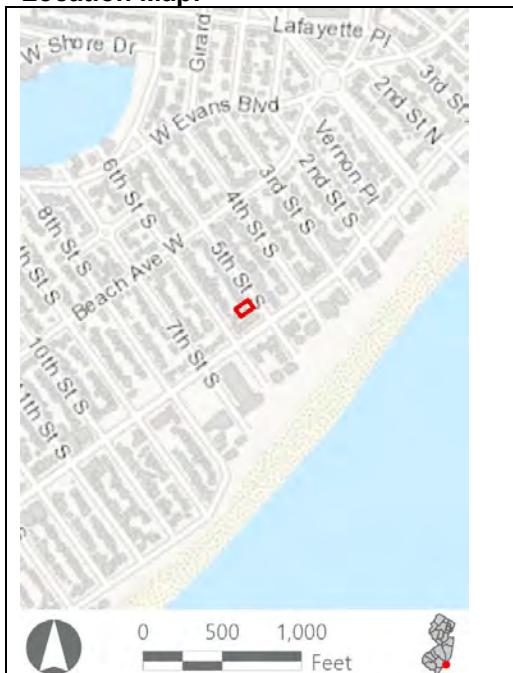
Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	254 5 th Street South		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1948	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Gable Front	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The resource is an altered two-story ca. 1940 Gable Front dwelling measuring three bays wide and three bays deep. The house rests on a concrete block foundation and is covered in replacement vinyl siding. The front gable roof is covered in asphalt shingle and includes full length shed roof dormer windows on the northwest and southeast (side) elevations and an overhanging hipped roof on the northeast (front) elevation. Fenestration consists of replacement vinyl sash 1/1 windows. A poured concrete porch with a simple metal balustrade is located on the northeast elevation.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 254 5th Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 254 5th Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 254 5th Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 234 6th Street South

Street Address: Street #: 234 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 6th Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 706

Local Place Name(s): N/A **Lot(s):** 22

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: Two-story altered house with projecting two-story shed roof addition on the façade, vinyl siding, a covered wooden front porch, and an uncovered second-floor balcony.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

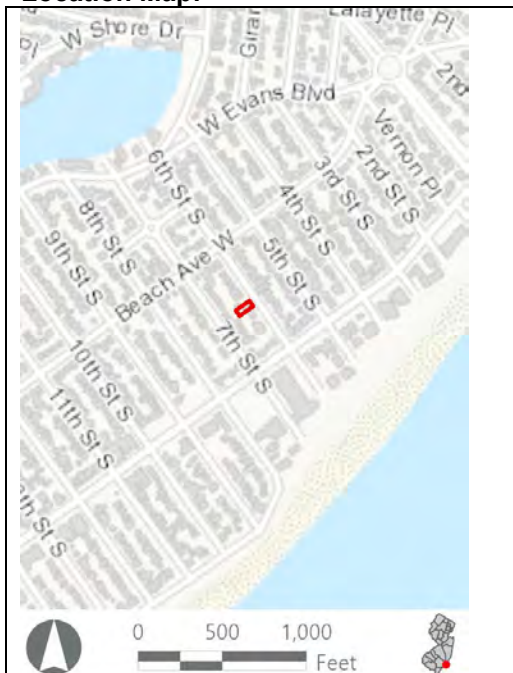


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	234 6 th Street South		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1955	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Irregular	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The resource is a heavily altered two-story ca. 1955 dwelling measuring three bays wide and two bays deep and resting on a concrete block foundation. The house is covered in replacement vinyl siding and fenestration consists of replacement vinyl sash 1/1 windows, some in pairs. A two-story, partial width Shed style addition is attached to the northeast (front) elevation. The northeast elevation also includes a two-story porch with a balcony on the second level and a covered porch supported by a square wood post on the ground level. Both the balcony and porch are decorated with a simple balustrade. A one-story addition is attached to the southwest (rear) elevation.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 234 6th Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 234 6th Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 234 6th Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 247 6th Street South

Street Address: Street #: 247 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 6th Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 704

Local Place Name(s): N/A **Lot(s):** 4

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: One-story minimal Ranch with asphalt shingle roofing, aluminum siding, and an enclosed shed roof entry porch.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

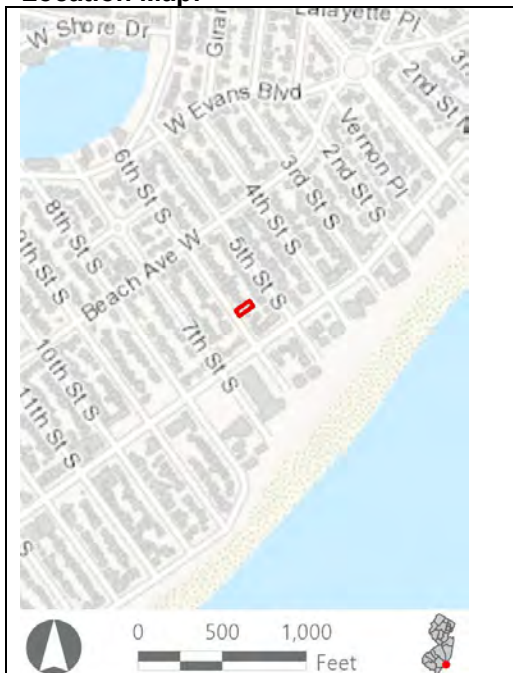
Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>247 6th Street South</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1950</u>	Source:	<u>www.njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Fair</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Ranch</u>	Stories:	<u>1</u>
Type:	<u>N/A</u>	Bays:	<u>2</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Aluminum Siding</u>		

Exterior Description: The resource is an altered one-story minimal Ranch dwelling measuring two bays wide and three bays deep. The house rests on a concrete block foundation and is covered in aluminum siding. The side gable roof is covered in asphalt shingle and fenestration consists of aluminum sash 1/1 window. A one-story shed roof addition is attached to the northeast (rear) elevation while a partial width one-story shed roof sun porch addition is attached to the southwest (front) elevation.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 247 6th Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 247 6th Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 247 6th Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 238 6TH Street South

Street Address: Street #: 238 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 6th Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 706

Local Place Name(s): N/A **Lot(s):** 23

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: Two-story broken gable roof house with a projecting second story over a porch. House has vinyl siding and a small, recessed balcony on the second story.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

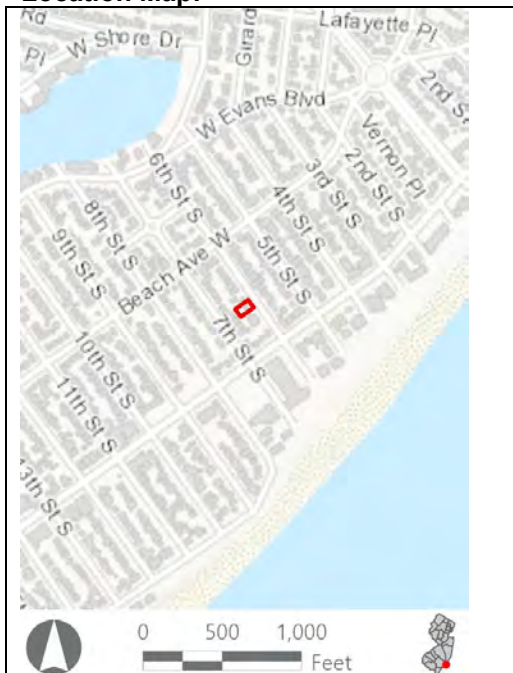


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	238 6 TH Street South		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1950	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Irregular	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials:	Vinyl Siding		

Exterior Description: The resource is a heavily altered, two-story ca. 1950 dwelling measuring three bays wide and two bays deep. Due to extensive alterations, the style or type of the house is not discernable. The house rests on a concrete block foundation and is covered in replacement vinyl siding. The broken gable roof is covered in asphalt shingle and is pierced by an exterior chimney covered in vinyl siding. Fenestration consists of replacement, vinyl sash 1/1 windows and tripartite picture windows on the northeast (front) elevation. A partially enclosed second story addition with two projecting shed roofs is attached to the northwest elevation. A partial width, offset porch with a simple wood balustrade is also located on the ground level of the northwest elevation. A one bay detached garage is located to the southwest (rear) of the house.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 238 6TH Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 238 6TH Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 238 6TH Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 200 2nd Street South

Street Address: Street #: 200 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 2nd Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 602

Local Place Name(s): N/A **Lot(s):** 15

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: One-and-a half-story circa 1955 residence with asphalt shingle roofing, wood clapboard siding and replacement windows. Attached garage with a rooftop patio area with wooden railings on hyphen.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

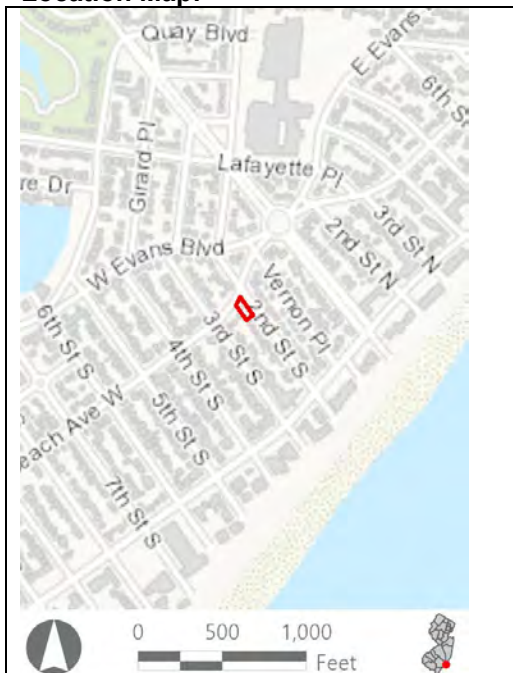


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>200 2nd Street South</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1955</u>	Source:	<u>www.njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Cape Cod</u>	Stories:	<u>1.5</u>
Type:	<u>N/A</u>	Bays:	<u>3</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Vinyl siding</u>		

Exterior Description: The resource is an altered one-and-a-half story ca. 1955 Cape Cod dwelling measuring three bays wide and two bays deep. The house rests on a concrete block foundation and is covered in replacement vinyl siding. The steeply pitched side gable roof is covered in asphalt shingle and fenestration consists of replacement vinyl sash 1/1 windows. A three bay shed roof dormer window is located on the southwest (rear) elevation and a one-story addition with an upper deck is located on the southeast (side) elevation. The addition is attached to a one-bay garage with a front gable roof.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 200 2nd Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 200 2nd Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 200 2nd Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 211 Vernon Place

Street Address: Street #: 211 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Vernon Suffix: N/A Type: PL

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 505

Local Place Name(s): N/A **Lot(s):** 15

Ownership: Private **USGS Quad(s):** Brigantine Inlet

Description: Two-and-a-half-story circa 1950 residence with asphalt shingle roofing, wood shingle and paneled siding, replacement windows and an uncovered front porch that extends along the front of the building.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24, 2023

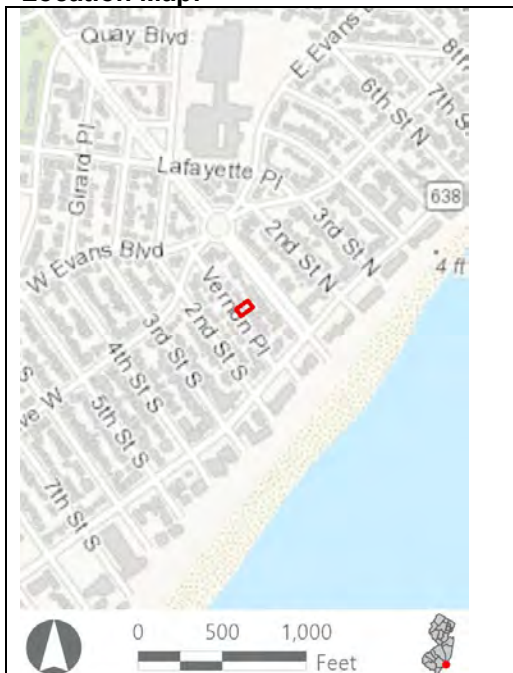
Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>211 Vernon Place</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1950</u>	Source:	<u>www.njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Gable Front</u>	Stories:	<u>2.5</u>
Type:	<u>N/A</u>	Bays:	<u>3</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Vinyl siding</u>		

Exterior Description: The resource is an altered, two-and-a-half-story ca. 1950 Gable Front dwelling measuring three bays wide and two bays deep. The house rests on a concrete block foundation and is covered in replacement vinyl siding. The front gable roof is covered in asphalt shingle and fenestration consists of replacement vinyl sash 1/1 windows with a tripartite picture window on the southwest (front) elevation. The southwest elevation also includes a slight overhang between the first and second floor while an enclosed second floor addition supported by simple columns is located on the northeast (rear) elevation.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 211 Vernon Place is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 211 Vernon Place is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 211 Vernon Place is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 207 2ND Street South

Street Address: Street #: 207 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 2nd Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 601

Local Place Name(s): N/A **Lot(s):** 8

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: Two-story circa 1950 residence with asphalt shingle roofing, vinyl siding, vinyl windows, a small covered front porch, and an uncovered second floor balcony on the southeastern elevation with outdoor stair access.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

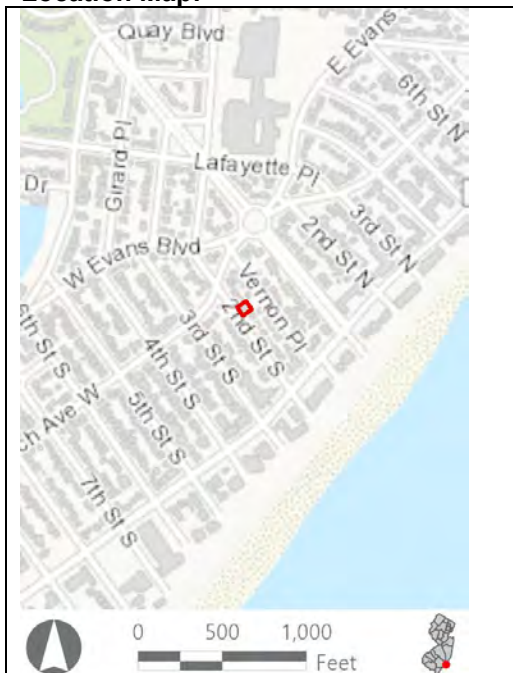


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	207 2 ND Street South		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1950	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	4
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The resource is an altered, two-story ca. 1950 dwelling with a rectangular footprint measuring four bays wide and two bays deep. The house rests on a concrete block foundation and is covered in replacement vinyl siding. Fenestration consists of replacement vinyl sash 1/1 windows and the low-pitched side gable roof is covered in asphalt shingle. A partial width shed roof porch supported by simple square posts is located on the southwest (front) elevation while a second floor patio accessed by exterior stairs is located on the southeast (side) elevation.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 207 2ND Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 207 2ND Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 207 2ND Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 208 Vernon Place

Street Address: Street #: 208 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Vernon Suffix: N/A Type: PL

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 601

Local Place Name(s): N/A **Lot(s):** 16

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: Two-story circa 1950 residence with asphalt shingle roofing, vinyl siding, vinyl windows, and an uncovered wooden semi-wrap-around porch with stairs leading up to a second-floor entryway.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

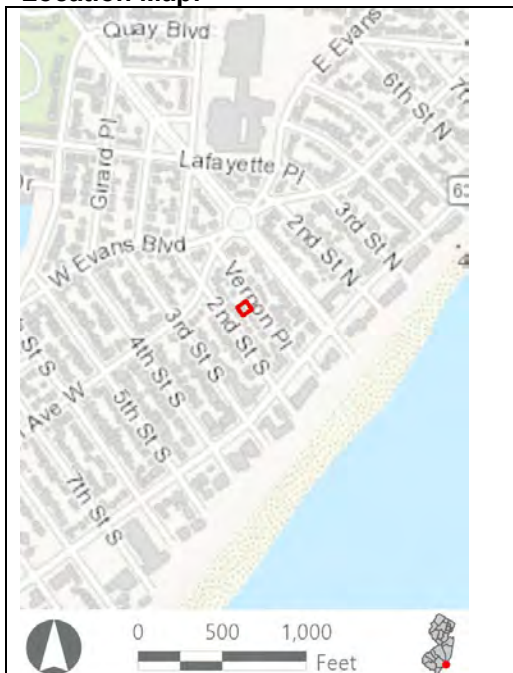


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	208 Vernon Place		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1950	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Cape Cod	Stories:	2
Type:	N/A	Bays:	4
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl		

Exterior Description: The resource is an altered one-and-a-half story ca. 1950 dwelling measuring four bays wide and three bays deep. The house rests on a concrete block foundation and is covered in replacement vinyl siding. The side gable roof is covered in asphalt shingle and includes a visor dormer on the northeast (front) elevation. Fenestration consists of replacement vinyl sash 1/1 windows and a tripartite picture window on the northeast elevation. An enclosed one-story addition is attached to the northwest (side) elevation and a small second story wood deck accessed by an exterior staircase is located on the southeast (side) elevation.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 208 Vernon Place is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 208 Vernon Place is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 208 Vernon Place is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 213 Vernon Place

Street Address: Street #: 213 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Vernon Suffix: N/A Type: PL

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 505

Local Place Name(s): N/A **Lot(s):** 16

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: Two-story circa 1955 Cape Cod-style residence with asphalt shingle roofing, shingle siding, and an uncovered front porch with stairs leading up to a second-floor side entrance.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24, 2023

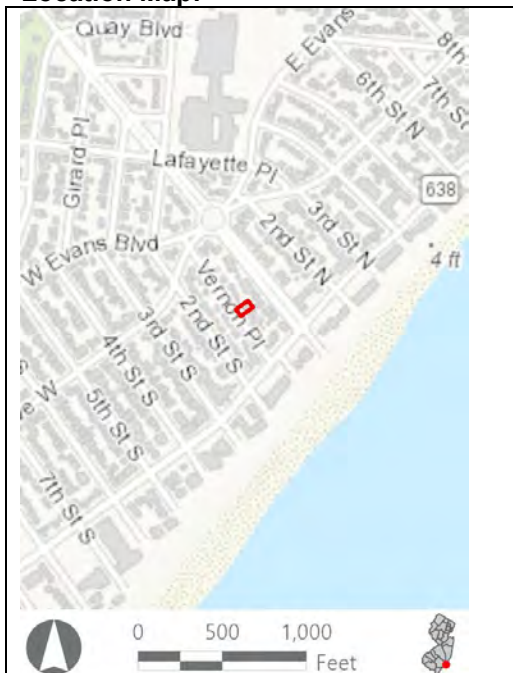
Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	213 Vernon Place		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1955	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Cape Cod	Stories:	1.5
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl		

Exterior Description: The resource is an altered one-and-a-half story ca. 1955 dwelling measuring three bays wide and two bays deep. The house is covered in replacement vinyl cedar shake style siding and rests on a concrete block foundation. The side gable roof is covered in asphalt shingle and includes a visor dormer on the southwest (front) elevation. Fenestration consists of replacement vinyl sash 1/1 windows with a tripartite picture window on the southwest elevation. The southwest elevation also includes a partial-width porch with a simple vinyl balustrade. The porch provides access to an exterior staircase which provides entry to the upper floor via an exterior door. A partial width shed roof addition is attached to the northeast (rear) elevation.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 213 Vernon Place is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 213 Vernon Place is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 213 Vernon Place is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 201 3rd Street South

Street Address: Street #: 201 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 3rd Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 602

Local Place Name(s): N/A **Lot(s):** 11

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: One-story residential house with asphalt shingle roofing, vinyl siding, and a front porch that extends along the front of the building.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

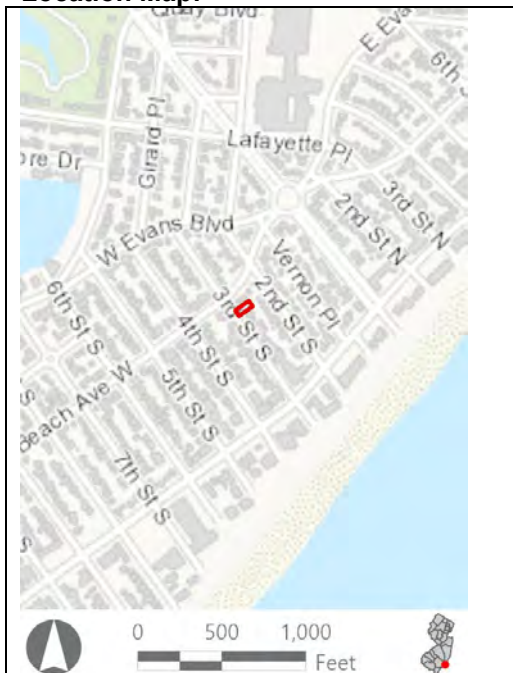


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>201 3rd Street South</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential activity, permanent</u>		
Historic Use:	<u>Residential activity, permanent</u>		
Construction Date:	<u>1956</u>	Source:	<u>www.njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Ranch</u>	Stories:	<u>1</u>
Type:	<u>N/A</u>	Bays:	<u>3</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Vinyl Siding</u>		

Exterior Description: The resource is an altered, one-story ca. 1956 minimal Ranch dwelling measuring three bays wide and two bays deep. The house rests on a concrete block foundation and is covered in replacement vinyl siding with vinyl shake shingles on the southwest (front) elevation. The side gable roof is covered in asphalt shingle and includes an offset flush gable covered in scalloped vinyl shingles on the southwest elevation. A full width porch resting on a concrete block foundation with a simple metal balustrade is attached to the southwest elevation. Fenestration consists of replacement vinyl sash 1/1 windows with a tripartite picture window on the southwest elevation. A full width shed roof addition is attached to the northeast (rear) elevation.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 201 3rd Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 201 3rd Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 201 3rd Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 219 Vernon Place

Street Address: Street #: 219 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Vernon Suffix: N/A Type: PL

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 505

Local Place Name(s): N/A **Lot(s):** 19

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: Two-story circa 1955 residence with asphalt shingle roofing, vinyl siding, vinyl windows, an uncovered front porch, and outdoor stairs leading up to a second-floor side entrance.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

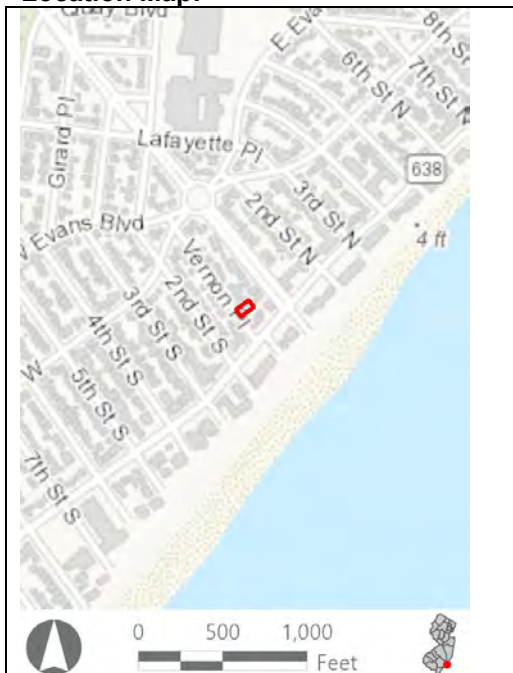
Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	219 Vernon Place		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1955	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Colonial Revival		
Form:	Other	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl; Aluminum		

Exterior Description: The resource is an altered, two-story ca. 1955 Colonial Revival dwelling measuring three bays wide and three bays deep. The house rests on a concrete block foundation and is covered in replacement vinyl and aluminum siding. The low-pitched side gable roof is covered in asphalt shingle and pierced by a centrally placed interior chimney. The southwest (front) elevation includes a full width pent roof covered in asphalt shingle. Fenestration consists of replacement aluminum sash 1/1 windows. The southwest (side) elevation features a second floor deck with a simple balustrade that gives access to an alternate entry. A simple concrete block pad is located on the southwest elevation.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 219 Vernon Place is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 219 Vernon Place is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 219 Vernon Place is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 213 2nd Street South

Street Address: Street #: 213 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 2nd Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 601

Local Place Name(s): N/A **Lot(s):** 5

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: Two-story circa 1942 Cape Cod-style residence with asphalt shingle roofing, wood siding, vinyl windows, and a small, covered front entry porch.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

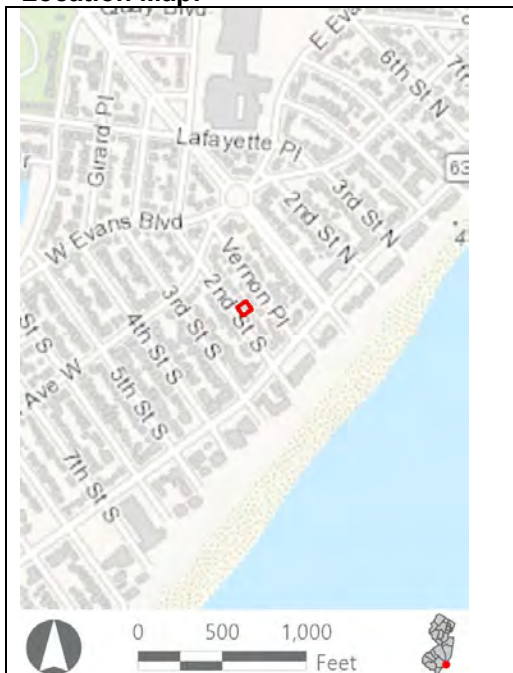


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	213 2 nd Street South		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1942	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Cape Cod	Stories:	1.5
Type:	N/A	Bays:	4
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Aluminum		

Exterior Description: The resource is an altered one-and-a-half story Cape Cod dwelling measuring four bays wide and two bays deep. The steeply pitched side gable roof is covered in asphalt shingle and the house is covered in aluminum siding. The house rests on a concrete block foundation and fenestration consists of replacement 1/1 windows with simulated panes on the southwest (front) elevation. A tripartite picture window is also located on the southwest elevation. A partial width side gable addition is attached to the northwest (side) elevation while a partial width one-story shed roof addition is attached to the northeast (rear) elevation. A non-historic prefabricated gambrel roof shed is located to the northeast of the dwelling.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 213 2nd Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 213 2nd Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 213 2nd Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 206 2nd Street South

Street Address: Street #: 206 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 2nd Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 602

Local Place Name(s): N/A **Lot(s):** 18

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: Two-story, four-bay side-gabled residence circa 1953 with asphalt shingle roofing, vinyl siding and windows, brick siding along base of building, and a small covered front porch.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

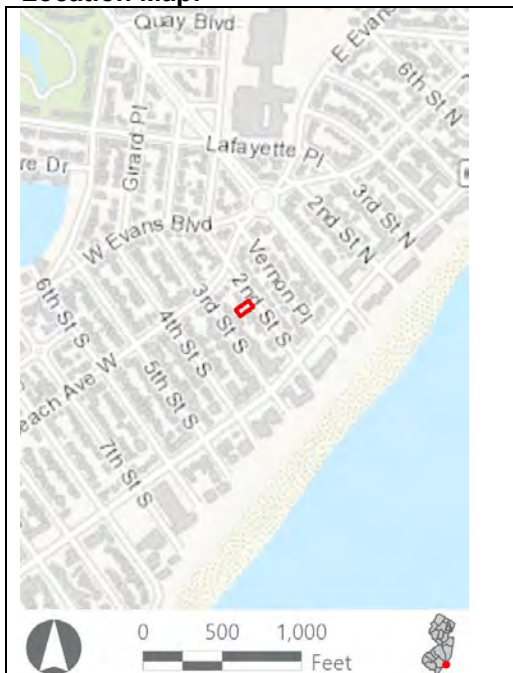


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	206 2 nd Street South		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1953	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Colonial Revival		
Form:	Other	Stories:	2
Type:	N/A	Bays:	4
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding and Brick		

Exterior Description: The resource is an altered, two-story ca. 1953 Colonial Revival dwelling measuring four bays wide and two bays deep. The house rests on a concrete block foundation and is covered in replacement vinyl siding. The side gable roof is covered in asphalt shingle and fenestration consists of replacement vinyl sash windows with simulated 6/1 panes. A tripartite vinyl sash picture window is located on the northeast (front) elevation. The northeast elevation is partially covered by applied stretcher bond brick capped by a line of brick footers to the window line. The elevation also includes a pent roof covered in asphalt shingle and a partial width shed roof porch covered in asphalt shingle supported by turned wood posts. A hipped roof stoop covered in asphalt shingle is located on the northwest (side) elevation while a second-story porch with covered by a shed roof and decorated with a simple wood balustrade is located on the southeast (side) elevation.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 206 2nd Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 206 2nd Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 206 2nd Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 214 Vernon Place

Street Address: Street #: 214 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Vernon Suffix: N/A Type: PL

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 601

Local Place Name(s): N/A **Lot(s):** 19

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: Two story residence circa 1953 with flat-roofed two-bay second story dormer, asphalt shingle roofing, wood clapboard siding, vinyl windows, and an uncovered front porch.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

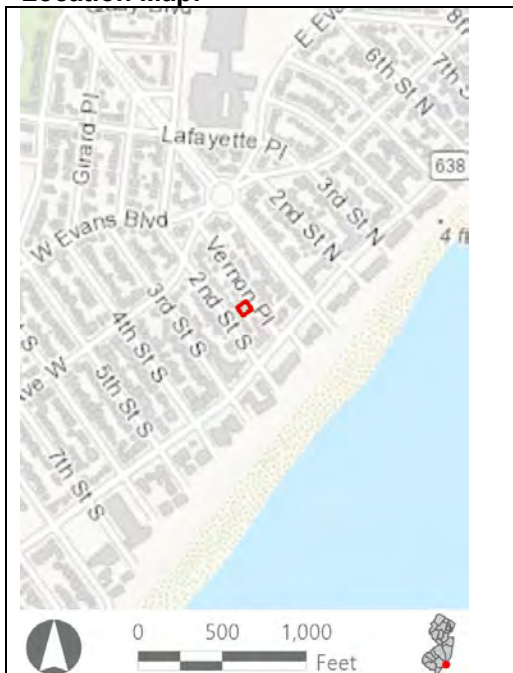
Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>214 Vernon Place</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1953</u>	Source:	<u>www.njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>Minimal Traditional</u>		
Form:	<u>Other</u>	Stories:	<u>1.5</u>
Type:	<u>N/A</u>	Bays:	<u>4</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Aluminum</u>		

Exterior Description: The resource is an altered one-and-a-half-story Minimal Traditional dwelling measuring four bays wide and two bays deep. The house is covered in replacement aluminum siding and rests on a concrete block foundation. The side gable roof is covered in asphalt shingle and includes a visor dormer on the northeast (front) elevation and a smaller visor dormer on the southwest (rear) elevation. Fenestration consists of replacement vinyl sash 1/1 windows and a tripartite picture window with simulated panes on the northeast elevation. A partial width one-story shed roof addition is attached to the northwest (side) elevation. A patio resting on a concrete block foundation with a simple balustrade decorated with turned wood posts is attached to the northeast elevation while a partial width deck supported by heavy round wood posts and decorated with a vinyl balustrade is attached to the southwest elevation.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 214 Vernon Place is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 214 Vernon Place is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 214 Vernon Place is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 200 3rd Street South

Street Address: Street #: 100 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 3rd Suffix: S Type: ST

County(s): Atlantic Zip Code: 08203

Municipality(s): Brigantine City Block(s): 603

Local Place Name(s): N/A Lot(s): 13

Ownership: Private USGS Quad(s): Brigantine Inlet

Description: Two-story circa 1930 attached residential unit with vinyl siding and vinyl windows.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

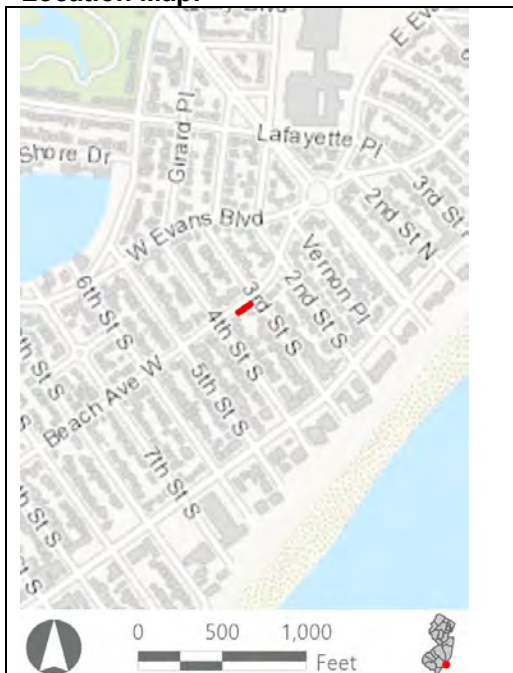


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	200 3 rd Street South		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1930	Source:	Stylistic Evidence
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Row	Stories:	2
Type:	N/A	Bays:	2
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The resource is a heavily altered, two-story ca. 1930 residential unit measuring two bays wide and three bays deep. The house rests on a concrete block foundation and is covered in replacement vinyl shake shingle and vinyl siding. The material covering the shed roof was not visible during field survey. Fenestration consists of replacement vinyl sash 1/1 windows with two vinyl sash tripartite windows with simulated panes on the northeast (front) elevation. An enclosed one-story shed roof porch is attached to the northeast elevation. The residence is one of nine rowhouse type units.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 200 3rd Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 200 3rd Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 200 3rd Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 210 2nd Street North

Street Address: Street #: 210 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 2nd Suffix: N Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 503

Local Place Name(s): N/A **Lot(s):** 20

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: One-story circa 1955 residence with asphalt shingle roofing, wood shingle siding, vinyl replacement windows, and a small, partially covered front porch.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

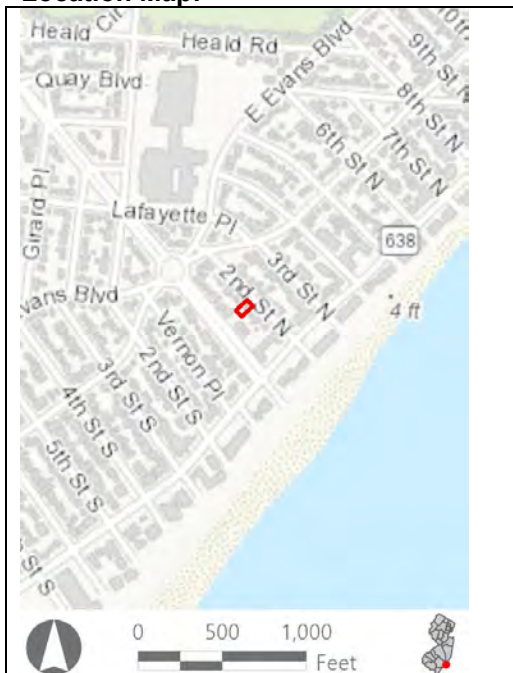


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	210 2 nd Street North		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1955	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Ranch	Stories:	1
Type:	N/A	Bays:	4
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Aluminum; Wood		

Exterior Description: The resource is an altered one-story ca. 1955 minimal Ranch dwelling measuring four bays wide and one bay deep. The house rests on a concrete block foundation and is covered in aluminum siding with painted vertical board accenting the northeast (front) elevation. The side gable roof is covered in asphalt shingle and fenestration consists of replacement aluminum sash 1/1 windows with a tripartite picture window on the northeast elevation. The northeast elevation also includes a slightly overhanging eave and a partial width concrete block stoop with a simple vinyl balustrade.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 210 2nd Street North is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 210 2nd Street North is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 210 2nd Street North is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 108 W Beach Avenue

Street Address: Street #: 108 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: W Street Name: Beach Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 601

Local Place Name(s): N/A **Lot(s):** 11

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: One-story circa 1953 residence with asphalt shingle roofing, wood shingle siding, and a small, uncovered front porch.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

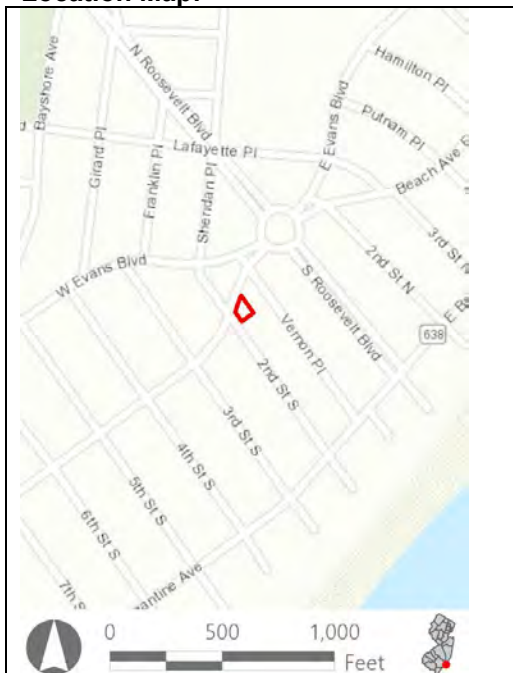


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 108 W Beach Avenue

Historic Name: N/A

Present Use: Residential Activity, Permanent

Historic Use: Residential Activity, Permanent

Construction Date: 1953 **Source:** www.njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Fair

Builder: N/A **Remaining Historic Fabric:** Low

Style: None

Form: Ranch **Stories:** 1

Type: N/A **Bays:** 4

Roof Finish Materials: Asphalt shingle

Exterior Finish Materials Wood, Shingle

Exterior Description: The resource is an altered one-story ca. 1953 minimal Ranch dwelling measuring four bays wide and one bay deep. The house is covered in wood and composite shingle shake shingle and rests on a concrete block foundation. The side gable roof is covered in asphalt shingle and pierced by an exterior concrete block chimney on the southeast (side) elevation. A screened breezeway on the southeast elevation connects to screened porch addition capped by a front gable roof. Fenestration consists of replacement vinyl sash 1/1 windows with a tripartite picture window on the southwest (front) elevation. A partial width porch with a wood balustrade is attached to the southwest elevation.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 108 W Beach Avenue is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 108 W Beach Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 108 W Beach Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 208 Roosevelt Boulevard South

Street Address: Street #: 208 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Roosevelt Suffix: S Type: BLVD

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 505

Local Place Name(s): N/A **Lot(s):** 3
Brigantine
Ownership: Private **USGS Quad(s)** Inlet

Description: One-story circa 1950 Minimal Traditional residence with asphalt shingle roofing, vinyl siding, and a covered front porch.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

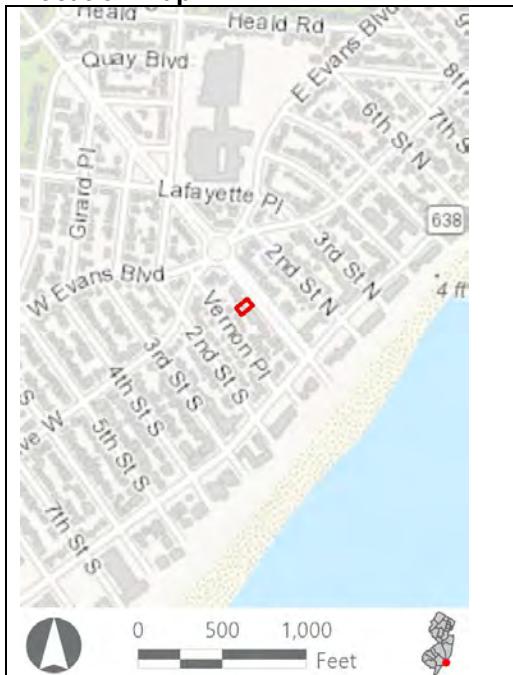


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	208 Roosevelt Boulevard South		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1950	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Minimal Traditional		
Form:	Other	Stories:	1
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The resource is an altered, one-story ca. 1950 Minimal Traditional dwelling measuring three bays wide and four bays deep. The northeast (front) elevation includes a one-bay projecting gable covered in asphalt shingle while the side gable roof is also covered in asphalt shingle. A partial width shed roof porch supported by square posts is also located on the northeast elevation. The house is covered in replacement vinyl siding and rests on a concrete block foundation. Fenestration consists of replacement vinyl sash 1/1 windows with a fixed vinyl sash window on the northeast elevation. A one-story shed roof addition is attached to the southwest (rear) elevation.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 208 Roosevelt Boulevard South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 208 Roosevelt Boulevard South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 208 Roosevelt Boulevard South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Property Name: 205 Vernon Place

Street Address: Street #: 205 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Vernon Suffix: N/A Type: PL

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 505

Local Place Name(s): N/A **Lot(s):** 12

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: One-and-a-half-story circa 1950 residence with asphalt shingle roofing, vinyl siding, and an awning-covered front porch.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

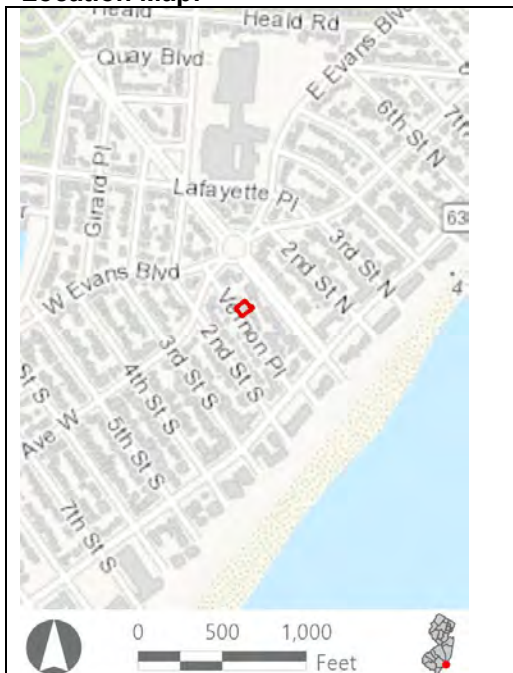


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>205 Vernon Place</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1950</u>	Source:	<u>www.njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Cape Cod</u>	Stories:	<u>1.5</u>
Type:	<u>N/A</u>	Bays:	<u>3</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Vinyl Siding</u>		

Exterior Description: The resource is an altered one-and-a-half-story Cape Cod dwelling measuring three bays wide and two bays deep. The house rests on a concrete block foundation and is covered in replacement vinyl siding. The side gable roof is covered in asphalt shingle and includes a visor dormer on the southwest (front) elevation and a smaller shed roof dormer on the northeast (rear) elevation. The remaining fenestration consists of replacement vinyl sash 1/1 windows. A simple, partial width porch with a vinyl balustrade is attached to the southwest elevation.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 205 Vernon Place is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 205 Vernon Place is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 205 Vernon Place is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 202 Vernon Place

Street Address: Street #: 202 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Vernon Suffix: N/A Type: PL

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 601

Local Place Name(s): N/A **Lot(s):** 13

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: One-and-a-half story circa 1951 Cape Cod-style residence with asphalt shingle roofing, vinyl siding, an uncovered front porch, and an uncovered second-floor rooftop porch with railing on the roof on the southeastern side of the house.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

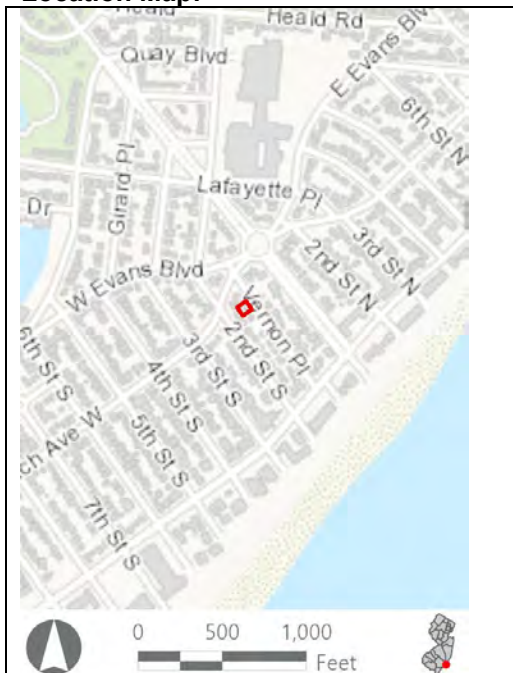


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	202 Vernon Place		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1951	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Minimal Traditional		
Form:	Cape Cod	Stories:	1.5
Type:	N/A	Bays:	4
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The resource is an altered one-and-a-half-story Minimal Traditional dwelling measuring four bays wide and two bays deep. The house rests on a concrete block foundation and is covered in replacement vinyl siding. The side gable roof is covered in asphalt shingle and fenestration consists of replacement vinyl sash 1/1 windows with a tripartite picture window on the northeast (front) elevation. A one-story shed roof addition is attached to the southwest (rear) elevation and the porch on the northeast elevation consists of a raised wood platform.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 202 Vernon Place is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 202 Vernon Place is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 202 Vernon Place is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 207 Vernon Place

Street Address: Street #: 207 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Vernon Suffix: N/A Type: PL

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 505

Local Place Name(s): N/A **Lot(s):** 13

Ownership: Private **USGS Quad(s):** Brigantine Inlet

Description: Two-story circa 1959 Cape Cod-style residence with vinyl windows, a large front dormer, and an outdoor staircase leading up to a second-floor entrance on the southeastern side of the building.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

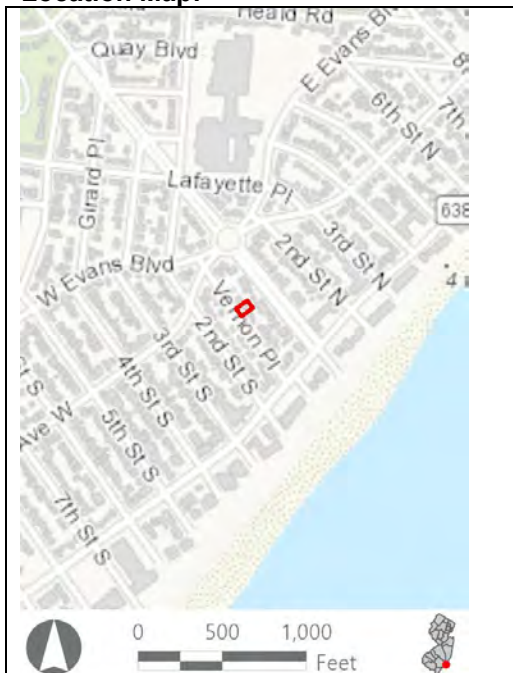


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	207 Vernon Place		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1959	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Cape Cod	Stories:	1.5
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt shingle		
Exterior Finish Materials	Vinyl; Other		

Exterior Description: The resource is a heavily altered ca. 1959 one-and-a-half-story Cape Cod dwelling measuring three bays wide and one bay deep. At the time of survey, the house was undergoing renovations resulting in the removal of some of the exterior siding material. Existing siding material consists of replacement vinyl siding. The side gable roof is covered in asphalt shingle and has been modified by the addition of a second-story enclosed addition supported by wood posts on the northeast (rear) elevation. The roof also includes a visor dormer on the southwest (front) elevation. Fenestration consists of replacement vinyl sash 1/1 windows. A window on the second floor of the southwest elevation has been converted into a sliding glass door that previously gave access to an upper balcony (removed ca. 2021). A exterior wood staircase accessing the second floor is located on the southeast (side) elevation.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 207 Vernon Place is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 207 Vernon Place is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 207 Vernon Place is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 203 2nd Street South

Street Address: Street #: 203 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 2nd Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 601

Local Place Name(s): N/A **Lot(s):** 10

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: Two-story circa 1955 residence with asphalt shingle roofing, shingle siding, outdoor stairs leading up to a second-floor entrance on the northern side of the building, and a small, recessed second-floor balcony on the southwestern corner of the house.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

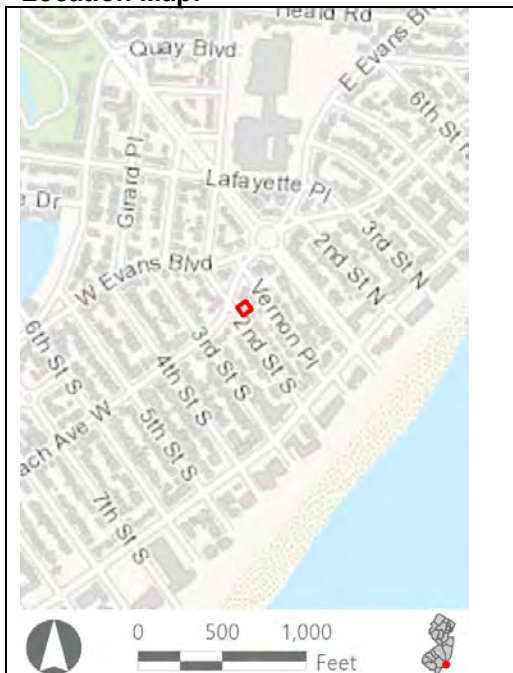


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>203 2nd Street South</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1955</u>	Source:	<u>www.njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>Colonial Revival</u>		
Form:	<u>Other</u>	Stories:	<u>2</u>
Type:	<u>N/A</u>	Bays:	<u>5</u>
Roof Finish Materials:	<u>Asphalt Roofing</u>		
Exterior Finish Materials	<u>Vinyl siding</u>		

Exterior Description: The resource is a heavily altered two-story ca. 1955 Colonial Revival dwelling measuring five bays wide and one bay deep. The house rests on a concrete block foundation and is covered in replacement vinyl siding. The side gable roof is covered in asphalt shingle and fenestration consists of replacement vinyl sash 1/1 windows. The southwest (front) elevation includes a slight overhang between the first and second stories, indicative of the mid-twentieth century Colonial Revival style. A two-story addition is attached to the southeast (side) elevation. The addition includes second floor integral porch supported by a square post.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 203 2nd Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 203 2nd Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 203 2nd Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 212 Roosevelt Boulevard South

Street Address: Street #: 212 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Roosevelt Suffix: S Type: BLVD

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 505

Local Place Name(s): N/A **Lot(s):** 5

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: One-story circa 1950 residence with asphalt shingle roofing and a covered front porch.

Registration and Status Dates:

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

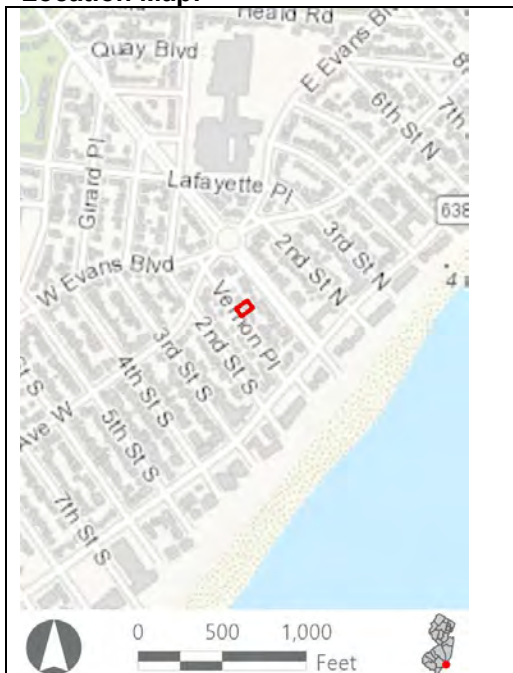
Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	212 Roosevelt Boulevard South		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1950	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Ranch	Stories:	1
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Aluminum		

Exterior Description: The resource is an altered one-story ca. 1950 minimal Ranch dwelling measuring three bays wide and one bay deep. The house is covered in aluminum siding and rests on a concrete block foundation. Fenestration consists of replacement aluminum sash 1/1 windows and the side gable roof is covered in asphalt shingle. A one-bay, partial width addition is attached to the southeast (side) elevation and a partial width shed roof porch is attached to the northeast (front) elevation. The porch rests on a concrete block foundation and is supported by square posts with a solid wood frieze with swag detail below the roof line.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 212 Roosevelt Boulevard South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, ADDRESS is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, ADDRESS is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 209 Vernon Place

Street Address: Street #: 209 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Vernon Suffix: N/A Type: PL

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 505

Local Place Name(s): N/A **Lot(s):** 14

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: Two-story circa 1950 house with asphalt shingle roofing, wood shingle siding, outdoor stairs leading up to a second-floor entrance, and an uncovered front porch.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

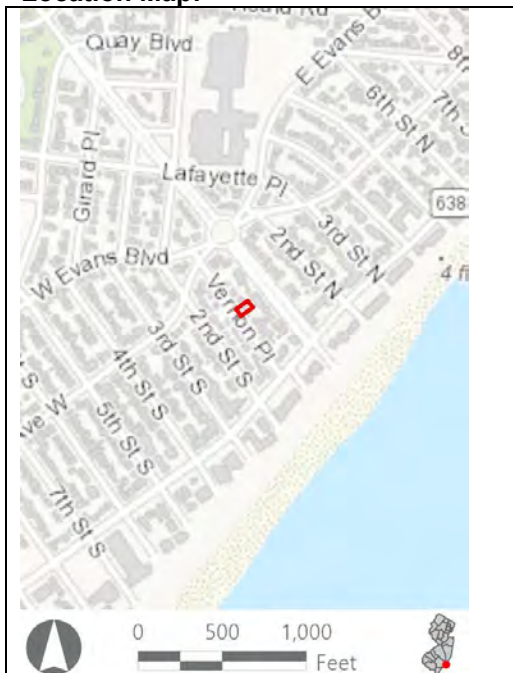


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	209 Vernon Place		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1950	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Cape Cod	Stories:	1.5
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl, Shingle		

Exterior Description: The resource is an altered one-and-a-half story ca. 1950 Cape Cod dwelling measuring three bays wide and two bays deep. The house rests on a concrete block foundation and is covered in replacement vinyl siding with vinyl shake shingle on the southwest (front) elevation. The side gable roof is covered in asphalt shingle and includes a visor dormer on the southwest elevation and a smaller shed roof dormer on the northeast (rear) elevation. Fenestration consists of replacement vinyl sash 1/1 windows with a tripartite picture window on the southwest elevation. A second floor wood deck accessed from an exterior staircase is located on the southeast (side) elevation and a porch set on a concrete block pad with a simple vinyl balustrade is attached to the southwest elevation.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 209 Vernon Place is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 209 Vernon Place is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 209 Vernon Place is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 202 3RD Street South

Street Address: Street #: 202 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 3rd Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 603

Local Place Name(s): N/A **Lot(s):** 14

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: Two-story circa 1930 attached townhouse/rowhouse-style residence with vinyl siding and asphalt shingle roofing.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

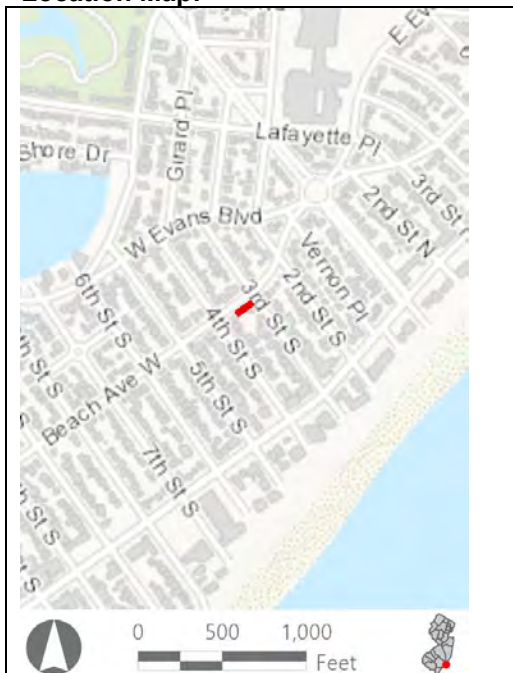


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 202 3rd Street South
Historic Name: N/A
Present Use: Residential activity, permanent
Historic Use: Residential activity, permanent
Construction Date: 1930 **Source:** www.njtaxrecords.net
Alteration Date(s): N/A **Source:** N/A
Designer: N/A **Physical Condition:** Good
Builder: N/A **Remaining Historic Fabric:** Low
Style: None
Form: Row **Stories:** 2
Type: N/A **Bays:** 2
Roof Finish Materials: Asphalt Shingle
Exterior Finish Materials Vinyl

Exterior Description: The resource is a heavily altered, two-story ca. 1930 residential unit measuring two bays wide and three bays deep. The house rests on a concrete block foundation and is covered in replacement vinyl shake shingle. The material covering the shed roof was not visible during field survey. Fenestration consists of replacement vinyl sash 1/1 windows. An enclosed one-story shed roof addition is attached to the northeast elevation and includes an offset entry. The residence is one of nine rowhouse type units.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 202 3rd Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 202 3rd Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 202 3rd Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 215 2nd Street South

Street Address: Street #: 215 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 2nd Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 601

Local Place Name(s): N/A **Lot(s):** 4

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: One-and-a-half-story circa 1950 residence with asphalt shingle roofing, a small covered front porch on the southwestern portion of the building with an ashlar stone accent wall, and the remainder of the house wrapped in vinyl siding with vinyl windows.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24, 2023

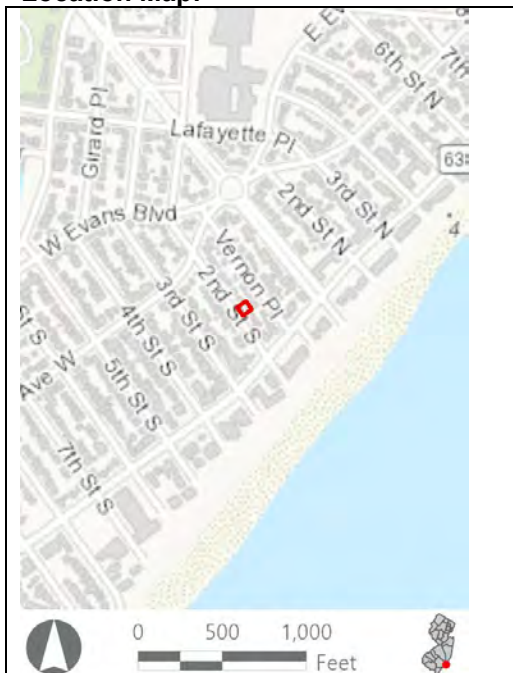
Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	215 2 nd Street South		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1952	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Minimal Traditional		
Form:	Other	Stories:	1.5
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Stone, Random Ashlar and Vinyl Siding		

Exterior Description: The resource is a heavily altered one-and-a-half-story ca. 1953 Minimal Traditional dwelling measuring three bays wide and two bays deep. The house rests on a concrete block foundation and exterior material consists of replacement vinyl siding with applied stone on the southwest (front) elevation. The southwest elevation also includes a partial width enclosed gable roof addition with an integral porch supported by square posts and resting on a concrete block foundation. Fenestration consists of replacement vinyl sash 1/1 windows and the side gable roof is covered in asphalt shingle and pierced by an offset interior brick chimney at the ridge line. A one-bay, one-story addition projects from the northwest (side) elevation. A one-bay historic-era shed roof garage is located to the northeast (rear) of the dwelling.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 215 2nd Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 215 2nd Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 215 2nd Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 204 3rd Street South

Street Address: Street #: 204 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 3rd Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 603

Local Place Name(s): N/A **Lot(s):** 15

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: Two-story circa 1930 attached townhouse/rowhouse-style residence with asphalt shingle roofing and vinyl siding.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

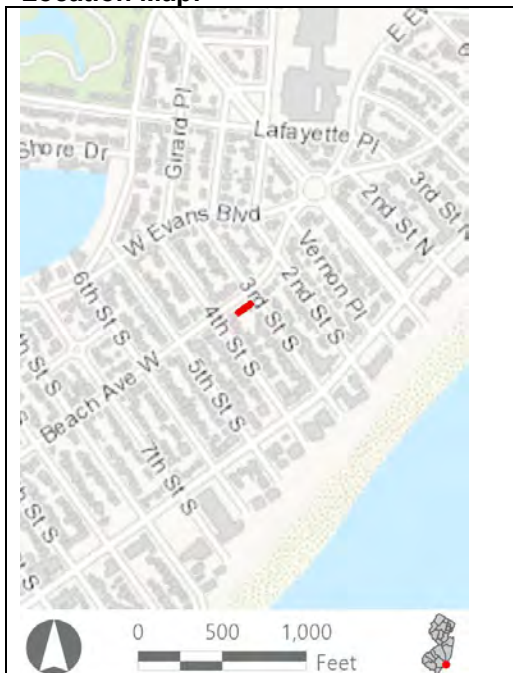


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>204 3rd Street South</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1930</u>	Source:	<u>www.njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Fair</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Row</u>	Stories:	<u>2</u>
Type:	<u>N/A</u>	Bays:	<u>2</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Wood, Clapboard</u>		

Exterior Description: The resource is a heavily altered, two-story ca. 1930 residential unit measuring two bays wide and three bays deep. The house rests on a concrete block foundation and is covered in replacement vinyl siding. The material covering the shed roof was not visible during field survey. Fenestration consists of replacement vinyl sash 1/1 windows. An enclosed one-story shed roof addition is attached to the northeast elevation and includes an offset entry. The residence is one of nine rowhouse type units.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 204 3rd Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 204 3rd Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 204 3rd Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 209 3rd Street South

Street Address: Street #: 209 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 3rd Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 602

Local Place Name(s): N/A **Lot(s):** 9

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: Two-story circa 1953 residence with asphalt shingle roofing, vinyl siding, and a covered front porch and second-floor balcony.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

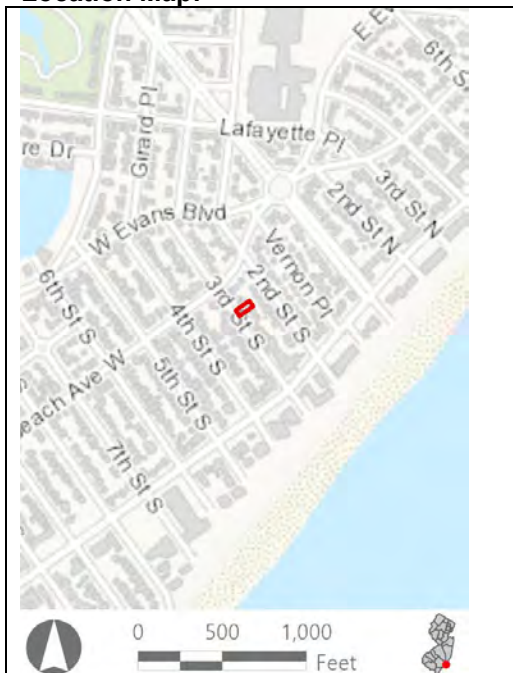


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	209 3rd Street South		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1953	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Gable Front	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The resource is a heavily altered two-story ca. 1953 Gable Front dwelling measuring three bays wide and two bays deep. The house rests on a concrete block foundation and is capped by a front gable roof covered in asphalt shingle. Fenestration consists of replacement vinyl sash fixed and sliding windows and the house is covered in replacement vinyl siding. A two-story, partial width slightly projecting addition with a front gable roof is attached to the southwest (front) elevation. The addition includes an integral second-story balcony with a simple wood balustrade that covers the offset first floor entry below. A wood staircase on the southeast (side) elevation gives access to a second story entrance and a full-width shed roof addition is attached to the northeast (rear) elevation.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 209 3rd Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 209 3rd Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 209 3rd Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 206 3rd Street South

Street Address: Street #: 206 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 3rd Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 603

Local Place Name(s): N/A **Lot(s):** 16

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: Two-story circa 1930 attached townhouse/rowhouse-style residence with asphalt shingle roofing and vinyl siding.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

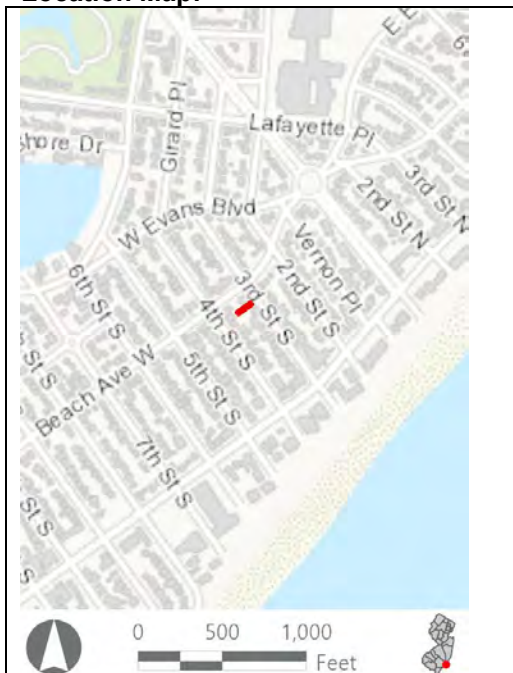


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	206 3 rd Street South		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1930	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Row	Stories:	2
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Wood, Clapboard		

Exterior Description: The resource is a heavily altered, two-story ca. 1930 residential unit measuring two bays wide and three bays deep. The house rests on a concrete block foundation and is covered in replacement aluminum siding. The material covering the shed roof was not visible during field survey. Fenestration consists of replacement vinyl sash 1/1 windows. An enclosed one-story shed roof addition covered with asphalt shingle is attached to the northeast elevation and includes an offset entry. The residence is one of nine rowhouse type units.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 206 3rd Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 206 3rd Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 206 3rd Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 208 3rd Street South

Street Address: Street #: 208 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 3rd Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 603

Local Place Name(s): N/A **Lot(s):** 17

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: Two-story circa 1930 attached townhouse/rowhouse-style residence with asphalt shingle roofing and vinyl siding.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

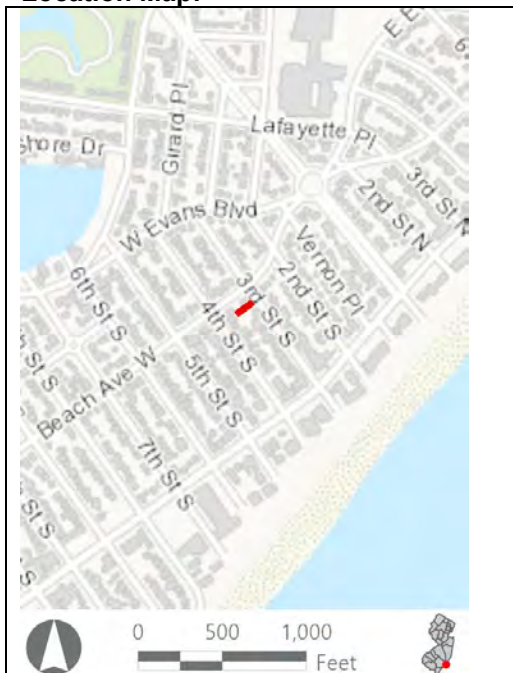


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	208 3 rd Street South		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1930	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Row	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl		

Exterior Description: The resource is a heavily altered, two-story ca. 1930 residential unit measuring two bays wide and three bays deep. The house rests on a concrete block foundation and is covered in replacement vinyl siding. The material covering the shed roof was not visible during field survey. Fenestration consists of replacement vinyl sash 1/1 windows. An enclosed one-story shed roof addition is attached to the northeast elevation and includes a central entry. The residence is one of nine rowhouse type units.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 208 3rd Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 208 3rd Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 208 3rd Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 201 4th Street South

Street Address: Street #: 201 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 4th Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 603

Local Place Name(s): N/A **Lot(s):** 12

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: Two-story circa 1951 residential house with asphalt shingle roofing, vinyl siding, a covered front porch with square columns and an outdoor staircase accessing a covered second-floor balcony.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

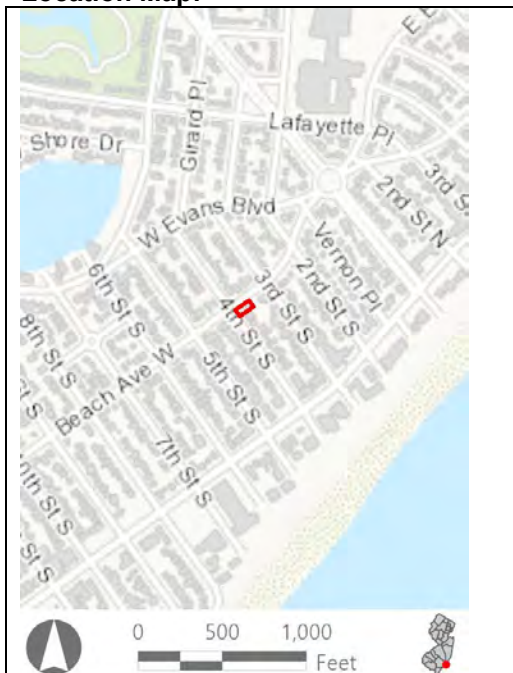


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	201 4 th Street South		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1951	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Gable Front	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The resource is a heavily altered, two-story ca. 1951 Gable Front dwelling measuring three bays wide and five bays deep. The house rests on a concrete block foundation and is covered in replacement vinyl siding. The front gable roof is covered in asphalt shingle and includes an overhanging gable on the southwest (front) elevation covering a two-story porch supported by square posts with a simple vinyl balustrade on the second story. An exterior staircase is located on the front elevation giving access to the second floor porch. Fenestration consists of replacement vinyl sash 6/1 windows with simulated panes. An integral one-bay garage is located in the rear on the northwest (side) elevation.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 201 4th Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 201 4th Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 201 4th Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 210 3rd Street South

Street Address: Street #: 210 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 3rd Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 603

Local Place Name(s): N/A **Lot(s):** 18

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: Two-story circa 1930 attached townhouse/rowhouse-style residence with vinyl siding and asphalt shingle roofing.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

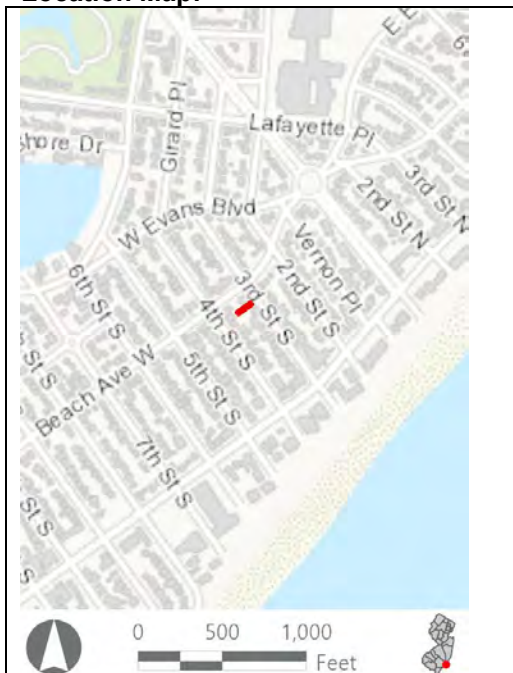


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>210 3rd Street South</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1930</u>	Source:	<u>www.njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Row</u>	Stories:	<u>2</u>
Type:	<u>N/A</u>	Bays:	<u>2</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>VInyl</u>		

Exterior Description: The resource is a heavily altered, two-story ca. 1930 residential unit measuring two bays wide and three bays deep. The house rests on a concrete block foundation and is covered in replacement vinyl siding. The material covering the shed roof was not visible during field survey. Fenestration consists of replacement vinyl sash 1/1 windows. An enclosed one-story shed roof addition is attached to the northeast elevation and includes an offset entry. The residence is one of nine rowhouse type units.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 210 3rd Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 210 3rd Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 210 3rd Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 210 2nd Street South

Street Address: Street #: 210 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 2nd Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 602

Local Place Name(s): N/A **Lot(s):** 20

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: Two-story circa 1955 residence with asphalt shingle roofing, vinyl siding, solar panels on the roof, two outdoor staircases accessing side entrances, a small concrete porch, and a concrete block chimney.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Historic Sites #:

Site Map:



Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	210 2 nd Street South		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1955	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	4
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The resource is an altered, two-story ca. 1955 dwelling measuring four bays wide and three bays deep. The house rests on a concrete block foundation and is covered in replacement vinyl siding. The side gable roof is covered in asphalt shingle and is pierced by a heavy concrete block chimney at the gable end on the southeast (side) elevation. Fenestration consists of replacement vinyl sash 1/1 windows, the majority in pairs. The porch on the northeast (front) elevation comprises a concrete pad with a wood staircase accessing an exterior second floor porch and a secondary entrance on the corner of the house. Another wood staircase on the northwest (side) elevation accesses another second-story entry.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 210 2nd Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 210 2nd Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 210 2nd Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 212 3rd Street South

Street Address: Street #: 212 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 3rd Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 603

Local Place Name(s): N/A **Lot(s):** 19

Ownership: Private **USGS Quad(s):** Brigantine Inlet

Description: Two-story circa 1930 attached townhouse/rowhouse-style residence with vinyl siding and asphalt shingle roofing.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

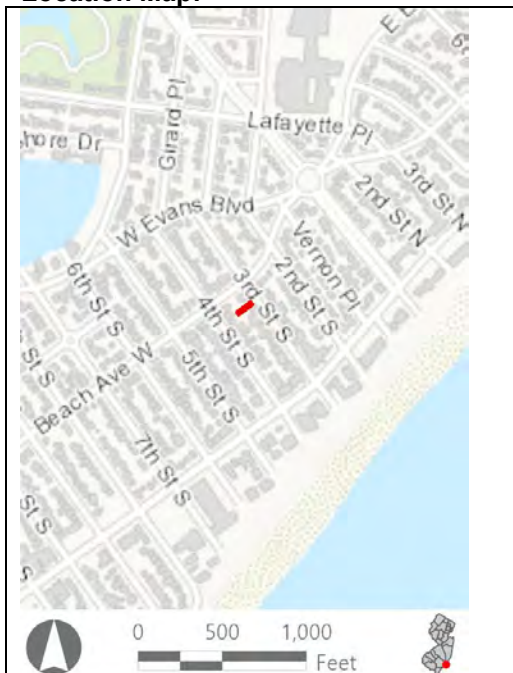


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>212 3rd Street South</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1930</u>	Source:	<u>www.njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Row</u>	Stories:	<u>2</u>
Type:	<u>N/A</u>	Bays:	<u>2</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Vinyl</u>		

Exterior Description: The resource is a heavily altered, two-story ca. 1930 residential unit measuring two bays wide and three bays deep. The house rests on a concrete block foundation and is covered in replacement vinyl siding. The material covering the shed roof was not visible during field survey. Fenestration consists of replacement vinyl sash 1/1 windows and simulated 6/6 windows. An enclosed one-story shed roof addition is attached to the northeast elevation and includes an offset entry. The roof on the addition is covered in asphalt shingle. The residence is one of nine rowhouse type units.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 212 3rd Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 212 3rd Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 212 3rd Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 218 Vernon Place

Street Address: Street #: 218 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Vernon Suffix: N/A Type: PL

County(s): Atlantic Zip Code: 08203

Municipality(s): Brigantine City Block(s): 601

Local Place Name(s): N/A Lot(s): 21

Ownership: Private USGS Quad(s): Brigantine Inlet

Description: Two-story circa 1953 residence with asphalt shingle roofing, vinyl siding, a covered front patio, and outdoor stairs leading up to an uncovered second-floor balcony surrounded by a railing.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

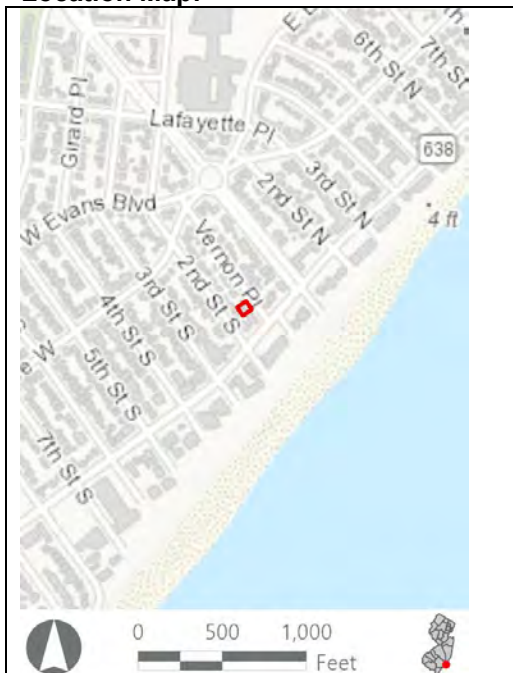


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>218 Vernon Place</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1953</u>	Source:	<u>www.njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Ranch</u>	Stories:	<u>2</u>
Type:	<u>N/A</u>	Bays:	<u>4</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Vinyl Siding</u>		

Exterior Description: The resource is a heavily altered, two-story ca. 1953 dwelling measuring four bays wide and two bays deep. The house rests on a concrete block foundation and is covered in replacement vinyl siding. The side gable roof is covered in asphalt shingles with flush gable ends. Fenestration consists of replacement vinyl sash 1/1 windows. The northeast (front) elevation includes a second-story balcony with a simple vinyl balustrade supported by Doric columns with an unadorned vinyl frieze. A partial width addition projects from the second story of the northwest elevation with access via a stairway on the southeast (side) elevation. At the ground level, the porch consists of a partial width concrete block pad.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 218 Vernon Place is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 218 Vernon Place is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 218 Vernon Place is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 214 3rd Street South

Street Address: Street #: 214 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 3rd Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 603

Local Place Name(s): N/A **Lot(s):** 20

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: Two-story circa 1930 attached townhouse/rowhouse-style residence with asphalt shingle roofing and vinyl siding.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

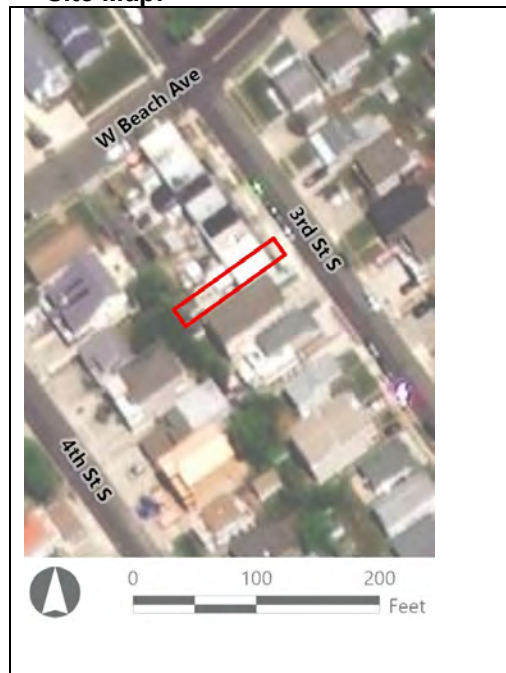
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>214 3rd Street South</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1930</u>	Source:	<u>www.njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Fair</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Row</u>	Stories:	<u>2</u>
Type:	<u>N/A</u>	Bays:	<u>2</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Vinyl Siding</u>		

Exterior Description: The resource is a heavily altered, two-story ca. 1930 residential unit measuring two bays wide and three bays deep. The house rests on a concrete block foundation and is covered in replacement vinyl siding. The material covering the shed roof was not visible during field survey. Fenestration consists of replacement vinyl sash 6/6 windows with simulated panes. An enclosed one-story shed roof addition is attached to the northeast elevation and includes an offset entry. The roof on the addition is covered in asphalt shingle. A projecting gable covers the entrance and extends to cover the adjacent rowhouse. The residence is one of nine rowhouse type units.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 214 3rd Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 214 3rd Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 214 3rd Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 216 3rd Street South

Street Address: Street #: 216 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 3rd Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 603

Local Place Name(s): N/A **Lot(s):** 21

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: Two-story circa 1930 attached townhouse/rowhouse-style residence with asphalt shingle roofing and vinyl siding.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	216 3 rd Street South		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1930	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Row	Stories:	2
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Wood, Shaped Shingle and Vinyl Siding		

Exterior Description: The resource is a heavily altered, two-story ca. 1930 residential unit measuring two bays wide and three bays deep. The house rests on a concrete block foundation and is covered in replacement vinyl siding with scalloped vinyl shingles covering the second story of the northeast (front) elevation. The material covering the shed roof was not visible during field survey. Fenestration consists of replacement vinyl sash 6/6 windows with simulated panes. An enclosed one-story shed roof addition is attached to the northeast elevation and includes an offset entry. The roof on the addition is covered in asphalt shingle. A projecting gable covers the entrance and extends to cover the adjacent rowhouse. The residence is the end unit of nine rowhouse type units.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 216 3rd Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 216 3rd Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 216 3rd Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 212 2nd Street South

Street Address: Street #: 212 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 2nd Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 602

Local Place Name(s): N/A **Lot(s):** 21

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: Two-story circa 1953 residence with asphalt shingle roofing, with aluminum windows and siding, an enclosed entranceway, and an uncovered second-floor balcony.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

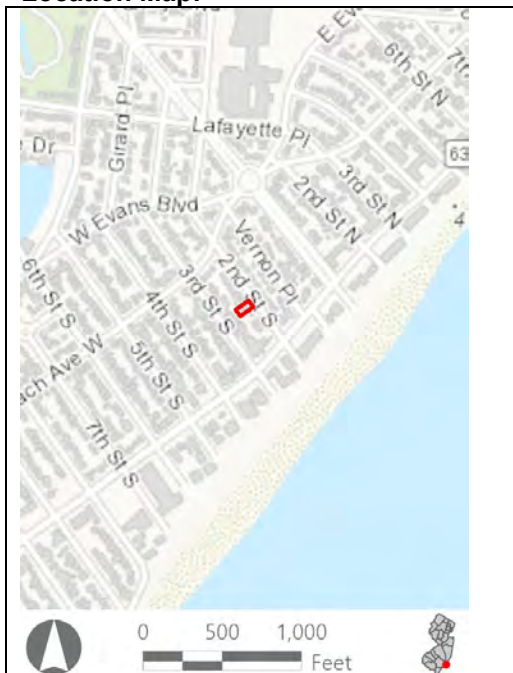


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	212 2 nd Street South		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1953	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Aluminum		

Exterior Description: The resource is an altered, two-story ca. 1953 dwelling measuring three bays wide and two bays deep. The house rests on a concrete block foundation and is covered in replacement aluminum siding. The side gable roof is covered in asphalt shingle and is flush at the gable ends. Fenestration consists of replacement vinyl sash 1/1 windows. An enclosed, partial width sunporch is attached to the northeast (front) elevation and features multi-pane windows. The second story of the sunporch functions as a balcony with vinyl railing accessible from a second story entrance on the northeast elevation. A partial width screened shed roof porch is attached to the southwest (rear) elevation and a one-bay historic-era garage with a front gable roof is located in the rear of the house.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 212 2nd Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 212 2nd Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 212 2nd Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 219 2nd Street South

Street Address: Street #: 219 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 2nd Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 601

Local Place Name(s): N/A **Lot(s):** 2

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: One-and-a-half-story circa 1955 residence with asphalt shingle roofing, vinyl windows and siding, and a covered front porch.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

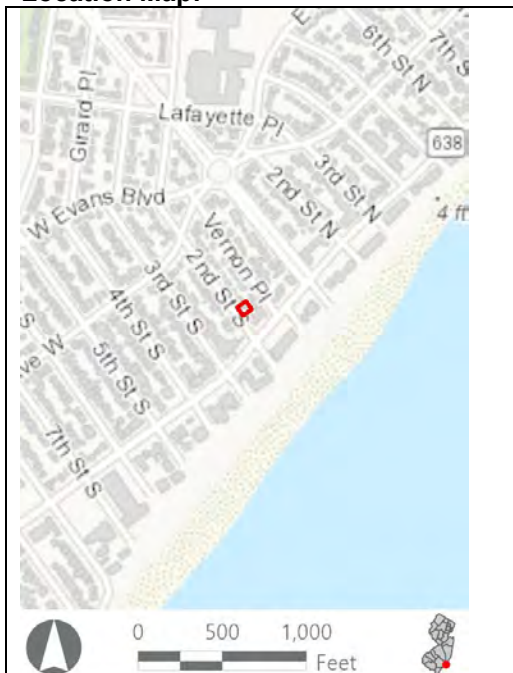


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	219 2 nd Street South		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1955	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Gable Front	Stories:	1.5
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The resource is an altered one-and-a-half-story ca. 1955 Gable Front dwelling measuring three bays wide and two bays deep. The house rests on a concrete block foundation and is covered in replacement vinyl siding with vinyl shake shingle on the southwest (front) elevation. The front gable roof is covered in asphalt shingle and fenestration consists of replacement vinyl sash 6/6 windows with simulated panes, vinyl sash 1/1 windows, and two tripartite picture windows on the southwest elevation. A one-story gable roof addition is attached to the northwest (side) elevation and includes a partial width hipped-shed roof addition and porch supported by square posts with a simple vinyl balustrade. Another shed roof addition is also attached to the northwest elevation. A one-bay front gable covered in vinyl shake shingle is located to the northeast (rear) of the dwelling.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 219 2nd Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 219 2nd Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 219 2nd Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 221 3RD Street South

Street Address: Street #: 221 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 3rd Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 602

Local Place Name(s): N/A **Lot(s):** 6

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: Two-story circa 1972 residence with asphalt shingle roofing, vinyl windows and siding, and an uncovered front porch that extends along the entire front of the building.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

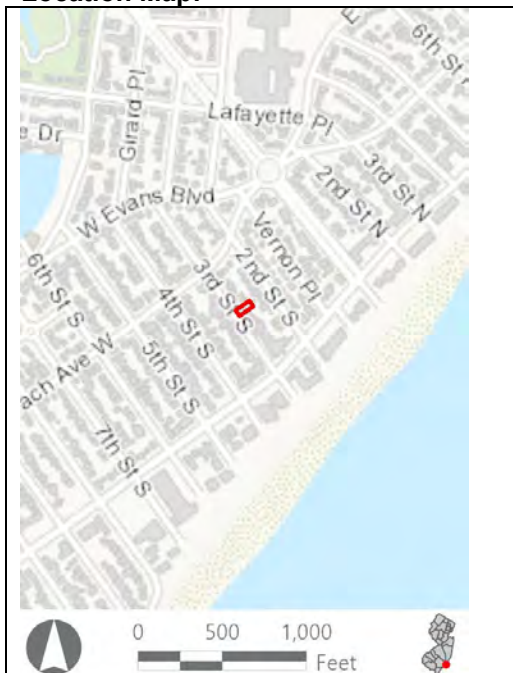
Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	221 3 RD Street South		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1972	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The resource is an altered two-story ca. 1972 dwelling measuring three bays wide and three bays deep. The house rests on a concrete block foundation and is covered in replacement vinyl siding with vinyl shake shingle on the southwest (front) elevation. The southwest elevation features a slight overhang, indicative of the mid-century Colonial Revival style; however, no other characteristics of the style are extant on the house. Fenestration consists of replacement viny sash 4/1 windows with simulated panes and the side gable roof is covered in asphalt shingle with flush gable ends. A full width concrete block porch is located on the southwest elevation while a full width one-story addition with an upper balcony is attached to the northeast (rear) elevation.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 221 3RD Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 221 3RD Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 221 3RD Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 225 3rd Street South

Street Address: Street #: 225 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 3rd Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 602

Local Place Name(s): N/A **Lot(s):** 5

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: One-story circa 1951 residential house with asphalt shingle roofing, siding, aluminum windows, and an uncovered front deck/porch.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

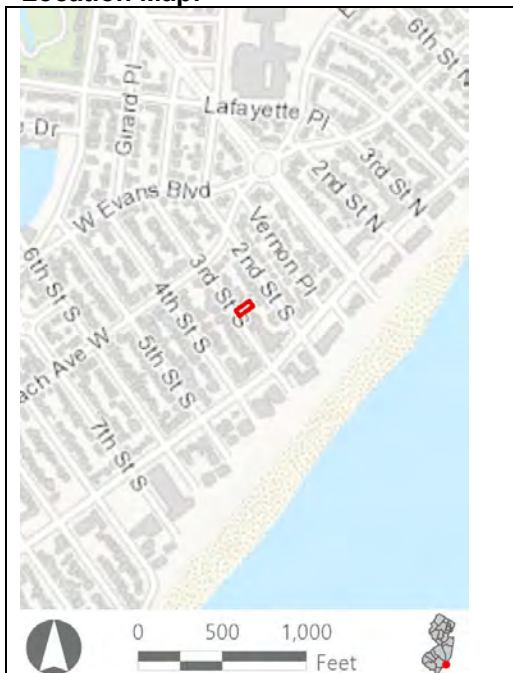


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	225 3 rd Street South		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1951	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Ranch	Stories:	1
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Aluminum siding		

Exterior Description: The resource is an altered, one-story ca. 1951 minimal Ranch dwelling measuring three bays wide and two bays deep. The house rests on a concrete block foundation and is covered in replacement aluminum siding. The side gable roof is covered in asphalt shingle with flush gable ends. Fenestration consists of replacement aluminum sash windows and a wood patio is attached to the southwest (front) elevation. A partial width one-story addition is attached to the northeast (rear) elevation.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 225 3rd Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 225 3rd Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 225 3rd Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 229 3rd Street South

Street Address: Street #: 229 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 3rd Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 602

Local Place Name(s): N/A **Lot(s):** 4

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: One-and-a-half-story circa 1958 residence with replacement windows and siding and asphalt shingle roofing.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24, 2023

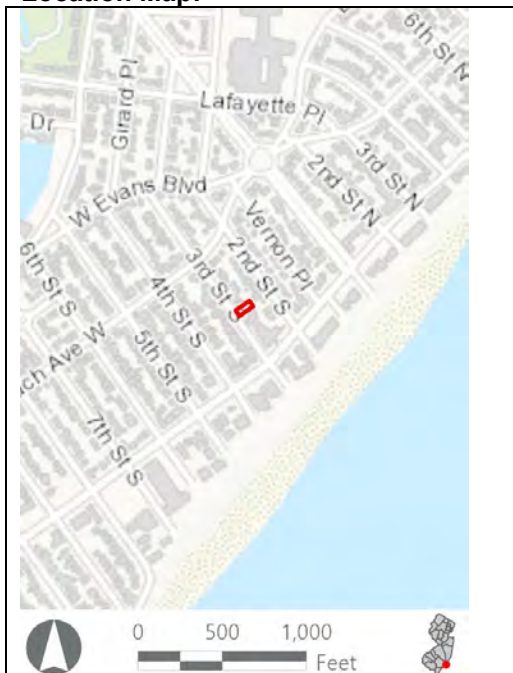
Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	229 3 rd Street South		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1958	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Cape cod	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl siding		

Exterior Description: The resource is a heavily altered two-story ca. 1958 dwelling measuring three bays wide and four bays deep. Available street view photographs from 2013 reveal the house was formerly a one-and-a-half-story dwelling with a gambrel roof; however, a large two-story addition attached to the northwest (rear) addition has significantly altered the dimensions of the house. The steeply pitched side gable roof is covered in asphalt shingle and the house is covered in vinyl shake singles. Fenestration consists of replacement vinyl sash 4/4 windows, 1/1 windows, and fixed windows. The porch on the southwest elevation consists of a concrete block pad.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 229 3rd Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 229 3rd Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 229 3rd Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 230 3rd Street South

Street Address: Street #: 230 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 3rd Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 603

Local Place Name(s): N/A **Lot(s):** 26

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: The building at 230 3rd Street South is a one-and-a-half-story gable-front bungalow with vinyl and aluminum siding and a front porch.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

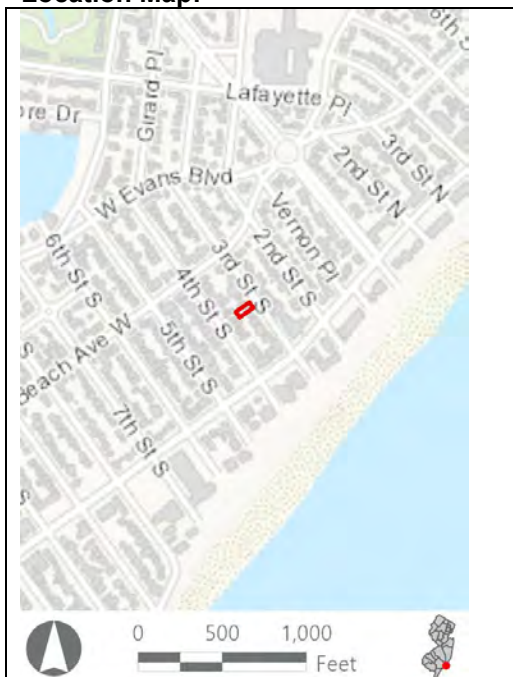
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>230 3rd Street South</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1945</u>	Source:	<u>www.njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Bungalow</u>	Stories:	<u>1.5</u>
Type:	<u>N/A</u>	Bays:	<u>3</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Siding</u>		

Exterior Description: The building at 230 3rd Street South is a one-and-a-half-story gable-front bungalow with vinyl and aluminum siding and a front porch. The porch has a hipped roof supported by square brick columns. The porch deck is concrete. The building is three bays wide and four bays deep with 1/1 replacement sash. The entrance is in the middle bay of the façade but is left of the center. There is a single window in the gable above.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 230 3rd Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 230 3rd Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 230 3rd Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 214 4th Street South

Street Address: Street #: 214 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 4th Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 702

Local Place Name(s): N/A **Lot(s):** 17

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: The building at 214 4th Street South is a one-story Cape Cod with asphalt shingle roofing and vinyl siding.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

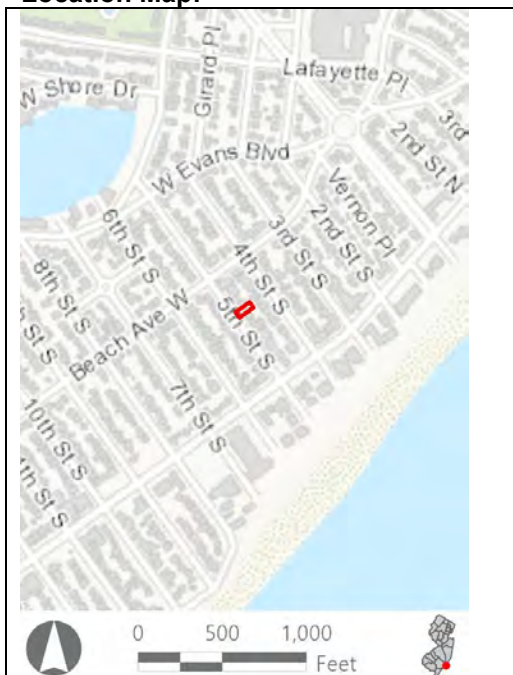


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>214 4th Street South</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1950</u>	Source:	<u>www.njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Cape Cod</u>	Stories:	<u>1</u>
Type:	<u>N/A</u>	Bays:	<u>3</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Vinyl Siding</u>		

Exterior Description: The building at 214 4th Street South is a one-story Cape Cod with asphalt shingle roofing and vinyl siding. The residence is three bays wide and two bays deep with a center entrance with a shed-roof overhang and a concrete patio. The bays on either side of the entry have paired 1/1 replacement sash. There is a single-bay gable-roof projection on the side elevation in the rearmost bay. The fenestration on the side elevations is 1/1 replacement sash.

Interior Description: N/A

Setting: Residential area approximately one block away from beach/ocean access, surrounded by similar residential housing. Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 214 4th Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

**National
Register Criteria:**

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 214 4th Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 214 4th Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 238 3rd Street South

Street Address: Street #: 238 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 3rd Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 603

Local Place Name(s): N/A **Lot(s):** 27

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: Two-story circa 1930 residence with asphalt shingle roofing, stucco-covered first floor with shingle siding on the second floor.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

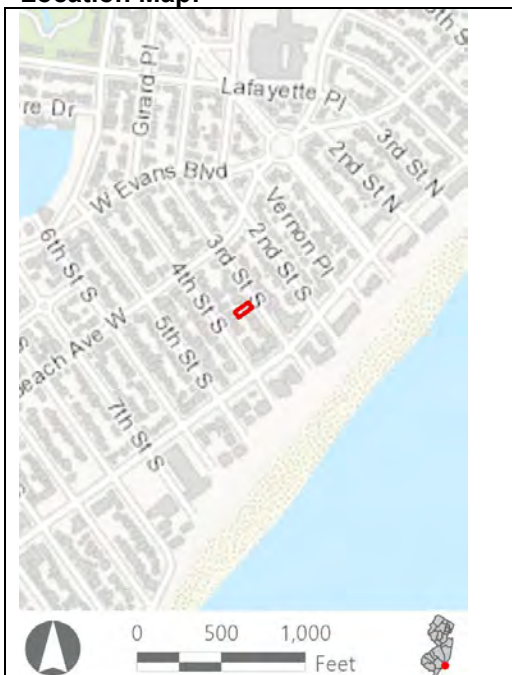


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>238 3rd Street South</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1930</u>	Source:	<u>www.njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Gable Front</u>	Stories:	<u>2</u>
Type:	<u>N/A</u>	Bays:	<u>3</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Stucco; Aluminum</u>		

Exterior Description: The resource is an altered, two-story ca. 1930 Gable Front dwelling measuring three bays wide and six bays deep. The house rests on a stucco-covered concrete block first story while the second story is covered in aluminum siding. The front gable roof is covered in asphalt shingle with flush gable ends and an interior chimney that pierces the roof at the ridgeline. Fenestration consists of replacement vinyl sash 1/1 windows. A concrete block stoop with a simple vinyl balustrade is attached to the southeast (side) elevation.

Interior Description: N/A

Setting: Residential area approximately one block away from beach/ocean access, surrounded by similar residential housing. Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 238 3rd Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 238 3rd Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 238 3rd Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 218 4th Street South

Street Address: Street #: 218 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 4th Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 702

Local Place Name(s): N/A **Lot(s):** 18

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: Two-story circa 1951 Spanish Colonial Revival residence with a brick arched covered front porch and second-story balcony and tiled roof.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

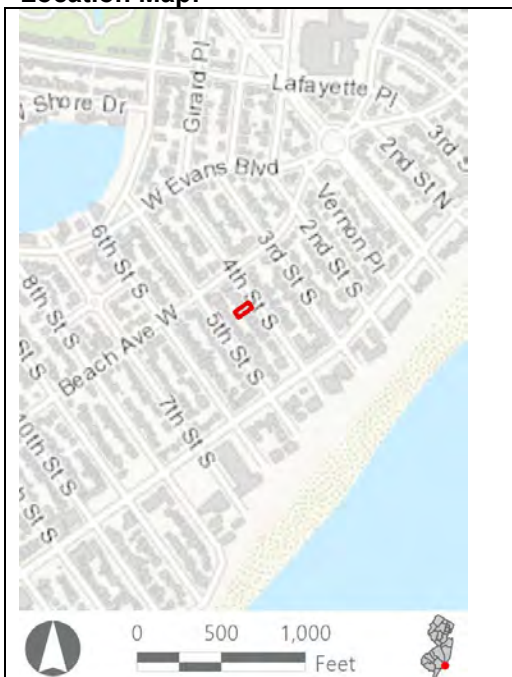


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).
NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	218 4th Street South		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1951	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Spanish Colonial Revival		
Form:	Other	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Tile, Spanish		
Exterior Finish Materials	Brick; stucco		

Exterior Description: The resource is an altered two-story ca. 1951 Spanish Colonial Revival dwelling measuring three bays wide and three bays deep. The house rests on a concrete block foundation and is covered in stucco with whitewashed stretcher bond brick on the northeast (front) elevation. The hipped roof is covered in Spanish tile and fenestration consists of replacement aluminum sash windows. A full width, one-story brick porch is attached to the northeast elevation. The porch rests on a foundation covered in stretcher bond brick and is supported by Roman arches with decorative balustrades. The porch includes a second-floor balcony also decorated with a balustrade and both the first and second stories have central entrances. Arched wing walls capped with Spanish tile are located on the northwest and southeast (side) elevations.

Interior Description: N/A

Setting: Dense residential area two blocks from ocean front. Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 218 4th Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 218 4th Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 218 4th Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

ELIGIBILITY WORKSHEET

Historic Sites #:

BASE FORM

Historic Sites #:

Property Name: 215 5th Street South

Street Address: Street #: 215 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 5th Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 702

Local Place Name(s): N/A **Lot(s):** 11

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: One-story circa 1951 altered Ranch house with asphalt shingle roofing, wood clapboard siding, and a bay window.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

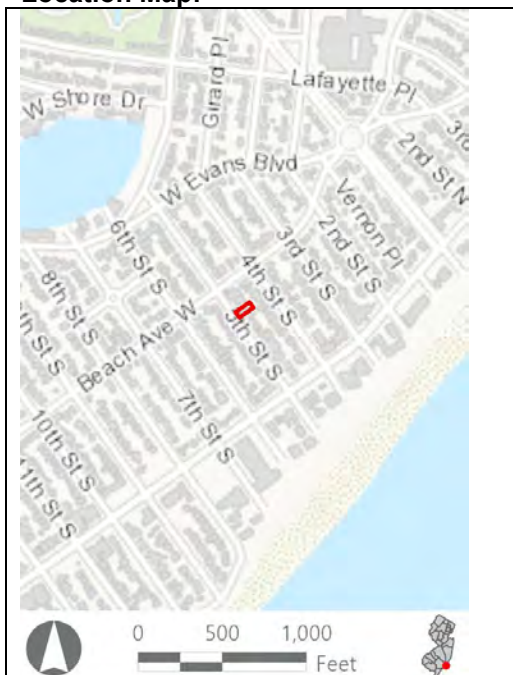


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).
NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	215 5 th Street South		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1951	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Ranch	Stories:	1
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Aluminum		

Exterior Description: The resource is an altered, one-story ca. 1951 Ranch dwelling measuring two bays wide and four bays deep. The house rests on a concrete block foundation and is covered in aluminum siding. The side gable roof is covered in asphalt shingle and is pierced by an interior brick chimney at the slope on the northeast (rear) elevation. Fenestration consists of replacement vinyl sash 1/1 windows. A partial width addition capped by a front gable roof and including a projecting bay window is attached to the southwest (front) elevation. A secondary entrance with a simple stoop is located on the northwest (side) elevation.

Interior Description: N/A

Setting: Residential area approximately 1.5 blocks away from beach/ocean access, surrounded by similar residential housing. Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 215 5th Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 215 5th Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 215 5th Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

BASE FORM

Historic Sites #:

Property Name: 219 5th Street South

Street Address: Street #: 219 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 5th Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 702

Local Place Name(s): N/A **Lot(s):** 10

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: One-story circa 1952 altered Ranch house with asphalt shingle roofing, vinyl exterior and a small covered front porch.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

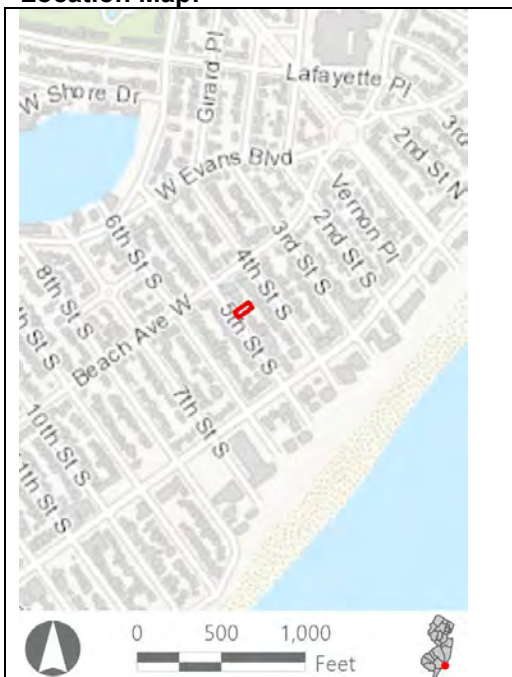


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).
NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &
Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>219 5th Street South</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential activity, permanent</u>		
Historic Use:	<u>Residential activity, permanent</u>		
Construction Date:	<u>1952</u>	Source:	<u>www.njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Ranch</u>	Stories:	<u>1</u>
Type:	<u>N/A</u>	Bays:	<u>2</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Aluminum and vinyl</u>		

Exterior Description: The resource is an altered, one-story ca. 1952 Ranch dwelling measuring two bays wide and six bays deep. The house rests on a concrete block foundation and is covered in aluminum siding with vinyl shake shingle on the southwest (front) elevation. The southwest elevation also includes a partially enclosed one-story addition with an integral porch capped by a gable roof with scalloped vinyl shingles in the gable end. The central block of the house is capped by a side gable roof covered in asphalt shingle with flush gable ends. A one-story front gable addition is attached to the northeast (rear) elevation. The roof of the addition is pierced by an interior brick chimney at the slope. Fenestration consist of replacement vinyl sash 1/1 windows.

Interior Description: N/A

Setting: Residential area approximately 1.5 blocks away from beach/ocean access, surrounded by similar residential housing. Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 219 5th Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 219 5th Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 219 5th Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 223 5th Street South

Street Address: Street #: 223 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 5th Suffix: S Type: ST

County(s): Atlantic Zip Code: 08203

Municipality(s): Brigantine City Block(s): 702

Local Place Name(s): N/A Lot(s): 9

Ownership: Private USGS Quad(s) Brigantine Inlet

Description: One-story circa 1950 residence with asphalt shingle roofing and vinyl and brick exterior.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

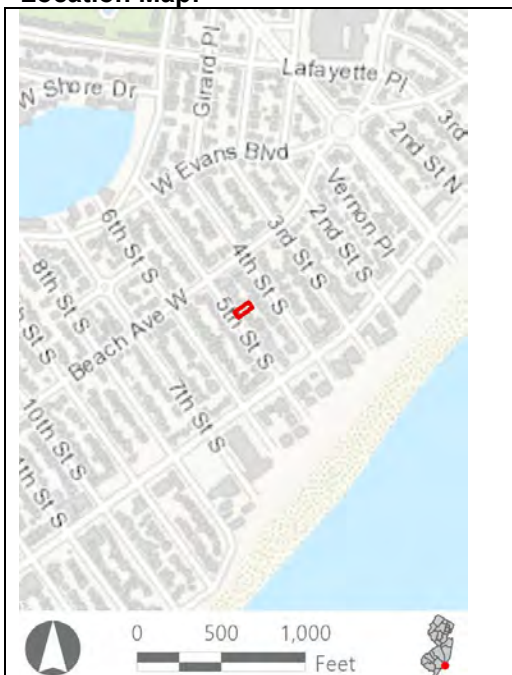


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).
NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	223 5 th Street South		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1950	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Minimal Traditional		
Form:	Other	Stories:	1
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl		

Exterior Description: The resource is an altered, one-story ca. 1950 Minimal Traditional dwelling measuring two bays wide and three bays deep. The house rests on a concrete block foundation and is covered in vinyl siding with applied stretcher bond brick on the southwest (front) elevation. The southwest elevation also includes a partial width enclosed sun porch capped by a front gable roof covered in asphalt shingle with vinyl siding in the gable end. The central block of the house is capped by a side gable roof and fenestration consists of replacement vinyl sash 1/1 windows. A partial width, one-story gable roof addition is attached to the northeast (rear) elevation.

Interior Description: N/A

Setting: Residential area approximately one block away from beach/ocean access, surrounded by similar residential housing. Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 223 5th Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 223 5th Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 223 5th Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 227 5th Street South

Street Address: Street #: 227 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 5th Suffix: S Type: ST

County(s): Atlantic Zip Code: 08203

Municipality(s): Brigantine City Block(s): 702

Local Place Name(s): N/A Lot(s): 8

Ownership: Private USGS Quad(s) Brigantine Inlet

Description: One-story altered Minimal Traditional dwelling with asphalt shingle roofing, vinyl siding, and a replacement porch.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

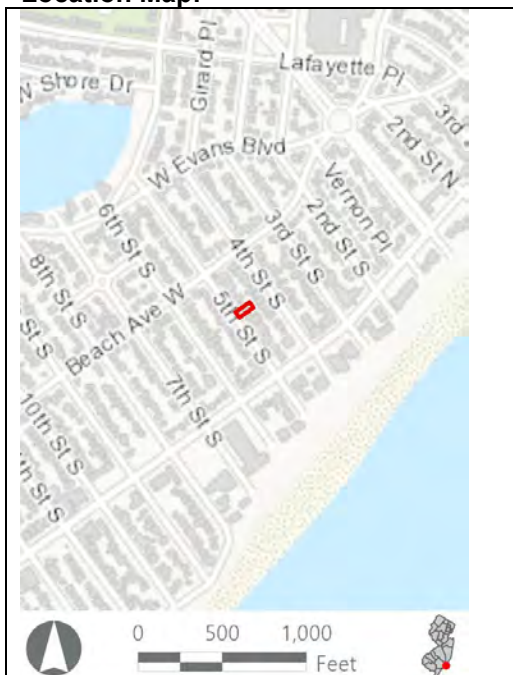


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).
NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	227 5 th Street South		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1949	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Minimal Traditional		
Form:	Other	Stories:	1
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl		

Exterior Description: The resource is an altered, one-story ca. 1949 Minimal Traditional dwelling measuring three bays wide and three bays deep. The house rests on a concrete block foundation and is covered in replacement vinyl siding. The side gable roof is covered in asphalt shingle and includes a one-bay projecting gable on the southwest (front) elevation. A shed roof porch is attached to the gable and is supported by square posts with a simple vinyl balustrade. Fenestration consists of replacement vinyl sash 1/1 windows with a tripartite picture window on the southwest elevation. A full width, one-story gable roof addition is attached to the northeast (rear) elevation.

Interior Description: N/A

Setting: Residential area approximately one block away from beach/ocean access, surrounded by similar residential housing. Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aeriels show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 227 5th Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 227 5th Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 227 5th Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 231 5th Street South

Street Address: Street #: 231 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 5th Suffix: S Type: ST

County(s): Atlantic Zip Code: 08203

Municipality(s): Brigantine City Block(s): 702

Local Place Name(s): N/A Lot(s): 7

Ownership: Private USGS Quad(s) Brigantine Inlet

Description: Heavily altered two-story Front Gable dwelling with asphalt shingle roofing, vinyl siding, a two-story porch with replacement materials, and replacement windows.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

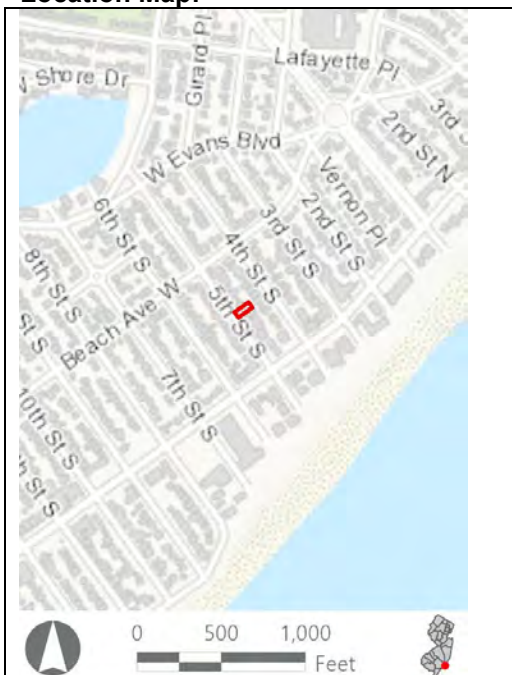


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).
NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	231 5 th Street South		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1955	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Gable front	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl		

Exterior Description: The resource is a heavily altered, two-story ca. 1955 Front Gable dwelling measuring three bays wide and two bays deep. The house rests on a concrete block foundation and is covered in replacement vinyl siding. The roof is covered in asphalt shingle and includes a projecting gable on the southwest (front) elevation that covers a two-story porch resting on a concrete block foundation and supported by square wood posts. Fenestration consists of replacement vinyl sash 1/1 windows. The northeast (rear) elevation includes a second story overhanging addition with a balcony framed by a simple wood balustrade. A historic-era one-bay garage capped by a front gable roof is located to the northeast of the dwelling.

Interior Description: N/A

Setting: Residential area approximately one block away from beach/ocean access, surrounded by similar residential housing. Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 231 5th Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 231 5th Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 231 5th Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 238 4th Street South

Street Address: Street #: 238 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 4th Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 702

Local Place Name(s): N/A **Lot(s):** 22

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: Heavily altered one-and-a-half-story Front Gable dwelling with Shed style addition with asphalt shingle roofing, wood siding, a brick chimney, replacement windows, and a second floor patio with a simple balustrade.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

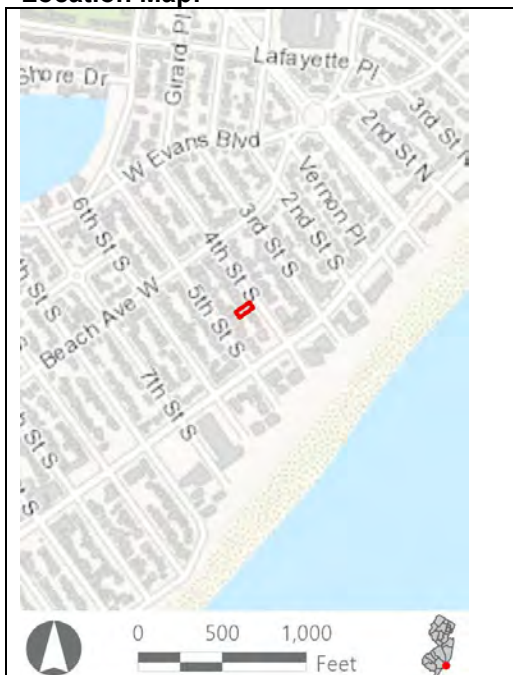


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).
NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	238 4 th Street South		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1955	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Gable Front	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Wood		

Exterior Description: The resource is a heavily altered one-and-a-half-story ca 1955 Gable Front dwelling measuring three bays wide and three bays deep. The house includes two partial width Shed style additions on the northeast (front) and southeast (side) elevations. The Shed roof addition on the northeast elevation covers a porch supported by square posts and includes a second-floor balcony with a simple balustrade. The house rests on a concrete block foundation and is covered in vertical board. The front gable roof and shed addition roofs are covered in asphalt shingle and the roof of the main block is pierced by an exterior brick chimney on the northeast elevation. Fenestration consists of replacement vinyl sash 6/6 windows with simulated panes, 1/1 windows, and casement windows.

Interior Description: N/A

Setting: Residential area approximately one block away from beach/ocean access, surrounded by similar residential housing. Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 238 4th Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 238 4th Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 238 4th Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Property Name: 215 6th Street South

Street Address: Street #: 215 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 6th Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 704

Local Place Name(s): N/A **Lot(s):** 12

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: Heavily altered one-story, Minimal Traditional dwelling with an enclosed one-story addition on the southwest (front) elevation, replacement asphalt shingle roofing, vinyl siding, and a non-historic stone chimney.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

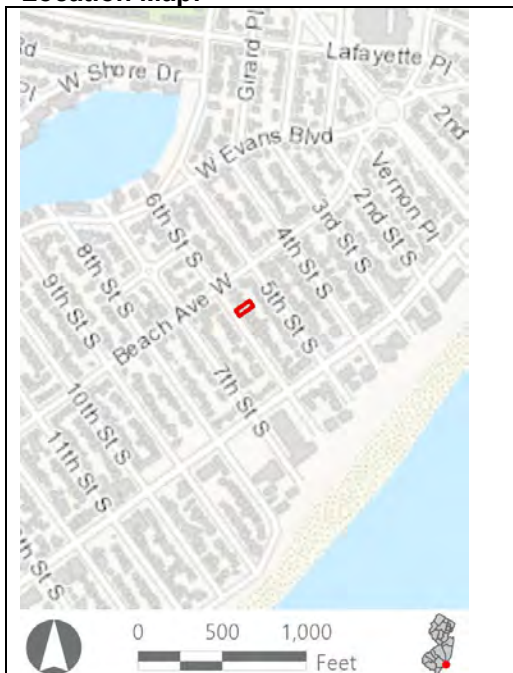


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: <u>215 6th Street South</u>	
Historic Name: <u>N/A</u>	
Present Use: <u>Residential activity, permanent</u>	
Historic Use: <u>Residential activity, permanent</u>	
Construction Date: <u>1957</u>	Source: <u>www.njtaxrecords.net</u>
Alteration Date(s): <u>N/A</u>	Source: <u>N/A</u>
Designer: <u>N/A</u>	Physical Condition: <u>Good</u>
Builder: <u>N/A</u>	Remaining Historic Fabric: <u>Low</u>
Style: <u>None</u>	
Form: <u>Gable front</u>	Stories: <u>1</u>
Type: <u>N/A</u>	Bays: <u>3</u>
Roof Finish Materials: <u>Asphalt Shingle</u>	
Exterior Finish Materials <u>Vinyl</u>	

Exterior Description: The resource is a heavily altered, one-story ca. 1957 Minimal Traditional dwelling measuring three bays wide and three bays deep. The house rests on concrete block foundation and is covered in replacement vinyl siding. The side gable roof is covered in asphalt shingle and is pierced by an exterior concrete block chimney covered in stone veneer. An enclosed, fully width gable front addition with a pent roof on the southwest (front) elevation. The addition includes a central entrance capped by a small gable roof supported by brackets. Fenestration consists of replacement vinyl sash 6/1 windows with simulated panes with a slightly projecting bay window on the southwest elevation. A full width, one-story shed roof addition is attached to the northeast (rear) elevation.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 215 6th Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 215 6th Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 215 6th Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

Date: February 24,
2023

BASE FORM

Historic Sites #:

Property Name: 235 5th Street South

Street Address: Street #: 235 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 5th Suffix: S Type: ST

County(s): Atlantic Zip Code: 08203

Municipality(s): Brigantine City Block(s): 702

Local Place Name(s): N/A Lot(s): 6

Ownership: Private USGS Quad(s): Brigantine Inlet

Description: Altered one-story Minimal Traditional dwelling with asphalt shingle roofing, vinyl siding, and replacement windows.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

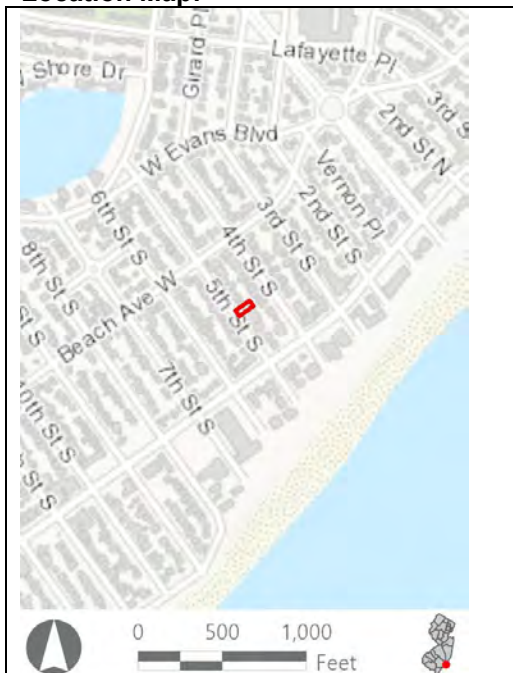


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>235 5th Street South</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1955</u>	Source:	<u>www.njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>Minimal Traditional</u>		
Form:	<u>Gable Front</u>	Stories:	<u>1</u>
Type:	<u>N/A</u>	Bays:	<u>3</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Vinyl Siding</u>		

Exterior Description: The resource is an altered, one-story ca. 1955 Minimal Traditional dwelling measuring three bays wide and three bays deep. The house rests on a concrete block foundation and is covered in replacement vinyl siding. The front gable roof is covered in asphalt shingle and is flush at the gable ends with overhanging eaves. Fenestration consists of replacement vinyl sash 1/1 windows. A partial width offset projecting gable is located on the southwest (front) elevation and a patio set atop a concrete block foundation with a vinyl balustrade is also attached to the southwest elevation. A one-bay historic-era garage capped by a front gable roof is located to the northeast (rear) elevation.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 235 5th Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 235 5th Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 235 5th Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 226 5th Street South

Street Address: Street #: 226 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 5TH Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 704

Local Place Name(s): N/A **Lot(s):** 21

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: Altered one-story Minimal Traditional dwelling with asphalt shingle roofing, vinyl siding, replacement windows, and a partial width shed roof porch with replacement materials.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

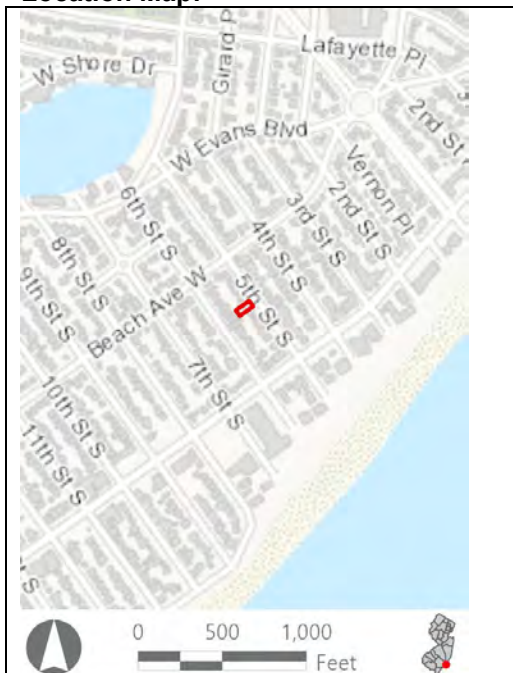


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	226 5 th Street South		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1955	Source:	Stylistic Evidence
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Minimal Traditional		
Form:	Ranch	Stories:	1
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl		

Exterior Description: The resource is an altered, one-story ca. 1955 Minimal Traditional dwelling measuring three bays wide and three bays deep. The house rests on a concrete block foundation and is covered in replacement vinyl siding. The side gable roof is covered in asphalt shingle and fenestration consists of replacement vinyl sash 1/1 windows with a tripartite picture window on the northwest (front) elevation. A partial width shed roof porch resting on a concrete block foundation and supported by turned wood posts is attached to the northwest elevation while a full width one-story shed roof addition is attached to the southeast (rear) elevation. A historic-era one-bay garage capped by a front gable roof and partially covered in vinyl siding is located to the southeast of the dwelling.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 226 5th Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 226 5th Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 226 5th Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 243 5th Street South

Street Address: Street #: 243 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 5th Suffix: S Type: ST

County(s): Atlantic Zip Code: 08203

Municipality(s): Brigantine City Block(s): 702

Local Place Name(s): N/A Lot(s): 4

Ownership: Private USGS Quad(s): Brigantine Inlet

Description: Heavily altered two-story Front Gable dwelling with replacement windows, asphalt shingle roofing, vinyl siding, an offset front porch, and a two-story addition on the southwest (front) elevation.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

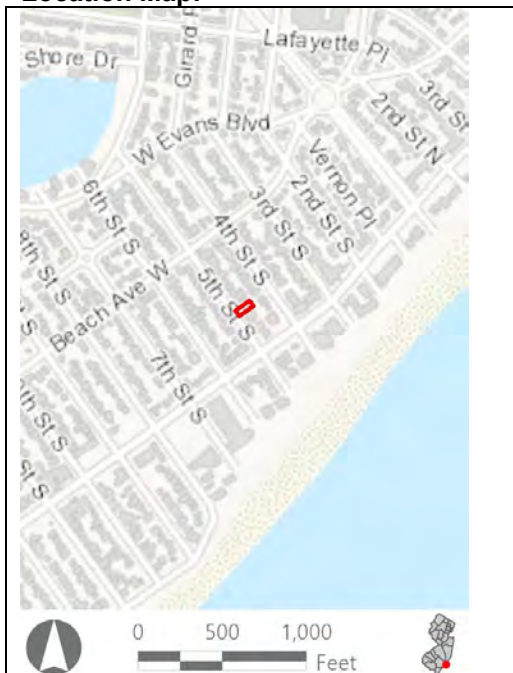


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	243 5 th Street South		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1954	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Gable front	Stories:	2
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The resource is a heavily altered, ca. 1954 two-story Gable Front dwelling measuring two bays wide and three bays deep. The house rests on a concrete block foundation and is covered in replacement vinyl siding. The roof is covered in asphalt shingle and fenestration consists of replacement vinyl sash 1/1 windows. A partial width enclosed and offset addition is attached to the southwest (front) elevation and includes an upper second floor porch covered by a projecting stepped gable roof and supported by simple Doric columns with a vinyl balustrade. A shed roof with a central gable covered in asphalt shingle and supported by Doric columns covers the offset entrance on the ground level of the southwest elevation. A full width, one-story gable roof addition is attached to the northeast (rear) elevation.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 243 5th Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 243 5th Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 243 5th Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 227 6th Street South

Street Address: Street #: 227 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 6th Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 704

Local Place Name(s): N/A **Lot(s):** 9

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: Heavily altered one-story Dutch gable roof dwelling with replacement windows, asphalt shingle roofing, wood shingle siding, and an enclosed partial-width one-story addition on the southwest (front) elevation.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

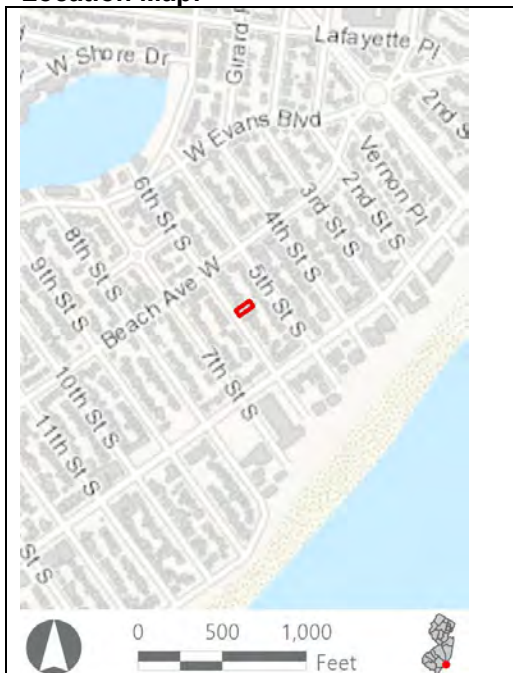
Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	227 6 th Street South		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1953	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Gable front	Stories:	1
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The resource is an altered ca. 1953 one-story Gable Front dwelling measuring two bays wide and four bays deep. The house rests on a concrete block foundation and is covered in vinyl shake shingle. The roof has been altered into a Dutch gable and is covered in asphalt shingle. An exterior chimney covered with stone veneer pierces the roof on the southeast (side) elevation. Fenestration consists of replacement vinyl sash 1/1 windows with simulated 8/8 panes. A partial width enclosed addition with a front gable roof covered in asphalt shingle is attached to the southwest (front) elevation. An integral porch supported by square posts is also located on the southwest elevation. A full width, one-story gable roof addition is attached to the northeast (rear) elevation. A hipped roof outbuilding only partially visible from the public right-of-way is located to the northeast of the dwelling.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 227 6th Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 227 6th Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 227 6th Street South is recommended Not Eligible for inclusion in the NRHP

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 238 5th Street South

Street Address: Street #: 238 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 5th Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 704

Local Place Name(s): N/A **Lot(s):** 24

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: Altered one-and-a-half story Colonial Revival dwelling with replacement windows, asphalt shingle roofing, vinyl siding, and a full-width front porch and second-story deck.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

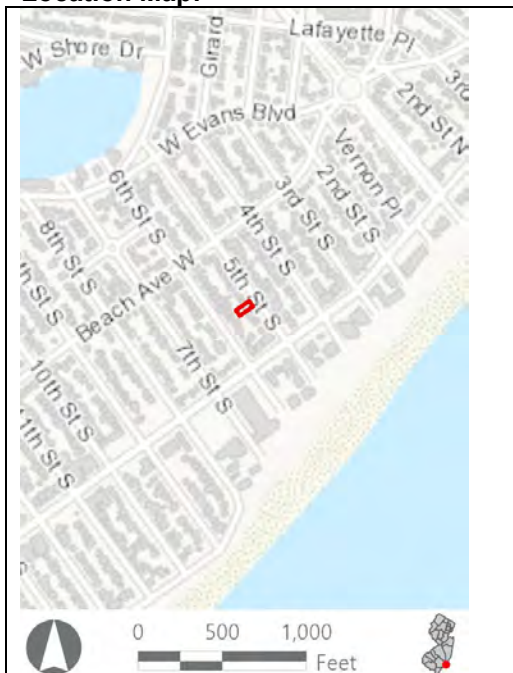


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	238 5 th Street South		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1966	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Ranch	Stories	1.5
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The resource is an altered, ca. 1966 two-story Colonial Revival dwelling measuring three bays wide and two bays deep. The house rests on a concrete block foundation and is covered in replacement vinyl siding. The side gable roof is covered in asphalt shingle and includes full length visor dormers on the northeast (front) and southwest (rear) elevation. Fenestration consists of replacement vinyl sash 1/1 windows. A full width porch resting on a concrete block foundation and supported by square posts is attached to the northeast elevation. The porch supports an upper balcony with a simple balustrade and access from a sliding glass door. A partial width two-story gable roof addition and a second-story balcony are attached to the southwest elevation.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 238 5th Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 238 5th Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 238 5th Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 222 6th Street South

Street Address: Street #: 222 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 6th Suffix: S Type: ST

County(s): Atlantic Zip Code: 08203

Municipality(s): Brigantine City Block(s): 706

Local Place Name(s): N/A Lot(s): 19

Ownership: Private USGS Quad(s): Brigantine Inlet

Description: Altered two-story Front Gable dwelling with replacement windows, asphalt shingle roofing, wood and brick siding, a two-story front porch supported by square posts, and an exterior staircase leading up to a second-floor side entrance.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

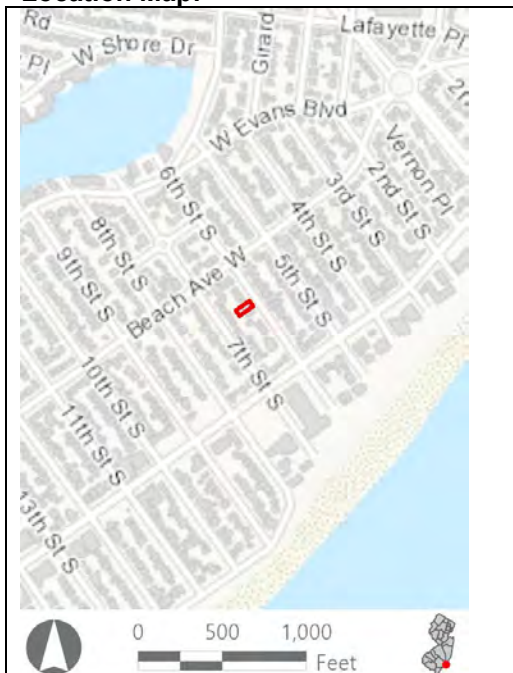


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	222 6 th Street South		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1955	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Gable Front	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Aluminum and Brick		

Exterior Description: The resource is an altered, two-story ca. 1955 Gable Front dwelling measuring three bays wide and four bays deep. The house rests on a concrete block foundation and is covered in aluminum siding with stretcher bond brick veneer on the ground level of the northeast (front) elevation. The front gable roof is covered in asphalt shingle and features a projecting gable on the northwest elevation that covers porches on the second and first stories. The porch rest on a concrete block foundation and is supported by square wood posts with a simple balustrade. Fenestration consists of replacement vinyl sash 1/1 windows that are in pairs on the northwest elevation. An exterior wood staircase on the southeast (side) elevation gives access to the second floor.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 222 6th Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 222 6th Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 222 6th Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 226 6th Street South

Street Address: Street #: 226 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 6th Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 706

Local Place Name(s): N/A **Lot(s):** 20

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: Heavily altered minimal Ranch with rear two-story addition, replacement windows, vinyl siding, and an asphalt shingle roof.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

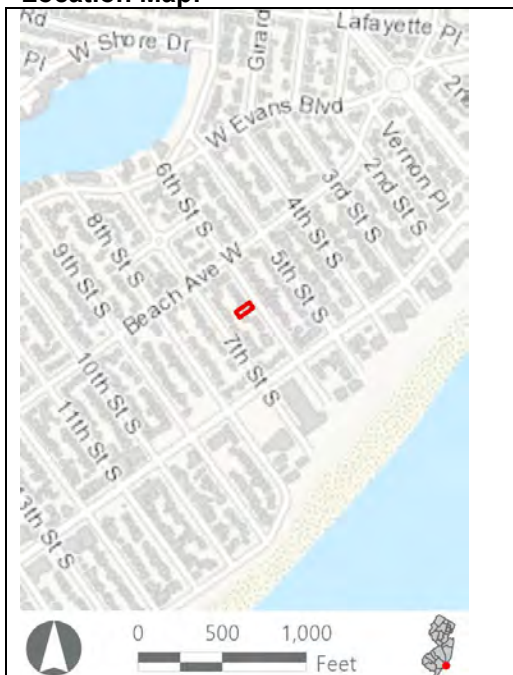
Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	226 6 th Street South		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1959	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Ranch	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl		

Exterior Description: The resource is a heavily altered ca. 1959 two-story dwelling measuring two bays wide and six bays deep. The main block of the house is a minimal Ranch capped by a low-pitched side gable roof covered in asphalt shingle and resting on a concrete block foundation. A partial width shed roof addition with an integral porch supported by simple columns is attached to the southeast (side) elevation. A two-story, ca. 1980 side gable addition is attached to the southwest (rear) elevation and includes a sleeping porch on the southeast elevation and an exterior concrete chimney on the northwest (side) elevation. The entire house is covered in replacement vinyl siding and fenestration consists of replacement vinyl sash 1/1 windows.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 226 6th Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 226 6th Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 226 6th Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 239 6th Street South

Street Address: Street #: 239 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 6th Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 704

Local Place Name(s): N/A **Lot(s):** 6

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: Heavily altered one-and-a-half story Cape Cod dwelling with replacement windows, replacement siding and roof material, and a partially enclosed brick-faced addition with a projecting gable roof attached to the southeast (front) elevation.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

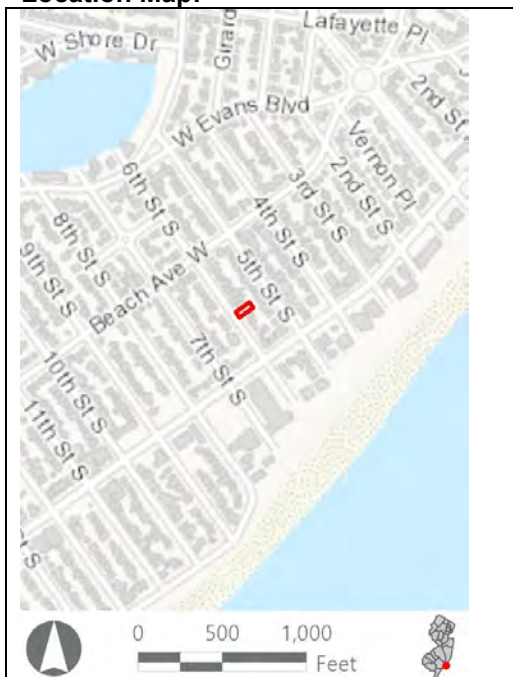


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>239 6th Street South</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1955</u>	Source:	<u>Njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Cape Cod</u>	Stories:	<u>1.5</u>
Type:	<u>N/A</u>	Bays:	<u>2</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Brick, Vinyl</u>		

Exterior Description: The resource is a heavily altered one-and-a-half-story ca. 1955 Cape Cod dwelling measuring two bays wide and three bays deep. The house rests on a concrete block foundation and is covered in vinyl siding with stretcher bond brick veneer on the southwest (front) elevation. The side gable roof is covered in asphalt shingle and is pierced by an interior brick chimney at the slope. A partially enclosed hipped roof addition capped by a projecting gable is attached to the southwest elevation. The addition includes an integral porch supported by a brick-covered pier. Fenestration consists of replacement vinyl sash casement windows, fixed windows, and 1/1 windows.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 239 6th Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 239 6th Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 239 6th Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 248 5th Street South

Street Address: Street #: 248 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 5th Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 704

Local Place Name(s): N/A **Lot(s):** 26

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: Heavily altered hipped roof minimal Ranch with two-story rear addition, replacement windows, and replacement siding and roof material. (Sept 2013 Street View)

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

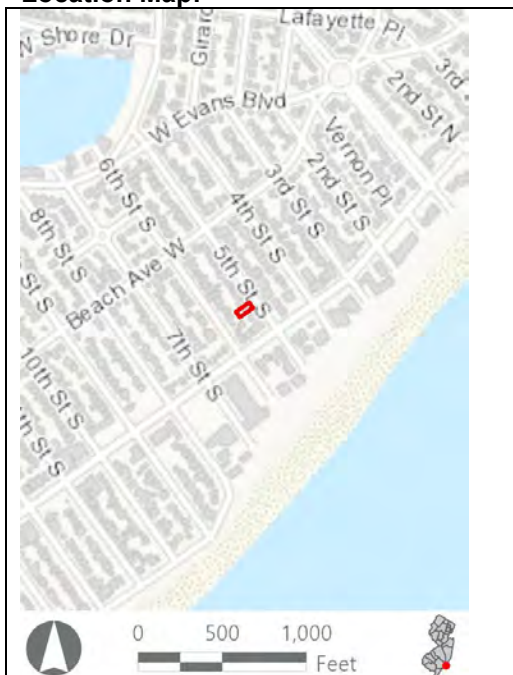


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	248 5 th Street South		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1955	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Ranch	Stories:	2
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl		

Exterior Description: The resource is a heavily altered one-story ca. 1955 hipped roof Ranch dwelling with a two-story ca. 1980 gable roof addition with flush gable ends attached to the southwest (rear) elevation. The addition of the roof includes gable returns and overhanging eaves. Roof material on the entire dwelling consists of asphalt shingle and the house is covered in replacement vinyl siding. The house rests on a concrete block foundation and fenestration consists of replacement vinyl sash 1/1 windows that are paired on the northeast (front) elevation. A historic-era one-bay garage capped by a front gable roof and covered in vinyl siding is located to the southwest of the dwelling.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 248 5th Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 248 5th Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 248 5th Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 230 6th Street South

Street Address: Street #: 230 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 6th Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 706

Local Place Name(s): N/A **Lot(s):** 21

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: Altered one-and-a-half story Colonial Revival dwelling with replacement windows, replacement siding and roof materials, and a small setback.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

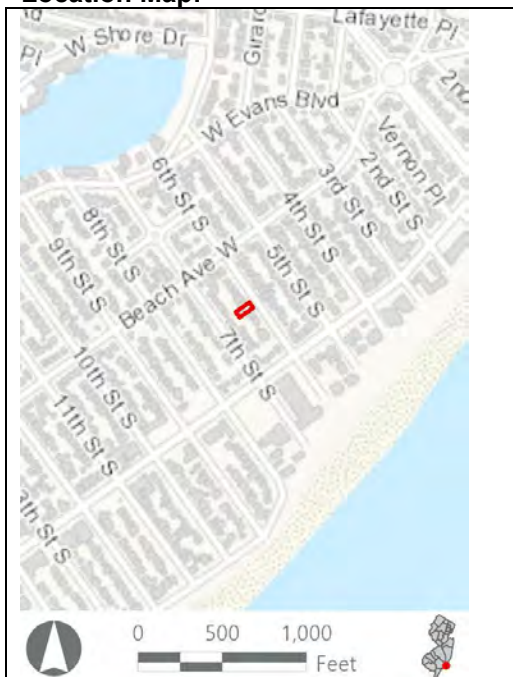


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: April 7, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. *Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ*. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: April 7, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>230 6th Street South</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1930</u>	Source:	<u>Njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Cape cod</u>	Stories:	<u>1.5</u>
Type:	<u>N/A</u>	Bays:	<u>2</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Aluminum siding</u>		

Exterior Description: The resource is an altered one-and-a-half-story ca. 1930 Colonial Revival dwelling measuring two bays wide and covered in aluminum siding. The steeply pitched side gable roof is covered in asphalt shingle and includes a shed roof dormer window. A porch on the northeast (front) elevation has been enclosed. Visible fenestration consists of replacement vinyl sash windows with simulated 6/6 panes and 1/1 windows. Foundation material was not visible at the time of survey. The house has a large setback from the southwest side of 6th street.

Interior Description: N/A

Setting: Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>April 7, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

Significance: 230 6th Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 230 6th Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 230 6th Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: April 7, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 243 6th Street South

Street Address: Street #: 243 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 6th Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 704

Local Place Name(s): N/A **Lot(s):** 5

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: The building at 243 6th Street South is a two-story brick- and stucco-clad residence with a flat roof, arched window openings, and a two-story porch.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____

National Register: _____ Local Designation: _____

New Jersey Register: _____ Other Designation: _____

Determination of Eligibility: _____ Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023

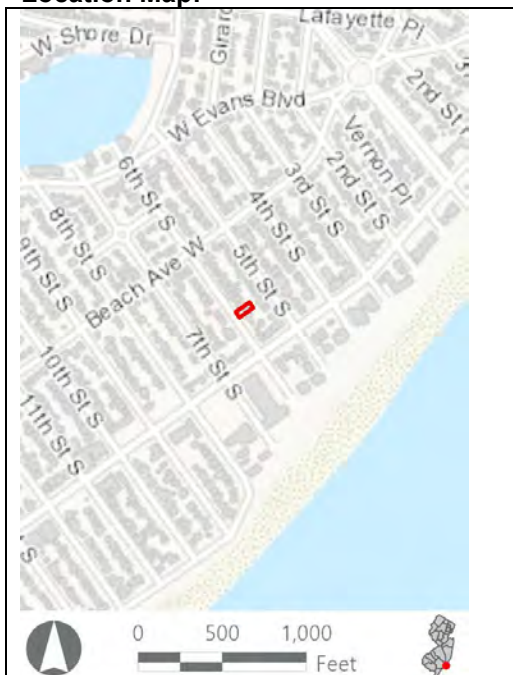
Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	243 6 th Street South		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1957	Source:	County Property Records
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Unknown; Asphalt Shingle		
Exterior Finish Materials	Brick; Stucco		

Exterior Description: The building at 243 6th Street South is a two-story residence with a flat roof. The primary (southwest) elevation is clad in brick, while remaining elevations are clad in stucco. A two-story porch spans the full width of the primary elevation and has a shed roof clad in asphalt shingle, square posts, angled braces, and a simple wood balustrade. The building has several arched window openings, although the sash are vinyl replacement units.

Interior Description: N/A

Setting: The resource is located one block from Brigantine Beach in a residential neighborhood characterized by buildings of the mid-twentieth through the early twenty-first centuries. Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

The building at 243 6th Street South was built in about 1957 as part of Brigantine's ongoing residential development.

Significance: The building at 243 6th Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

**National
Register Criteria:**

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 243 6th Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 243 6th Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 255 6th Street South

Street Address: Street #: 255 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 6th Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 704

Local Place Name(s): N/A **Lot(s):** 2

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: The building at 255 6th Street South is a one-and-one-half-story Cape Cod dwelling with vinyl siding and a small entry porch.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

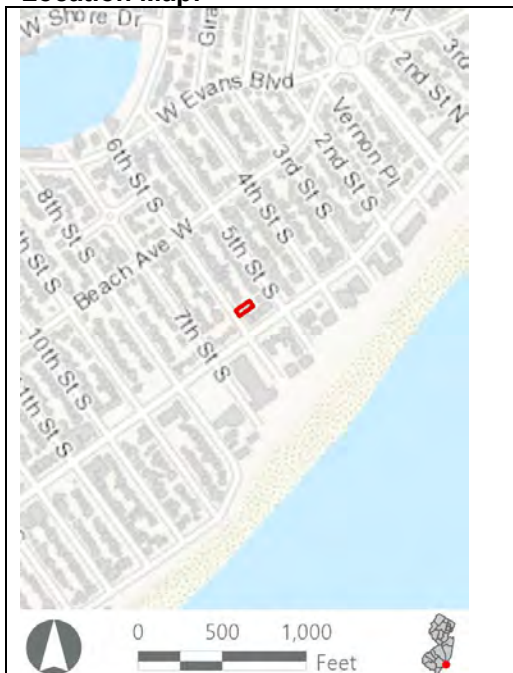


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>255 6th Street South</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1957</u>	Source:	<u>Njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Cape Cod</u>	Stories:	<u>2</u>
Type:	<u>N/A</u>	Bays:	<u>2</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Vinyl Siding</u>		

Exterior Description: The building at 255 6th Street South is a one-and-one-half-story Cape Cod dwelling with vinyl siding and a side gable roof with two gabled dormers on the primary (southwest) elevation. A single-story entry porch with a shed roof and non-historic square posts extends across approximately two-thirds of the primary elevation. Fenestration includes 1/1 vinyl sash as well as a tripartite picture window on the primary elevation.

Interior Description: N/A

Setting: The resource is located one block from Brigantine Beach in a residential neighborhood, surrounded by modestly scaled mid-twentieth-century residences. Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

The building at 255 6th Street South was built in about 1957 as part of Brigantine's ongoing residential development.

Significance: The building at 255 6th Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 255 6th Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 255 6th Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 230 7th Street South

Street Address: Street #: 230 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 7th Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 802

Local Place Name(s): N/A **Lot(s):** 19

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: The building at 230 7th Street South is a side-gabled single-story Ranch dwelling with asbestos shingle siding and vinyl windows.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

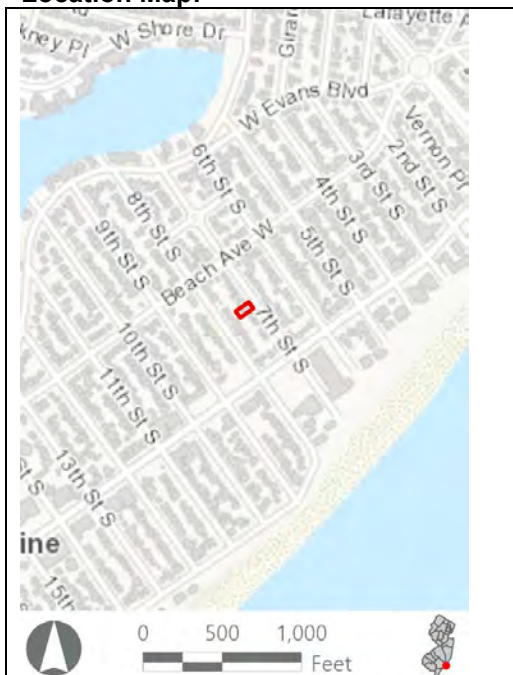
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>230 7th Street South</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1954</u>	Source:	<u>Njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Ranch</u>	Stories:	<u>1</u>
Type:	<u>N/A</u>	Bays:	<u>2</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Asbestos; Wood, Other</u>		

Exterior Description: The building at 230 7th Street South is a side-gabled single-story Ranch dwelling with two rear ells. The exterior is clad in asbestos shingle, except for the gable ends which are clad in vertical wood siding. The roofs are clad in asphalt shingle. Windows throughout are vinyl. A tripartite picture window is located adjacent to the main door on the primary (northeast) elevation.

Interior Description: N/A

Setting: The resource is located one block from Brigantine Beach in a residential neighborhood characterized by modest mid-twentieth-century residences (many with substantial alterations). Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

The building at 230 7th Street South was built in about 1954 as part of Brigantine's postwar boom in residential development.

Significance: The building at 230 7th Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 230 7th Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 230 7th Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 246 8th Street South

Street Address: Street #: 246 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 8th Suffix: S Type: ST

County(s): Atlantic Zip Code: 08203

Municipality(s): Brigantine City Block(s): 804

Local Place Name(s): N/A Lot(s): 20

Ownership: Private USGS Quad(s) Brigantine Inlet

Description: The building at 246 8th Street South is a heavily altered one-and-one-half-story Cape Cod dwelling with a two-story addition and vinyl siding.

Registration and Status Dates:

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

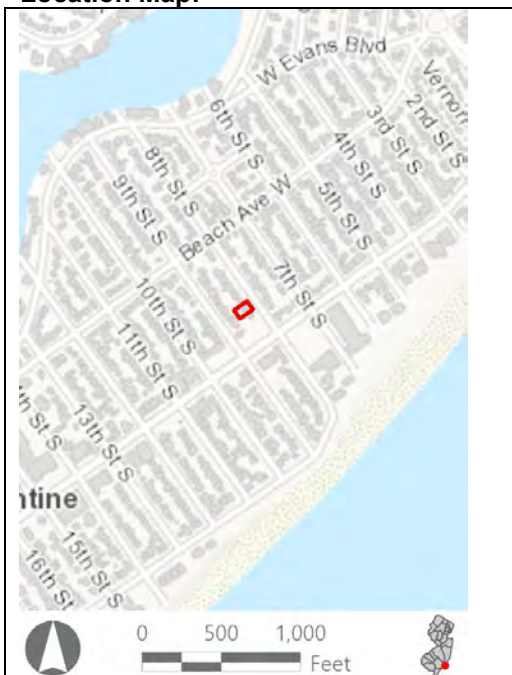
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	246 8 th Street South		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1948	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Cape Cod	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 246 8th Street South is a heavily altered one-and-one-half-story Cape Cod dwelling with vinyl siding and asphalt shingle roofing. The primary (northeast) elevation of the primary volume consists of a centered entry door under a small projecting canopy, flanked by bays of multiple vinyl windows on the first story, and a pair of gabled dormers at the upper story. To the southeast, a two-story addition has a low-sloped gable roof and pairs of vinyl windows with applied shutters. A second-floor deck is located at the rear.

Interior Description: N/A

Setting: The resource is located one block from Brigantine Beach in a mixed residential-commercial neighborhood. Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

The building at 246 8th Street South was built in about 1948 as part of Brigantine's postwar boom in residential development.

Significance: The building at 246 8th Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 246 8th Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 246 8th Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 250 8th Street South

Street Address: Street #: 250 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 8th Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 804

Local Place Name(s): N/A **Lot(s):** 21

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: The building at 250 8th Street South is a one-and-one-half-story minimal Colonial Revival dwelling with a side gable roof, brick cladding on the primary elevation, and vinyl siding on the remaining elevations.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:



Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	250 8 th Street South		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1954	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Ranch	Stories:	1
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Brick; Vinyl Siding		

Exterior Description: The building at 250 8th Street South is a one-and-one-half-story minimal Colonial Revival dwelling with a side gable roof, brick cladding on the primary elevation, and vinyl siding on the remaining elevations. The primary (northeast) elevation is arranged symmetrically, with a centered entry door flanked by windows atop spandrels clad in vinyl siding. Fenestration throughout generally consists of 1/1 vinyl windows. A flat-roofed dormer on the rear elevation includes a secondary entrance accessed via an exterior wood stair and second-floor deck.

Interior Description: N/A

Setting: The resource is located approximately one block from Brigantine Beach in a mixed residential-commercial neighborhood. Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

The building at 250 8th Street South was built in about 1954 as part of Brigantine's postwar boom in residential development.

Significance: The building at 250 8th Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

**National
Register Criteria:**

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 250 8th Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 250 8th Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

Date: February 24,
2023

BASE FORM

Historic Sites #:

Property Name: 318 16th Street South

Street Address: Street #: 318 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 16th Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 1601

Local Place Name(s): N/A **Lot(s):** 15

Ownership: Private **USGS Quad(s)** Brigantine Inlet

Description: The building at 318 16th Street South is a ca. 1950 Dutch Colonial Revival dwelling with two projecting gambrel roof bays, vinyl windows, wood shingle siding, and a wood shingle roof.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

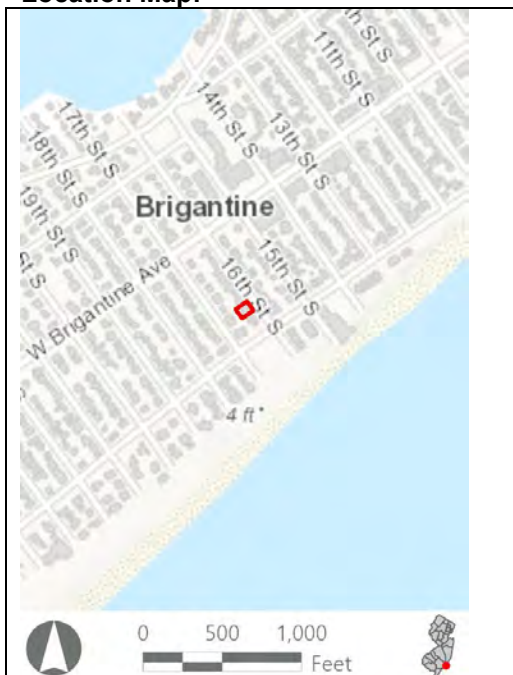


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	318 16th Street South		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1950	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Dutch Colonial Revival		
Form:	Other	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Wood, Shingle		
Exterior Finish Materials	Wood, Shingle		

Exterior Description: The building at 318 16th Street South is a ca. 1950 one-and-one-half-story Dutch Colonial Revival dwelling with wood shingle siding. The building consists of a central side-gabled volume and two projecting gambrel roof bays, all with wood shingle roofing. On the primary (northeast) elevation, the side-gabled volume has a shed-roofed dormer and a single-story entry porch with square posts, within which the primary entrance consists of a door with sidelights. The gable ends of the projecting gambrel bays feature bracketed, arched moldings and shaped wood shingles. Windows throughout are vinyl sash with simulated divided lights.

Interior Description: N/A

Setting: The resource is located approximately one block from Brigantine Beach in a residential neighborhood surrounded by residences of the mid-twentieth early twenty-first centuries. Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

The building at 318 16th Street South was built in about 1950 as part of Brigantine's postwar boom in residential development.

Significance: The building at 318 16th Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

**National
Register Criteria:**

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 318 16th Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 318 16th Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &
Organization: Environmental Services, D.P.C

Date: February 24,
2023

BASE FORM

Historic Sites #:

Property Name: 1900 Ocean Avenue

Street Address: Street #: 1900 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 1406

Local Place Name(s): N/A **Lot(s):** 4

Ownership: Private **USGS Quad(s)** Oceanville

Description: The building at 19900 Ocean Avenue is a single-story Ranch dwelling with stucco siding, an H-shaped plan with an integrated single-bay garage, and a gable-on-hip roof.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

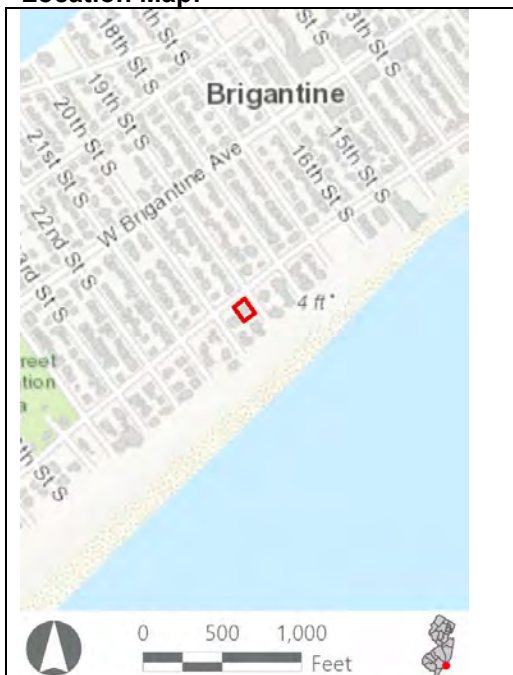
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 1900 Ocean Avenue
Historic Name: N/A
Present Use: Residential activity, permanent
Historic Use: Residential activity, permanent
Construction Date: 1958 **Source:** Njtaxrecords.net
Alteration Date(s): N/A **Source:** N/A
Designer: N/A **Physical Condition:** Good
Builder: N/A **Remaining Historic Fabric:** Low
Style: None
Form: Ranch **Stories:** 1
Type: N/A **Bays:** 2
Roof Finish Materials: Asphalt Shingle
Exterior Finish Materials: Stucco

Exterior Description: The building at 1900 Ocean Avenue is a single-story Ranch dwelling with stucco siding, an H-shaped plan with an integrated single-bay garage, and a gable-on-hip roof with cross gables. The primary (northwest) elevation consists of a recessed central bay containing the entry and a large picture window, flanked by two projecting bays containing a pair of windows to the northeast and a single-bay garage to the southwest. An off-centered brick chimney rises from the northwest slope of the roof. Fenestration consists of two-over-two windows with horizontal muntins and wood shutters.

Interior Description: N/A

Setting: The resource is on a corner lot roughly one-half block from Brigantine Beach in a residential neighborhood. Surrounding residences are a mix of mid-twentieth-century to early-twenty-first-century buildings. Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

The building at 1900 Ocean Avenue was built in about 1958 as part of a boom in Brigantine residential development.

Significance: The building at 1900 Ocean Avenue is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1900 Ocean Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 1900 Ocean Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 2201 Ocean Avenue

Street Address: Street #: 2201 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 2101

Local Place Name(s): N/A **Lot(s):** 20

Ownership: Private **USGS Quad(s)** Oceanville

Description: The building at 2201 Ocean Avenue is a circa-1982 Ranch dwelling with stone exterior cladding and a complex hipped and gable-on-hip roof with overhanging eaves.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

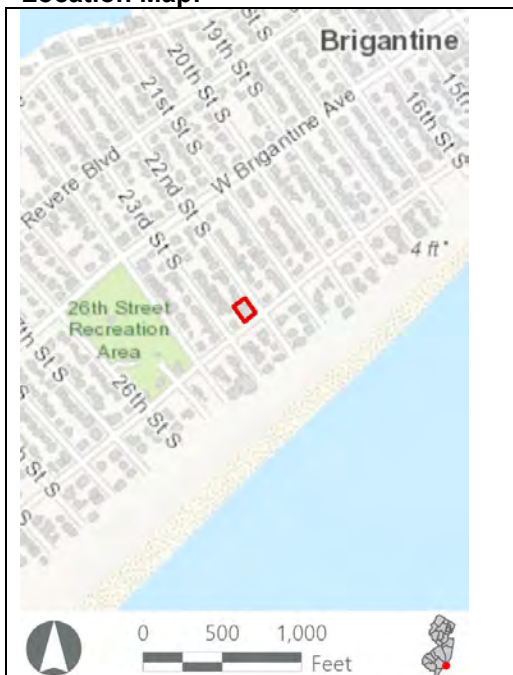
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 2201 Ocean Avenue

Historic Name: N/A

Present Use: Residential activity, permanent

Historic Use: Residential activity, permanent

Construction Date: 1982 **Source:** Njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Good

Builder: N/A **Remaining Historic Fabric:** Low

Style: Other

Form: Ranch **Stories:** 1

Type: N/A **Bays:** 3

Roof Finish Materials: Asphalt Shingle

Exterior Finish Materials Stone

Exterior Description: The building at 2201 Ocean Avenue is a circa-1982 Ranch dwelling with rubble stone exterior cladding. The complex hipped and gable-on-hip roof has deeply overhanging eaves and is clad in asphalt shingle. Fenestration consists of large single-light casement windows in gangs of four or more. The primary (northeast) elevation is asymmetrically arranged, with a recessed entry featuring a double-leaf glazed door with sidelights.

Interior Description: N/A

Setting: The resource is located one block from Brigantine Beach in a residential neighborhood, surrounded by other homes of the early twentieth through the early twenty-first centuries. Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

The building at 2201 Ocean Avenue was built in about 1981, replacing an earlier building on the site.

Significance: The building at 2201 Ocean Avenue is associated with late-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 2201 Ocean Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 2201 Ocean Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 406 20th Street South

Street Address: Street #: 406 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 20th Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 1801

Local Place Name(s): N/A **Lot(s):** 8

Ownership: Private **USGS Quad(s)** Oceanville

Description: The building at 406 20th Street South is a circa-1981 three-story Modernistic dwelling with a square footprint, stucco exterior, flat roof, tripartite windows, and a semicircular canopy over the primary entrance on the northeast elevation.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

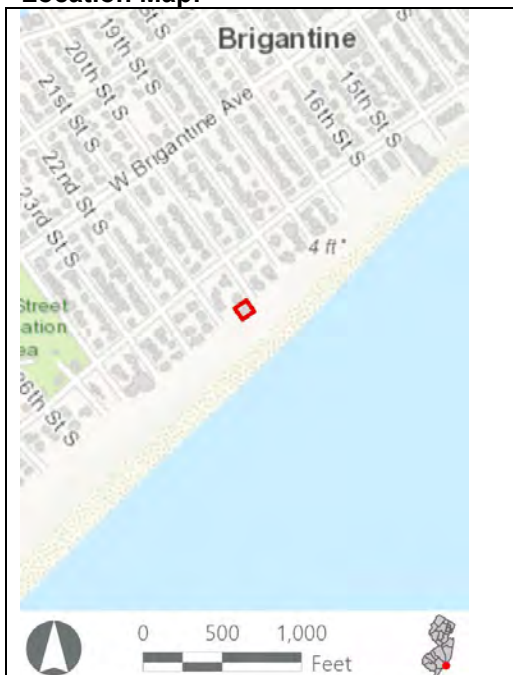


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 406 20th Street South
Historic Name: N/A
Present Use: Residential activity, permanent
Historic Use: Residential activity, permanent
Construction Date: 1981 **Source:** Njtaxrecords.net
Alteration Date(s): N/A **Source:** N/A
Designer: N/A **Physical Condition:** Good
Builder: N/A **Remaining Historic Fabric:** Low
Style: Modernistic
Form: Other **Stories:** 3
Type: N/A **Bays:** 3
Roof Finish Materials: Unknown
Exterior Finish Materials: Concrete

Exterior Description: The building at 406 20th Street South is a circa-1981 three-story Modernistic dwelling with a square footprint, stucco exterior, and flat roof with a rooftop deck. The primary (northeast) elevation is arranged symmetrically, with a semicircular canopy over the entrance. Fenestration generally consists of groups of three casement sash. Porches at all three floors occupy the full width of the ocean-facing southeast elevation, with a cantilevered canopy at roof level sheltering the third-floor porch.

Interior Description: N/A

Setting: The resource is located directly overlooking Brigantine Beach in a residential neighborhood surrounded by homes of the early twentieth through the early twenty-first centuries. Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

The building at 406 20th Street South was built in about 1981, replacing an earlier building on the site.

Significance: The building at 406 20th Street South is associated with late-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 406 20th Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 406 20th Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 400 26th Street South

Street Address: Street #: 400 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 26th Suffix: S Type: ST

County(s): Atlantic **Zip Code:** 08203

Municipality(s): Brigantine City **Block(s):** 2301

Local Place Name(s): N/A **Lot(s):** 5

Ownership: Private **USGS Quad(s)** Oceanville

Description: The building at 400 26th Street South is a heavily altered two-and-one-half-story Cape Cod dwelling with a two-story central projecting gable on the primary (northeast) elevation, replacement windows, and replacement siding and roof material. Two-story additions are attached to the northwest and southeast elevations and a one-bay garage is located on the southeast elevation.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

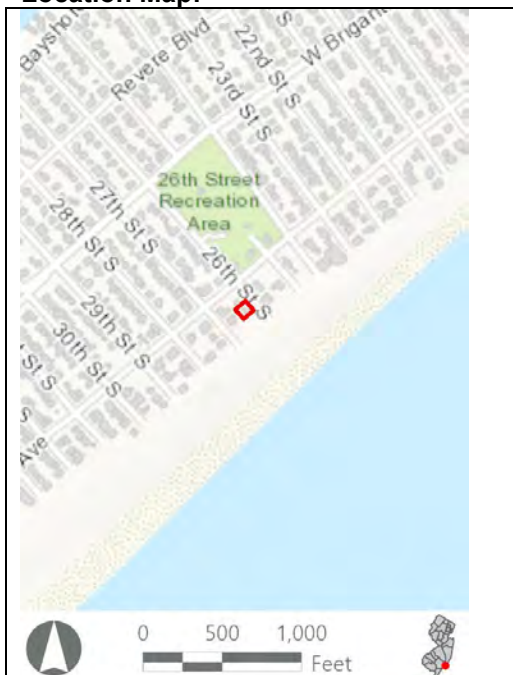


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Historic American Buildings Survey. 1991. Forked River Game Farm, Main Street (U.S. Highway 9) North of Lacey Road, Forked River, Ocean County, NJ. HABS No. NJ-1200. Available at: <https://www.loc.gov/pictures/collection/hh/item/nj1502/> (Accessed February 2023).

NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	400 26 th Street South		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1955	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Cape Cod	Stories:	3
Type:	N/A	Bays:	4
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 400 26th Street South is a heavily altered two-and-one-half-story Cape Cod dwelling with a two-story central projecting gable on the primary (northeast) elevation, a two-story addition at the northwest and southeast elevations, and a one-bay attached garage at the southeast elevation. The building was constructed in about 1955 and appears to have been a one-and-one-half-story Cape Cod dwelling that was later raised to two-and-one-half stories with multiple additions. The roof is clad in asphalt shingle and features two gabled dormers on the northeast elevation. The exterior is clad in vinyl siding. Fenestration throughout consists of vinyl one-over-one windows in singles and pairs, along with several large single-light fixed sash. The rear yard is enclosed with a concrete block wall and chain link fence.

Interior Description: N/A

Setting: The resource is in a residential neighborhood, surrounded by other homes, with a public parking lot between it and Brigantine Beach. Brigantine is laid out in a rectilinear grid extending two-thirds of the island with curvilinear development on the northern extent of the city. The North Brigantine Natural Area on the northern limit of the island was added to New Jersey's Natural Area System in 1967 to preserve the salt marsh habitats, coastal dunes, and rare species habitats (HABS, 1991). Brigantine Avenue (CR 638) is the primary arterial, eventually connecting to the mainland via Atlantic City to the southwest.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The city of Brigantine is in the extreme southeastern extent of Atlantic County on Brigantine Island. The first Euro-American family to settle in Brigantine arrived in 1730 followed by more settlers in the 1760s. By 1805, there were seven houses and a boarding house on the island and by the mid-nineteenth century, the island had numerous hotels. In 1880, the Brigantine Land Company began platting land and selling lots. However, the most meaningful development period occurred in the early 1920s when the Island Development Company began developing residential and commercial properties on most of the island. The city was formally incorporated in 1924 and in 1926 the iconic (although nonfunctional) Brigantine Lighthouse was constructed by the company to attract residents to the island. The first bridge to Atlantic City was also built in 1924. Historic aerials show the first appearance of the street grid and the curvilinear streets to the north in 1931 with only scattered housing construction. In 1957, the grid is mostly filled out but the curvilinear section to the north and an undeveloped section on the southern tip of the island remain without housing. The island, except for the North Brigantine Natural Area, is almost completely built out by 1984. Beginning in the late 1980s, the residential housing stock in Brigantine began to see large-scale demolition of historic-era housing in favor of more modern, often two-to-three-story houses. This is particularly evident along the coastline, as many historic-era homes have been destroyed by hurricane effects. However, in the interior of the Brigantine's residential core, many homeowners have opted to demolish and rebuild rather than restore or rehabilitate historic-era properties. Brigantine is still a very popular vacation destination, offering a more family-friendly atmosphere compared to Atlantic City to the southwest (HABS, 1991; NETR, 2023).

The building at 400 26th Street South was built in about 1955 as part of a seaside residential development. It appears to have been raised to two-and-one-half stories and otherwise altered in the late twentieth century.

Significance: The building at 400 26th Street South is associated with mid-twentieth-century development in Brigantine City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 400 26th Street South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 400 26th Street South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &
Organization: Environmental Services, D.P.C

Date: February 24,
2023

BASE FORM

Historic Sites #:

Property Name: 15 East Sussex Avenue

Street Address: Street #: 15 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: Sussex Suffix: N/A Type: AVE

County(s): Ocean **Zip Code:** 08008

Municipality(s): Harvey Cedars Borough **Block(s):** 43

Local Place Name(s): N/A **Lot(s):** 5

Ownership: Private **USGS Quad(s)** Hammonton

Description: The residence at 15 East Sussex Avenue is a Contemporary oceanfront two-story single-family home with a stepped façade.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

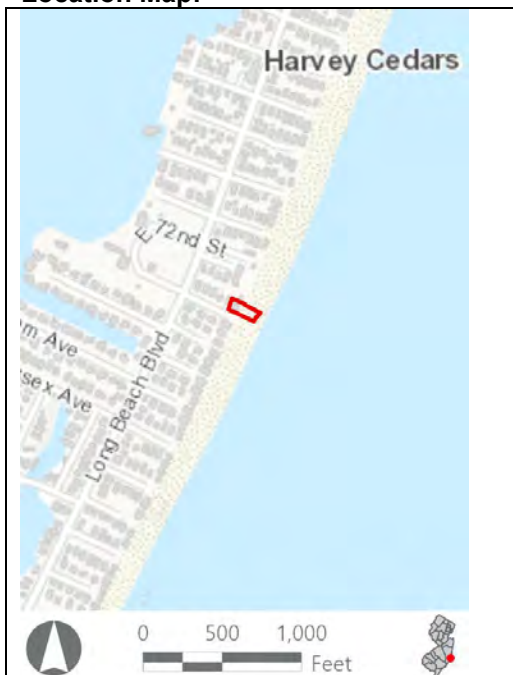
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Buchholz, M.T. 2023. *The History of Harvey Cedars*. Available at <https://www.harveycedars.org/cn/webpage.cfm?tpid=14777> (Accessed February 2023).

Gaydos, C. 2017. "Sand Castle, Pyramid, Banal Box." *Bay Magazine*. Available at <https://www.bay-magazine.com/single-post/2017/05/01/sand-castle-pyramid-banal-box> (Accessed February 2023).

Harvey Cedars Bible Conference. 2023. *History*. Available at <https://www.hcbible.org/history> (Accessed February 2023).

Heritage Studies, Inc. 1981. *Long Beach Island*. NJ Historic Sites Inventory, Ocean County Vol. 35. Available at https://nj.gov/dep/hpo/hrrcn_sandy_OCE_GB_147_148_PDF/OCE_GB_148_v35.pdf (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey: _____
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &
Organization: Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 15 East Sussex Avenue

Historic Name: N/A

Present Use: Residential Activity, Permanent

Historic Use: Residential Activity, Permanent

Construction Date: 1979 **Source:** www.njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Good

Builder: N/A **Remaining Historic Fabric:** Low

Style: Other

Form: Irregular **Stories:** 2

Type: N/A **Bays:** 3

Roof Finish Materials: Metal

Exterior Finish Materials Wood, Shingles

Exterior Description: The residence at 15 East Sussex Avenue is a Contemporary oceanfront two-story single-family home with a stepped façade. The building has a flat roof with a pyramidal cupola. The walls are clad in wood shingle siding. The fenestration is largely horizontal in orientation. An oversized pent roof is located on a stepped-back angled bay of the façade. There is a small second-story balcony located in the center bay of the façade.

Interior Description: N/A

Setting: The residence at 15 East Sussex Avenue is an oceanfront property surrounded by like buildings with direct beach access. Historic aerial imagery shows development in Harvey Cedars throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Harvey Cedars is a borough in Ocean County located on the barrier island of Long Beach Island. "Harvey" is either derived from the word "harvest" or refers to an early settler who ran whaling quarters in the eighteenth century. "Cedars" refers to the cedar forest that used to cover the northern part of Long Beach Island until it was destroyed by a hurricane in 1821. The opening of the Harvey Cedars Hotel in the 1840s. The Harvey Cedars Hotel which opened in the 1840s served as a boarding house for sportsmen and was popular for its large dance hall. In the late-nineteenth century, additional boarding houses, mansions, cottages, a pavilion, a general store, and a yacht club were built in Harvey Cedars and High Point, the northern part of present-day Harvey Cedars. In addition to the summer resort industry, seaweed harvesting and fishing were major industries in Harvey Cedars and High Point in the nineteenth century. In 1886, the area became accessible directly by railroad with the construction of the Long Beach Railroad. In 1914, Harvey Cedars became accessible by automobile with the construction of a causeway over Barnegat Bay and a boulevard across the island. In the 1930s, Harvey Cedars gained a reputation as an art colony, spurring the construction of several unique and modern houses designed by prominent architects over the next several decades. In 1944, a major hurricane caused significant damage to the borough, and homes and infrastructure were subsequently rebuilt. Another storm in 1962 caused more damage to the borough, which was still recovering from the 1944 hurricane. Development accelerated in the mid- to late-twentieth century as residents rebuilt from the storm. Today, most of the borough consists of private developments and enclaves (Buchholz, 2023; Heritage Studies, Inc., 1981; Harvey Cedars Bible Conference, 2023; Gaydos, 2017).

Significance: 15 East Sussex Avenue is associated with late-twentieth-century development in Harvey Cedars Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 15 East Sussex Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 15 East Sussex Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24,
2023

BASE FORM

Historic Sites #:

Property Name: 7101 Long Beach Boulevard

Street Address: Street #: 7101 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Long Beach Suffix: N/A Type: BLVD

County(s): Ocean **Zip Code:** 08008

Municipality(s): Harvey Cedars Borough **Block(s):** 43

Local Place Name(s): N/A **Lot(s):** 6

Ownership: Private **USGS Quad(s)** Hammonton

Description: The residence at 7101 Long Beach Boulevard is a two-story oceanfront side-gabled home with wood shingle siding, a recessed porch on the first story, and a recessed deck overlooking the ocean on the second story.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

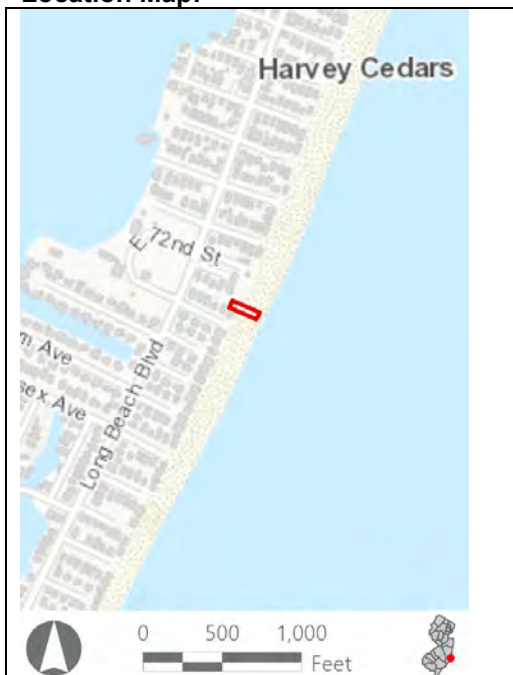
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Buchholz, M.T. 2023. *The History of Harvey Cedars*. Available at <https://www.harveycedars.org/cn/webpage.cfm?tpid=14777> (Accessed February 2023).

Gaydos, C. 2017. "Sand Castle, Pyramid, Banal Box." *Bay Magazine*. Available at <https://www.bay-magazine.com/single-post/2017/05/01/sand-castle-pyramid-banal-box> (Accessed February 2023).

Harvey Cedars Bible Conference. 2023. *History*. Available at <https://www.hcbible.org/history> (Accessed February 2023).

Heritage Studies, Inc. 1981. *Long Beach Island*. NJ Historic Sites Inventory, Ocean County Vol. 35. Available at https://nj.gov/dep/hpo/hrrcn_sandy_OCE_GB_147_148_PDF/OCE_GB_148_v35.pdf (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 7101 Long Beach Boulevard
Historic Name: N/A
Present Use: Residential Activity, Permanent
Historic Use: Residential Activity, Permanent
Construction Date: 1980 **Source:** www.njtaxrecords.net
Alteration Date(s): N/A **Source:** N/A
Designer: N/A **Physical Condition:** Good
Builder: N/A **Remaining Historic Fabric:** Low
Style: None
Form: Other **Stories:** 2
Type: N/A **Bays:** 2
Roof Finish Materials: Asphalt Shingle
Exterior Finish Materials Wood, Shingles

Exterior Description: The residence at 7101 Long Beach Boulevard is a two-story rectangular plan with a side-gabled roof with a shallow pitch. The walls are clad in wood shingle siding. The primary elevation, which faces the beach, steps back on the right bay of the second story to form a deck. The left bay on the first story also steps back to form a porch. The fenestration is a variety of 1/1 sash and three-part window bays.

Interior Description: N/A

Setting: The residence at 7101 Long Beach Boulevard is an oceanfront property surrounded by like buildings with direct beach access. Historic aerial imagery shows development in Harvey Cedars throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Harvey Cedars is a borough in Ocean County located on the barrier island of Long Beach Island. "Harvey" is either derived from the word "harvest" or refers to an early settler who ran whaling quarters in the eighteenth century. "Cedars" refers to the cedar forest that used to cover the northern part of Long Beach Island until it was destroyed by a hurricane in 1821. The opening of the Harvey Cedars Hotel in the 1840s. The Harvey Cedars Hotel which opened in the 1840s served as a boarding house for sportsmen and was popular for its large dance hall. In the late-nineteenth century, additional boarding houses, mansions, cottages, a pavilion, a general store, and a yacht club were built in Harvey Cedars and High Point, the northern part of present-day Harvey Cedars. In addition to the summer resort industry, seaweed harvesting and fishing were major industries in Harvey Cedars and High Point in the nineteenth century. In 1886, the area became accessible directly by railroad with the construction of the Long Beach Railroad. In 1914, Harvey Cedars became accessible by automobile with the construction of a causeway over Barnegat Bay and a boulevard across the island. In the 1930s, Harvey Cedars gained a reputation as an art colony, spurring the construction of several unique and modern houses designed by prominent architects over the next several decades. In 1944, a major hurricane caused significant damage to the borough, and homes and infrastructure were subsequently rebuilt. Another storm in 1962 caused more damage to the borough, which was still recovering from the 1944 hurricane. Development accelerated in the mid- to late-twentieth century as residents rebuilt from the storm. Today, most of the borough consists of private developments and enclaves (Buchholz, 2023; Heritage Studies, Inc., 1981; Harvey Cedars Bible Conference, 2023; Gaydos, 2017).

Significance: 7101 Long Beach Boulevard is associated with late-twentieth-century development in Harvey Cedars Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 7101 Long Beach Boulevard is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 7101 Long Beach Boulevard is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 12 East Cumberland Avenue

Street Address: Street #: 12 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: Cumberland Suffix: N/A Type: AVE

County(s): Ocean **Zip Code:** 08008

Municipality(s): Harvey Cedars Borough **Block(s):** 6

Local Place Name(s): N/A **Lot(s):** 40

Ownership: Private **USGS Quad(s)** Hammonton

Description: The residence at 12 East Cumberland Avenue is a rectangular two-story oceanfront Contemporary home.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

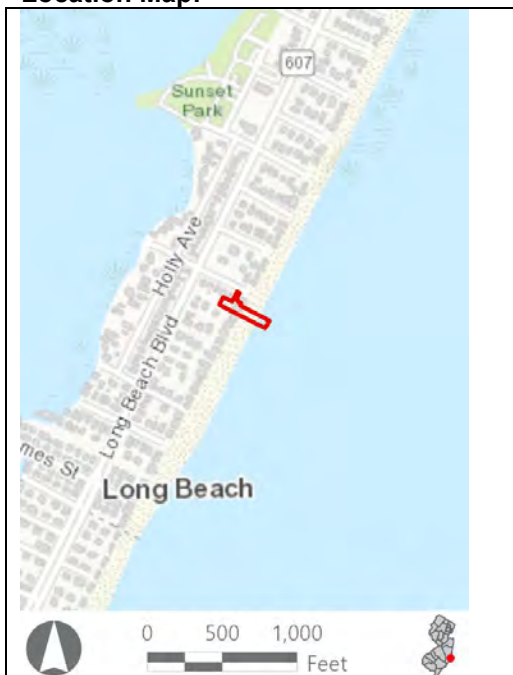


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Buchholz, M.T. 2023. *The History of Harvey Cedars*. Available at <https://www.harveycedars.org/cn/webpage.cfm?tpid=14777> (Accessed February 2023).

Gaydos, C. 2017. "Sand Castle, Pyramid, Banal Box." *Bay Magazine*. Available at <https://www.bay-magazine.com/single-post/2017/05/01/sand-castle-pyramid-banal-box> (Accessed February 2023).

Harvey Cedars Bible Conference. 2023. *History*. Available at <https://www.hcbible.org/history> (Accessed February 2023).

Heritage Studies, Inc. 1981. *Long Beach Island*. NJ Historic Sites Inventory, Ocean County Vol. 35. Available at https://nj.gov/dep/hpo/hrrcn_sandy_OCE_GB_147_148_PDF/OCE_GB_148_v35.pdf (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	12 East Cumberland Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1960	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	1
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Wood, Shingles		

Exterior Description: The residence at 12 East Cumberland Avenue is a rectangular two-story oceanfront Contemporary home. The building has a flat roof with a rooftop deck and the walls are clad in wood shingle siding. Sliding patio doors on the façade open onto a two-tiered front porch.

Interior Description: N/A

Setting: The residence at 12 East Cumberland Avenue is an oceanfront property surrounded by like buildings with direct beach access. Historic aerial imagery shows development in Harvey Cedars throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Harvey Cedars is a borough in Ocean County located on the barrier island of Long Beach Island. "Harvey" is either derived from the word "harvest" or refers to an early settler who ran whaling quarters in the eighteenth century. "Cedars" refers to the cedar forest that used to cover the northern part of Long Beach Island until it was destroyed by a hurricane in 1821. The opening of the Harvey Cedars Hotel in the 1840s. The Harvey Cedars Hotel which opened in the 1840s served as a boarding house for sportsmen and was popular for its large dance hall. In the late-nineteenth century, additional boarding houses, mansions, cottages, a pavilion, a general store, and a yacht club were built in Harvey Cedars and High Point, the northern part of present-day Harvey Cedars. In addition to the summer resort industry, seaweed harvesting and fishing were major industries in Harvey Cedars and High Point in the nineteenth century. In 1886, the area became accessible directly by railroad with the construction of the Long Beach Railroad. In 1914, Harvey Cedars became accessible by automobile with the construction of a causeway over Barnegat Bay and a boulevard across the island. In the 1930s, Harvey Cedars gained a reputation as an art colony, spurring the construction of several unique and modern houses designed by prominent architects over the next several decades. In 1944, a major hurricane caused significant damage to the borough, and homes and infrastructure were subsequently rebuilt. Another storm in 1962 caused more damage to the borough, which was still recovering from the 1944 hurricane. Development accelerated in the mid- to late-twentieth century as residents rebuilt from the storm. Today, most of the borough consists of private developments and enclaves (Buchholz, 2023; Heritage Studies, Inc., 1981; Harvey Cedars Bible Conference, 2023; Gaydos, 2017).

Significance: 12 East Cumberland Avenue is associated with mid-twentieth-century development in Harvey Cedars Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 12 East Cumberland Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 12 East Cumberland Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 8A East 69th Street

Street Address: Street #: 8-A N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: 69th Suffix: N/A Type: ST

County(s): Ocean **Zip Code:** 08008

Municipality(s): Harvey Cedars Borough **Block(s):** 42.01

Local Place Name(s): N/A **Lot(s):** 7

Ownership: Private **USGS Quad(s)** Hammonton

Description: The residence at 8A East 69th Street is a two-story oceanfront Contemporary home with vertical flushboard siding and a central pavilion with an oculus.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

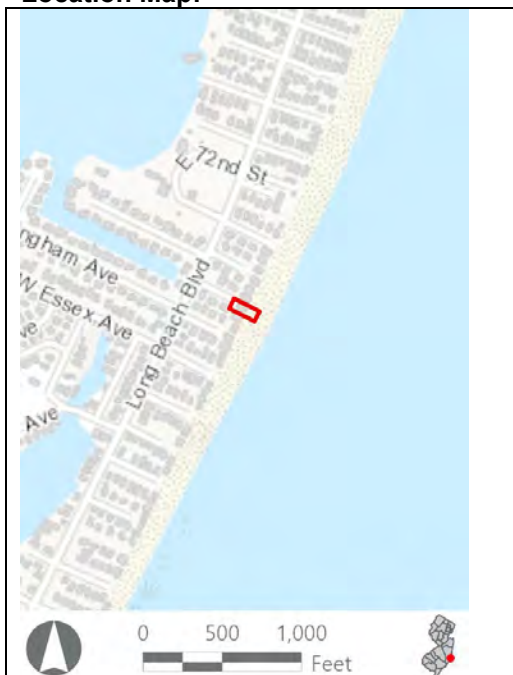
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Buchholz, M.T. 2023. *The History of Harvey Cedars*. Available at <https://www.harveycedars.org/cn/webpage.cfm?tpid=14777> (Accessed February 2023).

Gaydos, C. 2017. "Sand Castle, Pyramid, Banal Box." *Bay Magazine*. Available at <https://www.bay-magazine.com/single-post/2017/05/01/sand-castle-pyramid-banal-box> (Accessed February 2023).

Harvey Cedars Bible Conference. 2023. *History*. Available at <https://www.hcbible.org/history> (Accessed February 2023).

Heritage Studies, Inc. 1981. *Long Beach Island*. NJ Historic Sites Inventory, Ocean County Vol. 35. Available at https://nj.gov/dep/hpo/hrrcn_sandy_OCE_GB_147_148_PDF/OCE_GB_148_v35.pdf (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 8A East 69th Street
Historic Name: N/A
Present Use: Residential Activity, Permanent
Historic Use: Residential Activity, Permanent
Construction Date: 1970 **Source:** www.njtaxrecords.net
Alteration Date(s): N/A **Source:** N/A
Designer: N/A **Physical Condition:** Good
Builder: N/A **Remaining Historic Fabric:** Low
Style: Other
Form: Irregular **Stories:** 2
Type: N/A **Bays:** 1
Roof Finish Materials: Asphalt Shingle
Exterior Finish Materials Wood, Flush

Exterior Description: The residence at 8A East 69th Street is a two-story oceanfront Contemporary home with vertical flushboard siding and a central pavilion with an oculus. The pavilion projects forward of a center entry and appears to have a rooftop deck. On either side of the pavilion are sliding patio doors that open onto elevated decks. Under each deck, which is supported from underneath by wood posts and braces, is a carport.

Interior Description: N/A

Setting: The residence at 8A East 69th Street is an oceanfront property surrounded by like buildings with direct beach access. Historic aerial imagery shows development in Harvey Cedars throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Harvey Cedars is a borough in Ocean County located on the barrier island of Long Beach Island. "Harvey" is either derived from the word "harvest" or refers to an early settler who ran whaling quarters in the eighteenth century. "Cedars" refers to the cedar forest that used to cover the northern part of Long Beach Island until it was destroyed by a hurricane in 1821. The opening of the Harvey Cedars Hotel in the 1840s. The Harvey Cedars Hotel which opened in the 1840s served as a boarding house for sportsmen and was popular for its large dance hall. In the late-nineteenth century, additional boarding houses, mansions, cottages, a pavilion, a general store, and a yacht club were built in Harvey Cedars and High Point, the northern part of present-day Harvey Cedars. In addition to the summer resort industry, seaweed harvesting and fishing were major industries in Harvey Cedars and High Point in the nineteenth century. In 1886, the area became accessible directly by railroad with the construction of the Long Beach Railroad. In 1914, Harvey Cedars became accessible by automobile with the construction of a causeway over Barnegat Bay and a boulevard across the island. In the 1930s, Harvey Cedars gained a reputation as an art colony, spurring the construction of several unique and modern houses designed by prominent architects over the next several decades. In 1944, a major hurricane caused significant damage to the borough, and homes and infrastructure were subsequently rebuilt. Another storm in 1962 caused more damage to the borough, which was still recovering from the 1944 hurricane. Development accelerated in the mid- to late-twentieth century as residents rebuilt from the storm. Today, most of the borough consists of private developments and enclaves (Buchholz, 2023; Heritage Studies, Inc., 1981; Harvey Cedars Bible Conference, 2023; Gaydos, 2017).

Significance: 8A East 69th Street is associated with late-twentieth-century development in Harvey Cedars Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 8A East 69th Street is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 8A East 69th Street is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

Date: February 24,
2023

BASE FORM

Historic Sites #:

Property Name: 6311F Long Beach Boulevard

Street Address: Street #: 6311F N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Long Beach Suffix: N/A Type: BLVD

County(s): Ocean **Zip Code:** 08008

Municipality(s): Harvey Cedars Borough **Block(s):** 38

Local Place Name(s): N/A **Lot(s):** 18

Ownership: Private **USGS Quad(s)** Hammonton

Description: The residence at 6311F Long Beach Boulevard is an elevated one-story oceanfront Contemporary home on a rectangular plan. The residence has a gabled roof monitor and wide overhanging eaves. The fenestration is flat-arch fixed or casement sash. Most are high on the façade and small. The wall cladding is vertical vinyl siding.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

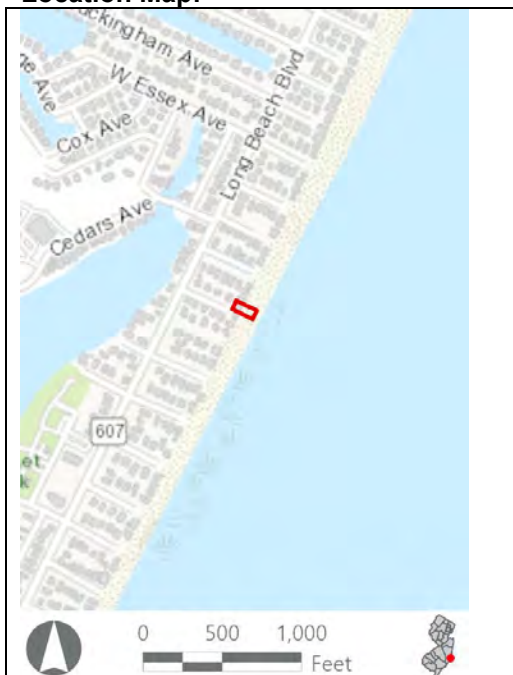


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Buchholz, M.T. 2023. *The History of Harvey Cedars*. Available at <https://www.harveycedars.org/cn/webpage.cfm?tpid=14777> (Accessed February 2023).

Gaydos, C. 2017. "Sand Castle, Pyramid, Banal Box." *Bay Magazine*. Available at <https://www.bay-magazine.com/single-post/2017/05/01/sand-castle-pyramid-banal-box> (Accessed February 2023).

Harvey Cedars Bible Conference. 2023. *History*. Available at <https://www.hcbible.org/history> (Accessed February 2023).

Heritage Studies, Inc. 1981. *Long Beach Island*. NJ Historic Sites Inventory, Ocean County Vol. 35. Available at https://nj.gov/dep/hpo/hrrcn_sandy_OCE_GB_147_148_PDF/OCE_GB_148_v35.pdf (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	6311F Long Beach Boulevard		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1971	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	1
Type:	N/A	Bays:	N/A
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The residence at 6311F Long Beach Boulevard is an elevated one-story oceanfront Contemporary home on a rectangular plan. The residence has a gabled roof monitor and wide overhanging eaves. The fenestration is flat-arch fixed or casement sash. Most are high on the façade and small. The wall cladding is vertical vinyl siding. The house is elevated almost two stories in height and is supported by unfinished wood posts and braces. There appears to be an exterior elevator tower with an attached deck reached by two flights of wooden stairs. There appears to also be a deck on the beach-facing elevation reached by a separate set of stairs.

Interior Description: N/A

Setting: The residence at 6311F Long Beach Boulevard is an oceanfront property surrounded by like buildings with direct beach access. Historic aerial imagery shows development in Harvey Cedars throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Harvey Cedars is a borough in Ocean County located on the barrier island of Long Beach Island. "Harvey" is either derived from the word "harvest" or refers to an early settler who ran whaling quarters in the eighteenth century. "Cedars" refers to the cedar forest that used to cover the northern part of Long Beach Island until it was destroyed by a hurricane in 1821. The opening of the Harvey Cedars Hotel in the 1840s. The Harvey Cedars Hotel which opened in the 1840s served as a boarding house for sportsmen and was popular for its large dance hall. In the late-nineteenth century, additional boarding houses, mansions, cottages, a pavilion, a general store, and a yacht club were built in Harvey Cedars and High Point, the northern part of present-day Harvey Cedars. In addition to the summer resort industry, seaweed harvesting and fishing were major industries in Harvey Cedars and High Point in the nineteenth century. In 1886, the area became accessible directly by railroad with the construction of the Long Beach Railroad. In 1914, Harvey Cedars became accessible by automobile with the construction of a causeway over Barnegat Bay and a boulevard across the island. In the 1930s, Harvey Cedars gained a reputation as an art colony, spurring the construction of several unique and modern houses designed by prominent architects over the next several decades. In 1944, a major hurricane caused significant damage to the borough, and homes and infrastructure were subsequently rebuilt. Another storm in 1962 caused more damage to the borough, which was still recovering from the 1944 hurricane. Development accelerated in the mid- to late-twentieth century as residents rebuilt from the storm. Today, most of the borough consists of private developments and enclaves (Buchholz, 2023; Heritage Studies, Inc., 1981; Harvey Cedars Bible Conference, 2023; Gaydos, 2017).

Significance: 6311F Long Beach Boulevard is associated with late-twentieth-century development in Harvey Cedars Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 6311F Long Beach Boulevard is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 6311F Long Beach Boulevard is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

Date: February 24,
2023

BASE FORM

Historic Sites #:

Property Name: 13 East 86th Street

Street Address: Street #: 13 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: 86th Suffix: N/A Type: ST

County(s): Ocean Zip Code: 08008

Municipality(s): Harvey Cedars Borough Block(s): 86

Local Place Name(s): N/A Lot(s): 4

Ownership: Private USGS Quad(s) Hammonton

Description: The residence at 13 East 86th Street is a two-story oceanfront shed-roof contemporary home.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

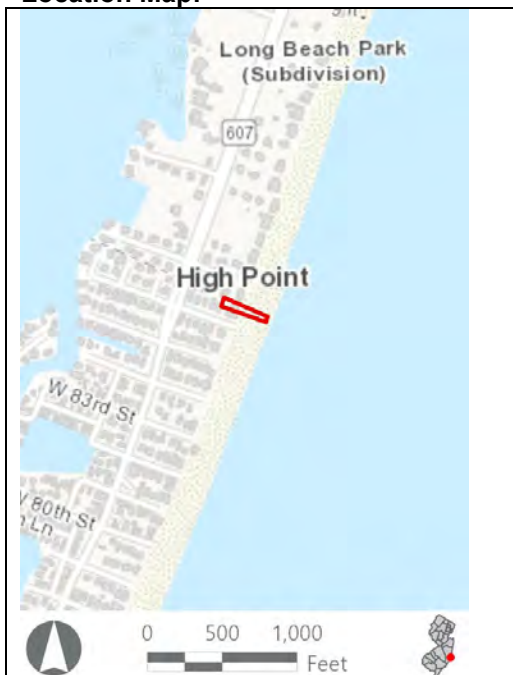


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Buchholz, M.T. 2023. *The History of Harvey Cedars*. Available at <https://www.harveycedars.org/cn/webpage.cfm?tpid=14777> (Accessed February 2023).

Gaydos, C. 2017. "Sand Castle, Pyramid, Banal Box." *Bay Magazine*. Available at <https://www.bay-magazine.com/single-post/2017/05/01/sand-castle-pyramid-banal-box> (Accessed February 2023).

Harvey Cedars Bible Conference. 2023. *History*. Available at <https://www.hcbible.org/history> (Accessed February 2023).

Heritage Studies, Inc. 1981. *Long Beach Island*. NJ Historic Sites Inventory, Ocean County Vol. 35. Available at https://nj.gov/dep/hpo/hrrcn_sandy_OCE_GB_147_148_PDF/OCE_GB_148_v35.pdf (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	13 East 86 th Street		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1982	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Irregular	Stories:	2
Type:	N/A	Bays:	4
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Unknown		

Exterior Description: The residence at 13 East 86th Street is a two-story oceanfront shed-roof Contemporary home. The fenestration covers most of the façade wall surface and extends to the roof which rises above the second story to provide additional interior lighting. There is a large deck overlooking the ocean on the second floor. A one-story projection on the side elevation has a shed roof that is stepped down from the ridgeline of the main block. The first story is largely obscured by the dunes and vegetation.

Interior Description: N/A

Setting: The residence at 13 East 86th Street is an oceanfront property surrounded by like buildings with direct beach access. Historic aerial imagery shows development in Harvey Cedars throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Harvey Cedars is a borough in Ocean County located on the barrier island of Long Beach Island. "Harvey" is either derived from the word "harvest" or refers to an early settler who ran whaling quarters in the eighteenth century. "Cedars" refers to the cedar forest that used to cover the northern part of Long Beach Island until it was destroyed by a hurricane in 1821. The opening of the Harvey Cedars Hotel in the 1840s. The Harvey Cedars Hotel which opened in the 1840s served as a boarding house for sportsmen and was popular for its large dance hall. In the late-nineteenth century, additional boarding houses, mansions, cottages, a pavilion, a general store, and a yacht club were built in Harvey Cedars and High Point, the northern part of present-day Harvey Cedars. In addition to the summer resort industry, seaweed harvesting and fishing were major industries in Harvey Cedars and High Point in the nineteenth century. In 1886, the area became accessible directly by railroad with the construction of the Long Beach Railroad. In 1914, Harvey Cedars became accessible by automobile with the construction of a causeway over Barnegat Bay and a boulevard across the island. In the 1930s, Harvey Cedars gained a reputation as an art colony, spurring the construction of several unique and modern houses designed by prominent architects over the next several decades. In 1944, a major hurricane caused significant damage to the borough, and homes and infrastructure were subsequently rebuilt. Another storm in 1962 caused more damage to the borough, which was still recovering from the 1944 hurricane. Development accelerated in the mid- to late-twentieth century as residents rebuilt from the storm. Today, most of the borough consists of private developments and enclaves (Buchholz, 2023; Heritage Studies, Inc., 1981; Harvey Cedars Bible Conference, 2023; Gaydos, 2017).

Significance: 13 East 86th Street is associated with late-twentieth-century development in Harvey Cedars Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 13 East 86th Street is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 13 East 86th Street is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 5309D Long Beach Boulevard

Street Address: Street #: 5309D N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Long Beach Suffix: N/A Type: BLVD

County(s): Ocean **Zip Code:** 08008

Municipality(s): Harvey Cedars Borough **Block(s):** 5

Local Place Name(s): N/A **Lot(s):** 5

Ownership: Private **USGS Quad(s)** Hammonton

Description: The residence at 5309D Long Beach Boulevard is a two-story oceanfront Contemporary side-gabled home with a saltbox roof on the façade.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

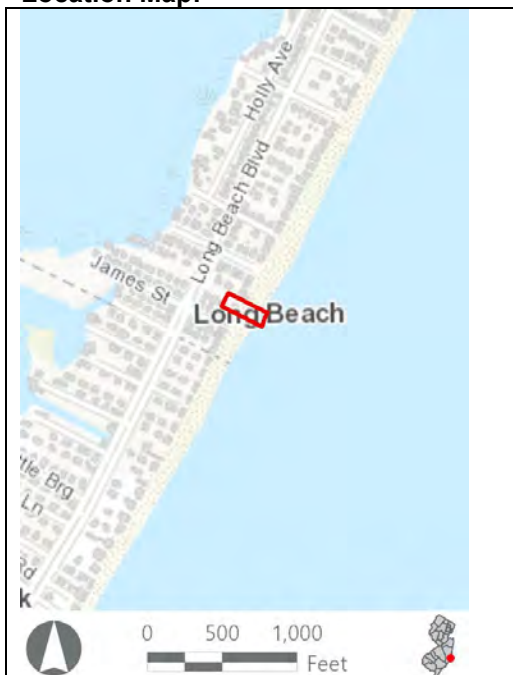
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Buchholz, M.T. 2023. *The History of Harvey Cedars*. Available at <https://www.harveycedars.org/cn/webpage.cfm?tpid=14777> (Accessed February 2023).

Gaydos, C. 2017. "Sand Castle, Pyramid, Banal Box." *Bay Magazine*. Available at <https://www.bay-magazine.com/single-post/2017/05/01/sand-castle-pyramid-banal-box> (Accessed February 2023).

Harvey Cedars Bible Conference. 2023. *History*. Available at <https://www.hcbible.org/history> (Accessed February 2023).

Heritage Studies, Inc. 1981. *Long Beach Island*. NJ Historic Sites Inventory, Ocean County Vol. 35. Available at https://nj.gov/dep/hpo/hrrcn_sandy_OCE_GB_147_148_PDF/OCE_GB_148_v35.pdf (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 5309D Long Beach Boulevard
Historic Name: N/A
Present Use: Residential Activity, Permanent
Historic Use: Residential Activity, Permanent
Construction Date: 1982 **Source:** www.njtaxrecords.net
Alteration Date(s): N/A **Source:** N/A
Designer: N/A **Physical Condition:** Good
Builder: N/A **Remaining Historic Fabric:** Low
Style: None
Form: Other **Stories:** 2
Type: N/A **Bays:** 1
Roof Finish Materials: Asphalt Shingle
Exterior Finish Materials Wood, Flushboard

Exterior Description: The residence at 5309D Long Beach Boulevard is a two-story oceanfront Contemporary side-gabled home with a saltbox roof on the façade. A recess in the corner of the saltbox roof forms a deck that overlooks the ocean. A sliding patio door provides access to the deck. The wall cladding is diagonal flushboard and fenestration appears to be flat-arch fixed or casement sash. A shed-roof side wing steps down from the main block and features two sliding patio doors that open onto another deck. The façade is partially obscured by the dunes and vegetation.

Interior Description: N/A

Setting: The residence at 5309D Long Beach Boulevard is an oceanfront property surrounded by like buildings with direct beach access. Historic aerial imagery shows development in Harvey Cedars throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Harvey Cedars is a borough in Ocean County located on the barrier island of Long Beach Island. "Harvey" is either derived from the word "harvest" or refers to an early settler who ran whaling quarters in the eighteenth century. "Cedars" refers to the cedar forest that used to cover the northern part of Long Beach Island until it was destroyed by a hurricane in 1821. The opening of the Harvey Cedars Hotel in the 1840s. The Harvey Cedars Hotel which opened in the 1840s served as a boarding house for sportsmen and was popular for its large dance hall. In the late-nineteenth century, additional boarding houses, mansions, cottages, a pavilion, a general store, and a yacht club were built in Harvey Cedars and High Point, the northern part of present-day Harvey Cedars. In addition to the summer resort industry, seaweed harvesting and fishing were major industries in Harvey Cedars and High Point in the nineteenth century. In 1886, the area became accessible directly by railroad with the construction of the Long Beach Railroad. In 1914, Harvey Cedars became accessible by automobile with the construction of a causeway over Barnegat Bay and a boulevard across the island. In the 1930s, Harvey Cedars gained a reputation as an art colony, spurring the construction of several unique and modern houses designed by prominent architects over the next several decades. In 1944, a major hurricane caused significant damage to the borough, and homes and infrastructure were subsequently rebuilt. Another storm in 1962 caused more damage to the borough, which was still recovering from the 1944 hurricane. Development accelerated in the mid- to late-twentieth century as residents rebuilt from the storm. Today, most of the borough consists of private developments and enclaves (Buchholz, 2023; Heritage Studies, Inc., 1981; Harvey Cedars Bible Conference, 2023; Gaydos, 2017).

Significance: 5309D Long Beach Boulevard is associated with late-twentieth-century development in Harvey Cedars Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 5309D Long Beach Boulevard is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 5309D Long Beach Boulevard is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 7B East 70th Street

Street Address: Street #: 7B N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: 70th Suffix: N/A Type: ST

County(s): Ocean Zip Code: 08008

Municipality(s): Harvey Cedars Borough Block(s): 42.03

Local Place Name(s): N/A Lot(s): 5

Ownership: Private USGS Quad(s) Hammonton

Description: The residence at 7B East 70th Street is a one-story, elevated, oceanfront Contemporary home.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

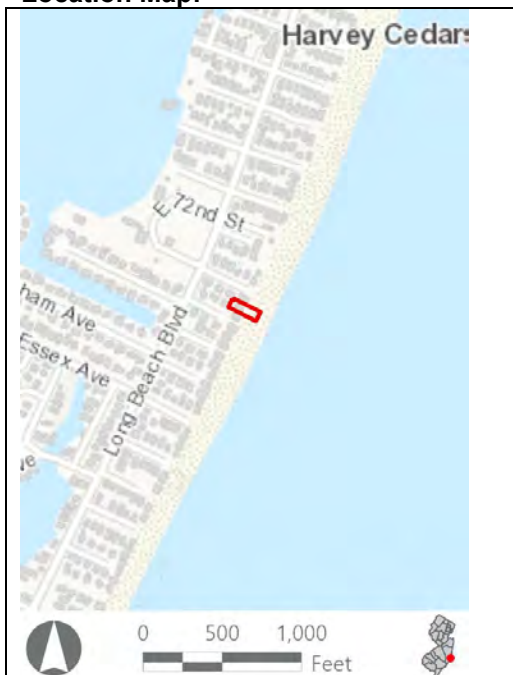


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Buchholz, M.T. 2023. *The History of Harvey Cedars*. Available at <https://www.harveycedars.org/cn/webpage.cfm?tpid=14777> (Accessed February 2023).

Gaydos, C. 2017. "Sand Castle, Pyramid, Banal Box." *Bay Magazine*. Available at <https://www.bay-magazine.com/single-post/2017/05/01/sand-castle-pyramid-banal-box> (Accessed February 2023).

Harvey Cedars Bible Conference. 2023. *History*. Available at <https://www.hcbible.org/history> (Accessed February 2023).

Heritage Studies, Inc. 1981. *Long Beach Island*. NJ Historic Sites Inventory, Ocean County Vol. 35. Available at https://nj.gov/dep/hpo/hrrcn_sandy_OCE_GB_147_148_PDF/OCE_GB_148_v35.pdf (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	7B East 70th Street		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1968	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	1
Type:	N/A	Bays:	4
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The residence at 7B East 70th Street is a one-story, elevated, oceanfront Contemporary home. It has a low and wide overhanging gabled roof with exposed purlins. There is a rooftop deck and an expansive wraparound deck on the elevated first story. The walls are clad in vinyl siding and fenestration appears to be fixed and casement replacement sash. A sliding patio door opens onto the wraparound deck. The lower part of the building is obscured by the dunes and vegetation.

Interior Description: N/A

Setting: The residence at 7B East 70th Street is an oceanfront property surrounded by like buildings with direct beach access. Historic aerial imagery shows development in Harvey Cedars throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Harvey Cedars is a borough in Ocean County located on the barrier island of Long Beach Island. "Harvey" is either derived from the word "harvest" or refers to an early settler who ran whaling quarters in the eighteenth century. "Cedars" refers to the cedar forest that used to cover the northern part of Long Beach Island until it was destroyed by a hurricane in 1821. The opening of the Harvey Cedars Hotel in the 1840s. The Harvey Cedars Hotel which opened in the 1840s served as a boarding house for sportsmen and was popular for its large dance hall. In the late-nineteenth century, additional boarding houses, mansions, cottages, a pavilion, a general store, and a yacht club were built in Harvey Cedars and High Point, the northern part of present-day Harvey Cedars. In addition to the summer resort industry, seaweed harvesting and fishing were major industries in Harvey Cedars and High Point in the nineteenth century. In 1886, the area became accessible directly by railroad with the construction of the Long Beach Railroad. In 1914, Harvey Cedars became accessible by automobile with the construction of a causeway over Barnegat Bay and a boulevard across the island. In the 1930s, Harvey Cedars gained a reputation as an art colony, spurring the construction of several unique and modern houses designed by prominent architects over the next several decades. In 1944, a major hurricane caused significant damage to the borough, and homes and infrastructure were subsequently rebuilt. Another storm in 1962 caused more damage to the borough, which was still recovering from the 1944 hurricane. Development accelerated in the mid- to late-twentieth century as residents rebuilt from the storm. Today, most of the borough consists of private developments and enclaves (Buchholz, 2023; Heritage Studies, Inc., 1981; Harvey Cedars Bible Conference, 2023; Gaydos, 2017).

Significance: 7B East 70th Street is associated with late-twentieth-century development in Harvey Cedars Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 7B East 70th Street is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 7B East 70th Street is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 12 East Bergen Avenue

Street Address: Street #: 12 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: Bergen Suffix: N/A Type: AVE

County(s): Ocean **Zip Code:** 08008

Municipality(s): Harvey Cedars Borough **Block(s):** 5

Local Place Name(s): N/A **Lot(s):** 14

Ownership: Private **USGS Quad(s)** Hammonton

Description: The residence at 12 East Bergen Avenue is a two-story oceanfront Contemporary home.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Buchholz, M.T. 2023. *The History of Harvey Cedars*. Available at <https://www.harveycedars.org/cn/webpage.cfm?tpid=14777> (Accessed February 2023).

Gaydos, C. 2017. "Sand Castle, Pyramid, Banal Box." *Bay Magazine*. Available at <https://www.bay-magazine.com/single-post/2017/05/01/sand-castle-pyramid-banal-box> (Accessed February 2023).

Harvey Cedars Bible Conference. 2023. *History*. Available at <https://www.hcbible.org/history> (Accessed February 2023).

Heritage Studies, Inc. 1981. *Long Beach Island*. NJ Historic Sites Inventory, Ocean County Vol. 35. Available at https://nj.gov/dep/hpo/hrrcn_sandy_OCE_GB_147_148_PDF/OCE_GB_148_v35.pdf (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 12 East Bergen Avenue

Historic Name: N/A

Present Use: Residential Activity, Permanent

Historic Use: Residential Activity, Permanent

Construction Date: 1982 **Source:** www.njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Good

Builder: N/A **Remaining Historic Fabric:** Low

Style: None

Form: Other **Stories:** 2

Type: N/A **Bays:** N/A

Roof Finish Materials: Asphalt Shingle

Exterior Finish Materials Vinyl Siding

Exterior Description: The residence at 12 East Bergen Avenue is a two-story oceanfront Contemporary home. The building has a flat roof main block with a projecting frieze. The wall cladding is vinyl shingle siding. There is a variety of fenestration, however, the majority appears to be large flat-arch fixed or casement sash. A one-and-two-story side wing has a hipped roof. There is a deck at the first story of the hipped wing and a second-story deck atop a projecting first-story bay on the main block, both of which are accessed by sliding patio doors.

Interior Description: N/A

Setting: The residence at 12 East Bergen Avenue is an oceanfront property surrounded by like buildings with direct beach access. Historic aerial imagery shows development in Harvey Cedars throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Harvey Cedars is a borough in Ocean County located on the barrier island of Long Beach Island. "Harvey" is either derived from the word "harvest" or refers to an early settler who ran whaling quarters in the eighteenth century. "Cedars" refers to the cedar forest that used to cover the northern part of Long Beach Island until it was destroyed by a hurricane in 1821. The opening of the Harvey Cedars Hotel in the 1840s. The Harvey Cedars Hotel which opened in the 1840s served as a boarding house for sportsmen and was popular for its large dance hall. In the late-nineteenth century, additional boarding houses, mansions, cottages, a pavilion, a general store, and a yacht club were built in Harvey Cedars and High Point, the northern part of present-day Harvey Cedars. In addition to the summer resort industry, seaweed harvesting and fishing were major industries in Harvey Cedars and High Point in the nineteenth century. In 1886, the area became accessible directly by railroad with the construction of the Long Beach Railroad. In 1914, Harvey Cedars became accessible by automobile with the construction of a causeway over Barnegat Bay and a boulevard across the island. In the 1930s, Harvey Cedars gained a reputation as an art colony, spurring the construction of several unique and modern houses designed by prominent architects over the next several decades. In 1944, a major hurricane caused significant damage to the borough, and homes and infrastructure were subsequently rebuilt. Another storm in 1962 caused more damage to the borough, which was still recovering from the 1944 hurricane. Development accelerated in the mid- to late-twentieth century as residents rebuilt from the storm. Today, most of the borough consists of private developments and enclaves (Buchholz, 2023; Heritage Studies, Inc., 1981; Harvey Cedars Bible Conference, 2023; Gaydos, 2017).

Significance: 12 East Bergen Avenue is associated with late-twentieth-century development in Harvey Cedars Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 12 East Bergen Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 12 East Bergen Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 6403G Long Beach Boulevard

Street Address: Street #: 6403G N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Long Beach Suffix: N/A Type: BLVD

County(s): Ocean **Zip Code:** 08008

Municipality(s): Harvey Cedars Borough **Block(s):** 39

Local Place Name(s): N/A **Lot(s):** 9

Ownership: Private **USGS Quad(s)** Hammonton

Description: The residence at 6403G Long Beach Boulevard is a two-story oceanfront Contemporary home.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

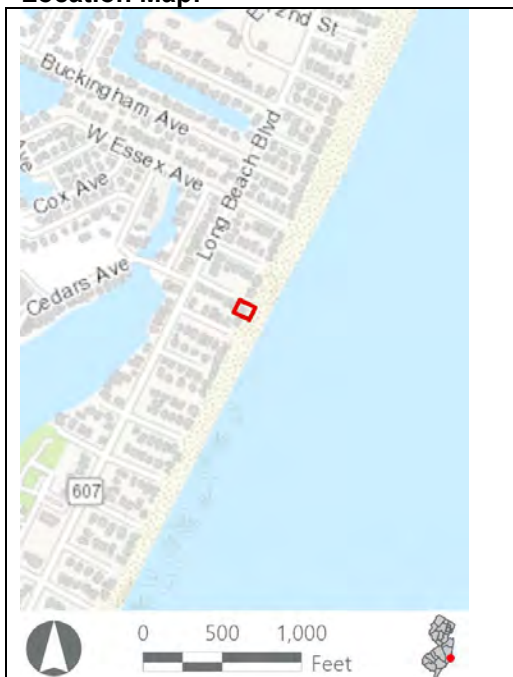
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Buchholz, M.T. 2023. *The History of Harvey Cedars*. Available at <https://www.harveycedars.org/cn/webpage.cfm?tpid=14777> (Accessed February 2023).

Gaydos, C. 2017. "Sand Castle, Pyramid, Banal Box." *Bay Magazine*. Available at <https://www.bay-magazine.com/single-post/2017/05/01/sand-castle-pyramid-banal-box> (Accessed February 2023).

Harvey Cedars Bible Conference. 2023. *History*. Available at <https://www.hcbible.org/history> (Accessed February 2023).

Heritage Studies, Inc. 1981. *Long Beach Island*. NJ Historic Sites Inventory, Ocean County Vol. 35. Available at https://nj.gov/dep/hpo/hrrcn_sandy_OCE_GB_147_148_PDF/OCE_GB_148_v35.pdf (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 6403G Long Beach Boulevard
Historic Name: N/A
Present Use: Residential Activity, Permanent
Historic Use: Residential Activity, Permanent
Construction Date: 1970 **Source:** www.njtaxrecords.net
Alteration Date(s): N/A **Source:** N/A
Designer: N/A **Physical Condition:** Excellent
Builder: N/A **Remaining Historic Fabric:** Low
Style: None
Form: Other **Stories:** 2
Type: N/A **Bays:** N/A
Roof Finish Materials: Unknown
Exterior Finish Materials: Vinyl Siding

Exterior Description: The residence at 6403G Long Beach Boulevard is a two-story oceanfront Contemporary home. The building has a broad façade with two large decks overlooking the ocean on the second story and the rooftop. The second-story façade is curved outward with a bank of ribbon windows that extend the height and width of the façade. The center bay of the first-story façade is recessed to form a porch. Sliding patio doors open onto the porch. The flanking bays display three-part casement or fixed sash. The walls are clad in what appears to be vinyl shingle siding.

Interior Description: N/A

Setting: The residence at 6403G Long Beach Boulevard is an oceanfront property surrounded by like buildings with direct beach access. Historic aerial imagery shows development in Harvey Cedars throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Harvey Cedars is a borough in Ocean County located on the barrier island of Long Beach Island. "Harvey" is either derived from the word "harvest" or refers to an early settler who ran whaling quarters in the eighteenth century. "Cedars" refers to the cedar forest that used to cover the northern part of Long Beach Island until it was destroyed by a hurricane in 1821. The opening of the Harvey Cedars Hotel in the 1840s. The Harvey Cedars Hotel which opened in the 1840s served as a boarding house for sportsmen and was popular for its large dance hall. In the late-nineteenth century, additional boarding houses, mansions, cottages, a pavilion, a general store, and a yacht club were built in Harvey Cedars and High Point, the northern part of present-day Harvey Cedars. In addition to the summer resort industry, seaweed harvesting and fishing were major industries in Harvey Cedars and High Point in the nineteenth century. In 1886, the area became accessible directly by railroad with the construction of the Long Beach Railroad. In 1914, Harvey Cedars became accessible by automobile with the construction of a causeway over Barnegat Bay and a boulevard across the island. In the 1930s, Harvey Cedars gained a reputation as an art colony, spurring the construction of several unique and modern houses designed by prominent architects over the next several decades. In 1944, a major hurricane caused significant damage to the borough, and homes and infrastructure were subsequently rebuilt. Another storm in 1962 caused more damage to the borough, which was still recovering from the 1944 hurricane. Development accelerated in the mid- to late-twentieth century as residents rebuilt from the storm. Today, most of the borough consists of private developments and enclaves (Buchholz, 2023; Heritage Studies, Inc., 1981; Harvey Cedars Bible Conference, 2023; Gaydos, 2017).

Significance: 6403G Long Beach Boulevard is associated with late-twentieth-century development in Harvey Cedars Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 6403G Long Beach Boulevard is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 6403G Long Beach Boulevard is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 13 East Mercer Avenue

Street Address: Street #: 13 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: Mercer Suffix: N/A Type: AVE

County(s): Ocean **Zip Code:** 08008

Municipality(s): Harvey Cedars Borough **Block(s):** 39

Local Place Name(s): N/A **Lot(s):** 7

Ownership: Private **USGS Quad(s)** Hammonton

Description: The residence at 13 East Mercer Avenue is a one-and-two-story oceanfront home.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

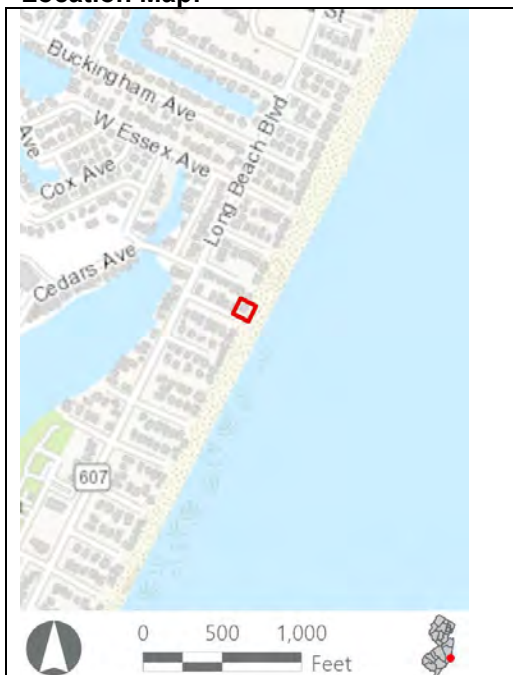


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Buchholz, M.T. 2023. *The History of Harvey Cedars*. Available at <https://www.harveycedars.org/cn/webpage.cfm?tpid=14777> (Accessed February 2023).

Gaydos, C. 2017. "Sand Castle, Pyramid, Banal Box." *Bay Magazine*. Available at <https://www.bay-magazine.com/single-post/2017/05/01/sand-castle-pyramid-banal-box> (Accessed February 2023).

Harvey Cedars Bible Conference. 2023. *History*. Available at <https://www.hcbible.org/history> (Accessed February 2023).

Heritage Studies, Inc. 1981. *Long Beach Island*. NJ Historic Sites Inventory, Ocean County Vol. 35. Available at https://nj.gov/dep/hpo/hrrcn_sandy_OCE_GB_147_148_PDF/OCE_GB_148_v35.pdf (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	13 East Mercer Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1962	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	N/A
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The residence at 13 East Mercer Avenue is a one-and-two-story oceanfront home. The flat-roof house has a series of decks on roof surfaces and projecting from the wall surfaces supported underneath by wood posts. There is a carport on the rear elevation under a deck and a second-story projecting bay. Most of the building is obscured by vegetation and cannot be observed from the beach side.

Interior Description: N/A

Setting: The residence at 13 East Mercer Avenue is an oceanfront property surrounded by like buildings with direct beach access. Historic aerial imagery shows development in Harvey Cedars throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Harvey Cedars is a borough in Ocean County located on the barrier island of Long Beach Island. "Harvey" is either derived from the word "harvest" or refers to an early settler who ran whaling quarters in the eighteenth century. "Cedars" refers to the cedar forest that used to cover the northern part of Long Beach Island until it was destroyed by a hurricane in 1821. The opening of the Harvey Cedars Hotel in the 1840s. The Harvey Cedars Hotel which opened in the 1840s served as a boarding house for sportsmen and was popular for its large dance hall. In the late-nineteenth century, additional boarding houses, mansions, cottages, a pavilion, a general store, and a yacht club were built in Harvey Cedars and High Point, the northern part of present-day Harvey Cedars. In addition to the summer resort industry, seaweed harvesting and fishing were major industries in Harvey Cedars and High Point in the nineteenth century. In 1886, the area became accessible directly by railroad with the construction of the Long Beach Railroad. In 1914, Harvey Cedars became accessible by automobile with the construction of a causeway over Barnegat Bay and a boulevard across the island. In the 1930s, Harvey Cedars gained a reputation as an art colony, spurring the construction of several unique and modern houses designed by prominent architects over the next several decades. In 1944, a major hurricane caused significant damage to the borough, and homes and infrastructure were subsequently rebuilt. Another storm in 1962 caused more damage to the borough, which was still recovering from the 1944 hurricane. Development accelerated in the mid- to late-twentieth century as residents rebuilt from the storm. Today, most of the borough consists of private developments and enclaves (Buchholz, 2023; Heritage Studies, Inc., 1981; Harvey Cedars Bible Conference, 2023; Gaydos, 2017).

Significance: 13 East Mercer Avenue is associated with mid-twentieth-century development in Harvey Cedars Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 13 East Mercer Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 13 East Mercer Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 14 East 82nd Street

Street Address: Street #: 14 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: 82nd Suffix: N/A Type: ST

County(s): Ocean Zip Code: 08008

Municipality(s): Harvey Cedars Borough Block(s): 81

Local Place Name(s): N/A Lot(s): 8

Ownership: Private USGS Quad(s) Hammonton

Description: The residence at 14 East 82nd Street is a two-story ocean-front home with cubic massing.

Registration and Status Dates:

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

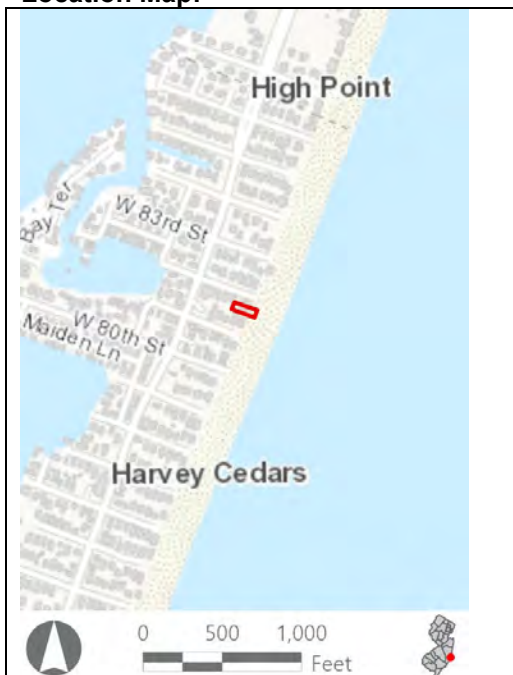
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Buchholz, M.T. 2023. *The History of Harvey Cedars*. Available at <https://www.harveycedars.org/cn/webpage.cfm?tpid=14777> (Accessed February 2023).

Gaydos, C. 2017. "Sand Castle, Pyramid, Banal Box." *Bay Magazine*. Available at <https://www.bay-magazine.com/single-post/2017/05/01/sand-castle-pyramid-banal-box> (Accessed February 2023).

Harvey Cedars Bible Conference. 2023. *History*. Available at <https://www.hcbible.org/history> (Accessed February 2023).

Heritage Studies, Inc. 1981. *Long Beach Island*. NJ Historic Sites Inventory, Ocean County Vol. 35. Available at https://nj.gov/dep/hpo/hrrcn_sandy_OCE_GB_147_148_PDF/OCE_GB_148_v35.pdf (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	14 East 82nd Street		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1980	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	1
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The residence at 14 East 82nd Street is a two-story ocean-front home with cubic massing. The building has three large decks (one on the first story, one at the second-story side elevation atop a flat-roof projecting bay, and one on the rooftop of the main block). The façade is featureless except for banks of ribbon windows composed of fixed and 1/1 replacement sash. The walls are clad with vinyl shingle siding. Much of the first story and side elevations are obscured by the dunes and vegetation.

Interior Description: N/A

Setting: The residence at 14 East 82nd Street is an oceanfront property surrounded by like buildings with direct beach access. Historic aerial imagery shows development in Harvey Cedars throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Harvey Cedars is a borough in Ocean County located on the barrier island of Long Beach Island. "Harvey" is either derived from the word "harvest" or refers to an early settler who ran whaling quarters in the eighteenth century. "Cedars" refers to the cedar forest that used to cover the northern part of Long Beach Island until it was destroyed by a hurricane in 1821. The opening of the Harvey Cedars Hotel in the 1840s. The Harvey Cedars Hotel which opened in the 1840s served as a boarding house for sportsmen and was popular for its large dance hall. In the late-nineteenth century, additional boarding houses, mansions, cottages, a pavilion, a general store, and a yacht club were built in Harvey Cedars and High Point, the northern part of present-day Harvey Cedars. In addition to the summer resort industry, seaweed harvesting and fishing were major industries in Harvey Cedars and High Point in the nineteenth century. In 1886, the area became accessible directly by railroad with the construction of the Long Beach Railroad. In 1914, Harvey Cedars became accessible by automobile with the construction of a causeway over Barnegat Bay and a boulevard across the island. In the 1930s, Harvey Cedars gained a reputation as an art colony, spurring the construction of several unique and modern houses designed by prominent architects over the next several decades. In 1944, a major hurricane caused significant damage to the borough, and homes and infrastructure were subsequently rebuilt. Another storm in 1962 caused more damage to the borough, which was still recovering from the 1944 hurricane. Development accelerated in the mid- to late-twentieth century as residents rebuilt from the storm. Today, most of the borough consists of private developments and enclaves (Buchholz, 2023; Heritage Studies, Inc., 1981; Harvey Cedars Bible Conference, 2023; Gaydos, 2017).

Significance: The residence at 14 East 82nd Street is associated with late-twentieth-century development in Harvey Cedars Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 14 East 82nd Street is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 14 East 82nd Street is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 14 East 77th Street

Street Address: Street #: 14 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: 77th Suffix: N/A Type: ST

County(s): Ocean Zip Code: 08008

Municipality(s): Harvey Cedars Borough Block(s): 55

Local Place Name(s): N/A Lot(s): 12

Ownership: Private USGS Quad(s) Hammonton

Description: The residence at 14 East 77th Street is a two-story oceanfront Contemporary home.

Registration and Status Dates:

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

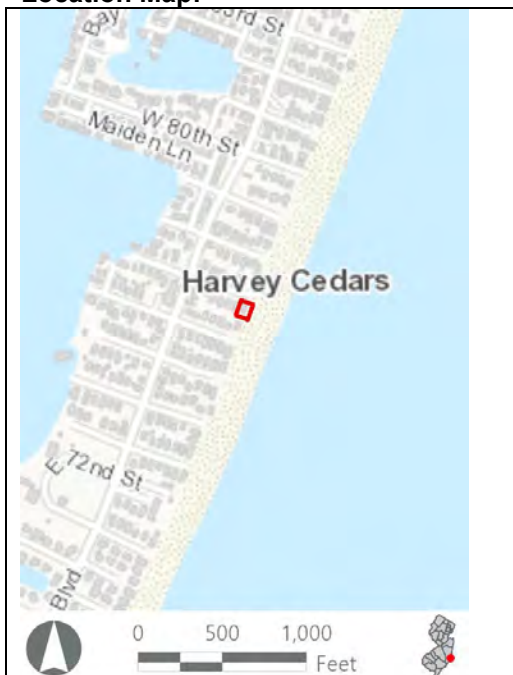
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Buchholz, M.T. 2023. *The History of Harvey Cedars*. Available at <https://www.harveycedars.org/cn/webpage.cfm?tpid=14777> (Accessed February 2023).

Gaydos, C. 2017. "Sand Castle, Pyramid, Banal Box." *Bay Magazine*. Available at <https://www.bay-magazine.com/single-post/2017/05/01/sand-castle-pyramid-banal-box> (Accessed February 2023).

Harvey Cedars Bible Conference. 2023. *History*. Available at <https://www.hcbible.org/history> (Accessed February 2023).

Heritage Studies, Inc. 1981. *Long Beach Island*. NJ Historic Sites Inventory, Ocean County Vol. 35. Available at https://nj.gov/dep/hpo/hrrcn_sandy_OCE_GB_147_148_PDF/OCE_GB_148_v35.pdf (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	14 East 77 th Street		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1980	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	4
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Wood, Flushboard		

Exterior Description: The residence at 14 East 77th Street is a two-story oceanfront Contemporary home. The building has rectangular massing with an overhanging second story and a rectangular rooftop monitor. One corner of the façade is recessed to form a single bay porch. Fenestration is wide taking up much of the façade with a mixture of fixed sash and three-part sash with fixed center panes and flanking casements. The siding appears to be vertical flushboard on the second story and diagonal flushboard on the first story. Most of the first story is obscured by the dunes and vegetation.

Interior Description: N/A

Setting: The residence at 14 East 77th Street is an oceanfront property surrounded by like buildings with direct beach access. Historic aerial imagery shows development in Harvey Cedars throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Harvey Cedars is a borough in Ocean County located on the barrier island of Long Beach Island. "Harvey" is either derived from the word "harvest" or refers to an early settler who ran whaling quarters in the eighteenth century. "Cedars" refers to the cedar forest that used to cover the northern part of Long Beach Island until it was destroyed by a hurricane in 1821. The opening of the Harvey Cedars Hotel in the 1840s. The Harvey Cedars Hotel which opened in the 1840s served as a boarding house for sportsmen and was popular for its large dance hall. In the late-nineteenth century, additional boarding houses, mansions, cottages, a pavilion, a general store, and a yacht club were built in Harvey Cedars and High Point, the northern part of present-day Harvey Cedars. In addition to the summer resort industry, seaweed harvesting and fishing were major industries in Harvey Cedars and High Point in the nineteenth century. In 1886, the area became accessible directly by railroad with the construction of the Long Beach Railroad. In 1914, Harvey Cedars became accessible by automobile with the construction of a causeway over Barnegat Bay and a boulevard across the island. In the 1930s, Harvey Cedars gained a reputation as an art colony, spurring the construction of several unique and modern houses designed by prominent architects over the next several decades. In 1944, a major hurricane caused significant damage to the borough, and homes and infrastructure were subsequently rebuilt. Another storm in 1962 caused more damage to the borough, which was still recovering from the 1944 hurricane. Development accelerated in the mid- to late-twentieth century as residents rebuilt from the storm. Today, most of the borough consists of private developments and enclaves (Buchholz, 2023; Heritage Studies, Inc., 1981; Harvey Cedars Bible Conference, 2023; Gaydos, 2017).

Significance: 14 East 77th Street is associated with late-twentieth-century development in Harvey Cedars Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 14 East 77th Street is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 14 East 77th Street is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 2306 Ocean Front

Street Address: Street #: 2306 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Front Suffix: N/A Type: N/A

County(s): Ocean **Zip Code:** 08735

Municipality(s): Lavallette Borough **Block(s):** 24

Local Place Name(s): N/A **Lot(s):** 4

Ownership: Private **USGS Quad(s)** Seaside Park

Description: The residence at 2306 Ocean Front is a two-story Cape Cod with roof dormers, vinyl siding, and a one-story side wing with a rooftop deck.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

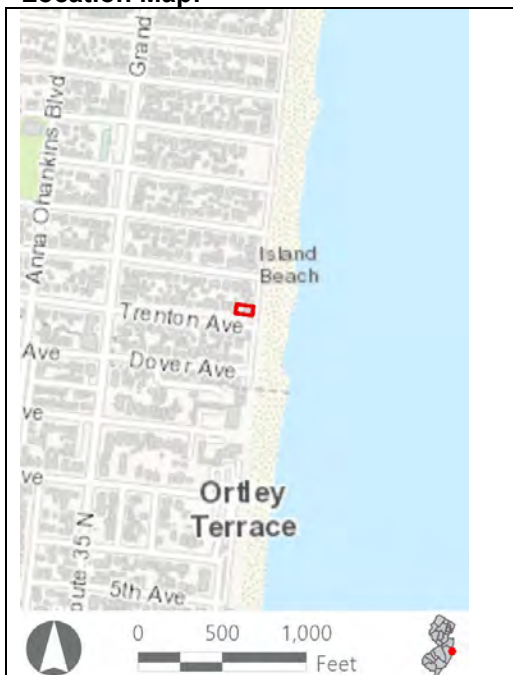


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Borough of Lavallette. 2023. Lavallette History. Available at <https://www.lavallette.org/history.html> (Accessed February 2023).

Heritage Studies, Inc. 1981. Lavallette. New Jersey Historic Sites Inventory, Ocean County Vol. 16. Available at https://www.state.nj.us/dep/hpo/hrrcn_sandy_OCE_GB_147_148_PDF/OCE_GB_148_v16.pdf (Accessed February 2023).

NETROnline (NETR). 2023. "Historic Aerials." Available online at: <https://www.historicaerials.com/viewer> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: <u>2306 Ocean Front</u>	
Historic Name: <u>N/A</u>	
Present Use: <u>Residential Activity, Permanent</u>	
Historic Use: <u>Residential Activity, Permanent</u>	
Construction Date: <u>1950</u>	Source: <u>www.njtaxrecords.net</u>
Alteration Date(s): <u>N/A</u>	Source: <u>N/A</u>
Designer: <u>N/A</u>	Physical Condition: <u>Good</u>
Builder: <u>N/A</u>	Remaining Historic Fabric: <u>Low</u>
Style: <u>None</u>	
Form: <u>Cape Cod</u>	Stories: <u>2</u>
Type: <u>N/A</u>	Bays: <u>4</u>
Roof Finish Materials: <u>Asphalt Shingle</u>	
Exterior Finish Materials <u>Vinyl Siding</u>	

Exterior Description: The residence at 2306 Ocean Front is a two-story Cape Cod with gabled roof dormers and vinyl siding. The entrance is in the center of the facade with a wood-paneled door with a multi-light window. The entrance is flanked by 1/1 replacement sash. The foundation is high and is parged. There is a one-story flat roof side wing with banks of ribbon windows with 1/1 and fixed sash. The top of the wing has a balustrade and there is a door in the gable end of the house that provides rooftop access.

Interior Description: N/A

Setting: The residence at 2306 Ocean Front is in a residential neighborhood next to the boardwalk and faces Lavallette Beach. Historic aerial imagery shows that in 1920, only the northern part of Lavallette was developed, except for some roads in the southern part of the borough. Development of the southern part of the borough appears slow through 1940, but the area is completely built out by 1956 (NETR, 2023).

Survey Name: <u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date: <u>February 24, 2023</u>
Surveyor: <u>Grant Johnson and Laura Mancuso</u>	
Organization: <u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>	

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Lavallette is a borough in Ocean County, New Jersey, located on the Barnegat Peninsula to the north of Seaside Heights and to the south of Mantoloking. The area was known as Squan Beach until the Barnegat Light Improvement Company developed plans for Lavallette in 1878. The community was named for U.S. Navy Admiral Elie LaVallette who won a decisive battle on Lake Champlain during the War of 1812. Lots in Lavallette were marketed mainly to sportsmen in New Jersey, New York, and Philadelphia. In 1881, Lavallette became directly accessible from the mainland via the Philadelphia and Long Branch Railroad, attracting more visitors and residents, but development remained relatively slow over the next decades. Most residents were railroad employees, and most summer visitors were sportsmen. Despite their limited number, residents voted to incorporate Lavallette as a borough in 1887. Although the town attracted summer visitors, commercial fishing, boatbuilding, and beer and soda bottling remained the main industries through the early twentieth century. In 1911, a road was constructed along present-day Route 35 to Seaside Park, and in 1915 the Tom's River Bridge opened Lavallette to automobile traffic from the mainland via Seaside Heights. The boardwalk was constructed in the 1920s (Borough of Lavallette, 2023; Heritage Studies 1981). Today, Lavallette continues to be a popular summer destination.

Significance: The residence at 2306 Ocean Front is associated with mid-twentieth-century development in Lavallette Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 2306 Ocean Front is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 2306 Ocean Front is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

Date: February 24,
2023

BASE FORM

Historic Sites #:

Property Name: 1102 Ocean Front

Street Address: Street #: 1102 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Front Suffix: N/A Type: N/A

County(s): Ocean **Zip Code:** 08735

Municipality(s): Lavallette Borough **Block(s):** 12

Local Place Name(s): N/A **Lot(s):** 2

Ownership: Private **USGS Quad(s)** Seaside Park

Description: The residence at 1102 Ocean Front is a two-story side-gable house. It has a two-story bay window, a projecting entry bay, and wood shingle siding.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

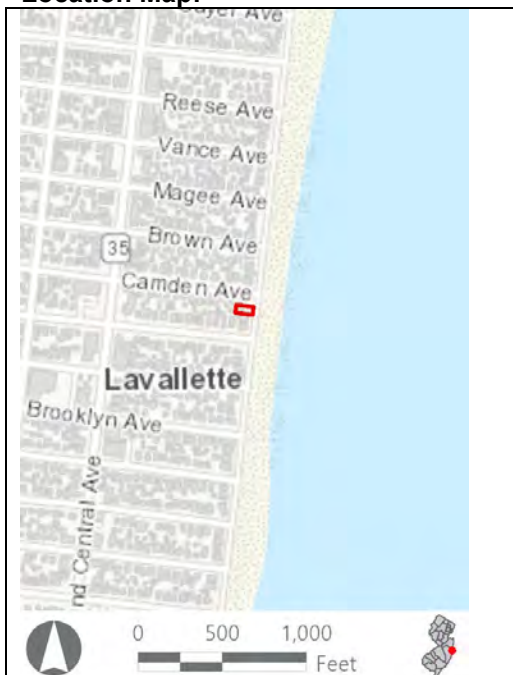
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Borough of Lavallette. 2023. Lavallette History. Available at <https://www.lavallette.org/history.html> (Accessed February 2023).

Heritage Studies, Inc. 1981. Lavallette. New Jersey Historic Sites Inventory, Ocean County Vol. 16. Available at https://www.state.nj.us/dep/hpo/hrrcn_sandy_OCE_GB_147_148_PDF/OCE_GB_148_v16.pdf (Accessed February 2023).

NETROnline (NETR). 2023. "Historic Aerials." Available online at: <https://www.historicaerials.com/viewer> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	1102 Ocean Front		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1925	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Wood, Shingles		

Exterior Description: The residence at 1102 Ocean Front is a two-story side-gable house. It has a two-story angled bay window with a hipped roof within a gabled wall dormer. A large gable roofed entry bay projects from the right side of the facade with multi-pane French doors flanked by 6/6 double-hung sash. Overall fenestration is also 6/6 double-hung sash. The side elevations have a second set of gambrel eaves projecting from the wall surface. The wall cladding is wood shingle, probably cedar.

Interior Description: N/A

Setting: The residence at 1102 Ocean Front is in a residential neighborhood next to the boardwalk and faces Lavallette Beach. Historic aerial imagery shows that in 1920, only the northern part of Lavallette was developed, except for some roads in the southern part of the borough. Development of the southern part of the borough appears slow through 1940, but the area is completely built out by 1956 (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Lavallette is a borough in Ocean County, New Jersey, located on the Barnegat Peninsula to the north of Seaside Heights and to the south of Mantoloking. The area was known as Squan Beach until the Barnegat Light Improvement Company developed plans for Lavallette in 1878. The community was named for U.S. Navy Admiral Elie LaVallette who won a decisive battle on Lake Champlain during the War of 1812. Lots in Lavallette were marketed mainly to sportsmen in New Jersey, New York, and Philadelphia. In 1881, Lavallette became directly accessible from the mainland via the Philadelphia and Long Branch Railroad, attracting more visitors and residents, but development remained relatively slow over the next decades. Most residents were railroad employees, and most summer visitors were sportsmen. Despite their limited number, residents voted to incorporate Lavallette as a borough in 1887. Although the town attracted summer visitors, commercial fishing, boatbuilding, and beer and soda bottling remained the main industries through the early twentieth century. In 1911, a road was constructed along present-day Route 35 to Seaside Park, and in 1915 the Tom's River Bridge opened Lavallette to automobile traffic from the mainland via Seaside Heights. The boardwalk was constructed in the 1920s (Borough of Lavallette, 2023; Heritage Studies 1981). Today, Lavallette continues to be a popular summer destination.

Significance: The residence at 1102 Ocean Front is associated with early-twentieth-century development in Lavallette Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1102 Ocean Front is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 1102 Ocean Front is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 602 Ocean Front

Street Address: Street #: 602 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Front Suffix: N/A Type: N/A

County(s): Ocean **Zip Code:** 08735

Municipality(s): Lavallette Borough **Block(s):** 7

Local Place Name(s): N/A **Lot(s):** 2

Ownership: Private **USGS Quad(s)** Seaside Park

Description: The residence at 602 Ocean Front is a two-story side-gabled house with wood shingles and a partially enclosed porch with a rooftop deck.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

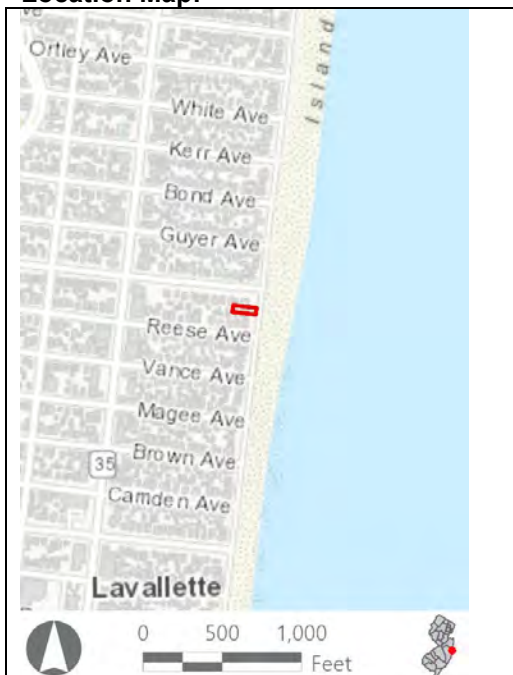


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Borough of Lavallette. 2023. Lavallette History. Available at <https://www.lavallette.org/history.html> (Accessed February 2023).

Heritage Studies, Inc. 1981. Lavallette. New Jersey Historic Sites Inventory, Ocean County Vol. 16. Available at https://www.state.nj.us/dep/hpo/hrrcn_sandy_OCE_GB_147_148_PDF/OCE_GB_148_v16.pdf (Accessed February 2023).

NETROnline (NETR). 2023. "Historic Aerials." Available online at: <https://www.historicaerials.com/viewer> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	602 Ocean Front		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1932	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Wood, Shingles		

Exterior Description: The residence at 602 Ocean Front is a two-story side-gabled house with wood shingle cladding. There is a wood shingle clad chimney on one end of the roof near the ridgeline. A partially enclosed porch extends beyond the width of the façade. The enclosed section takes up the majority of the first story façade. It features a bank of ribbon windows and a rooftop deck. The open section of the porch has a hipped roof and is supported by square wooden posts. The fenestration appears to be 1/1 sash. The primary entrance is not clearly observed. There are two sets of patio doors that open onto the rooftop deck.

Interior Description: N/A

Setting: The residence at 602 Ocean Front is located in a residential neighborhood next to boardwalk and facing Lavallette Beach. Historic aerial imagery shows that in 1920, only the northern part of Lavallette was developed, except for some roads in the southern part of the borough. Development of the southern part of the borough appears slow through 1940, but the area is completely built out by 1956 (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Lavallette is a borough in Ocean County, New Jersey, located on the Barnegat Peninsula to the north of Seaside Heights and to the south of Mantoloking. The area was known as Squan Beach until the Barnegat Light Improvement Company developed plans for Lavallette in 1878. The community was named for U.S. Navy Admiral Elie LaVallette who won a decisive battle on Lake Champlain during the War of 1812. Lots in Lavallette were marketed mainly to sportsmen in New Jersey, New York, and Philadelphia. In 1881, Lavallette became directly accessible from the mainland via the Philadelphia and Long Branch Railroad, attracting more visitors and residents, but development remained relatively slow over the next decades. Most residents were railroad employees, and most summer visitors were sportsmen. Despite their limited number, residents voted to incorporate Lavallette as a borough in 1887. Although the town attracted summer visitors, commercial fishing, boatbuilding, and beer and soda bottling remained the main industries through the early twentieth century. In 1911, a road was constructed along present-day Route 35 to Seaside Park, and in 1915 the Tom's River Bridge opened Lavallette to automobile traffic from the mainland via Seaside Heights. The boardwalk was constructed in the 1920s (Borough of Lavallette, 2023; Heritage Studies 1981). Today, Lavallette continues to be a popular summer destination.

Significance: The residence at 602 Ocean Front is associated with early-twentieth-century development in Lavallette Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 602 Ocean Front is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 602 Ocean Front is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 900 Ocean Front

Street Address: Street #: 900 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Front Suffix: N/A Type: N/A

County(s): Ocean **Zip Code:** 08735

Municipality(s): Lavallette Borough **Block(s):** 10

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Seaside Park

Description: The residence at 900 Ocean Front is a two-story cross-gable house with wood shingle siding and a wraparound porch.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

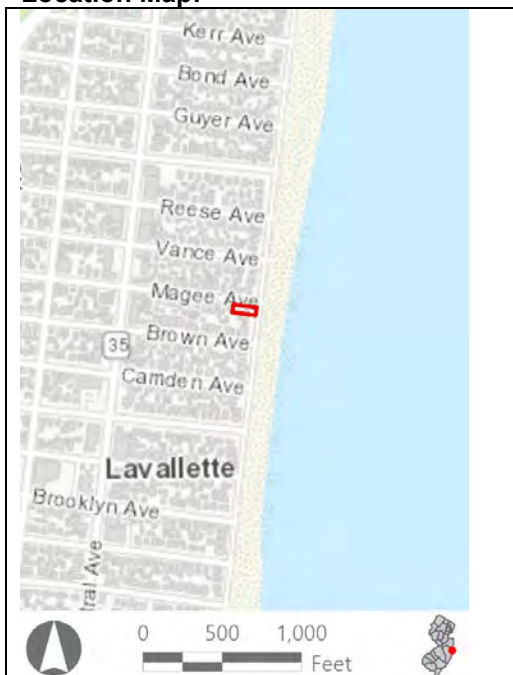


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Borough of Lavallette. 2023. Lavallette History. Available at <https://www.lavallette.org/history.html> (Accessed February 2023).

Heritage Studies, Inc. 1981. Lavallette. New Jersey Historic Sites Inventory, Ocean County Vol. 16. Available at https://www.state.nj.us/dep/hpo/hrrcn_sandy_OCE_GB_147_148_PDF/OCE_GB_148_v16.pdf (Accessed February 2023).

NETROnline (NETR). 2023. "Historic Aerials." Available online at: <https://www.historicaerials.com/viewer> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	900 Ocean Front		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1920	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Wood, Shingles		

Exterior Description: The residence at 900 Ocean Front is a two-story cross-gable house. A brick chimney penetrates the center of the roof at the ridge line. The building is clad in wood shingle siding and the foundation is parged. There is a wraparound porch on the first story with a hipped roof, supported by square posts and a concrete foundation. The fenestration is 1/1 double-hung wood sash arranged in two bays across the façade. A half-light pedestrian door is located within the porch at the center of the façade. There is a one-story shed roof rear projection, likely for a kitchen.

Interior Description: N/A

Setting: The residence at 900 Ocean Front is in a residential neighborhood next to the boardwalk and faces Lavallette Beach. Historic aerial imagery shows that in 1920, only the northern part of Lavallette was developed, except for some roads in the southern part of the borough. Development of the southern part of the borough appears slow through 1940, but the area is completely built out by 1956 (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Lavallette is a borough in Ocean County, New Jersey, located on the Barnegat Peninsula to the north of Seaside Heights and to the south of Mantoloking. The area was known as Squan Beach until the Barnegat Light Improvement Company developed plans for Lavallette in 1878. The community was named for U.S. Navy Admiral Elie LaVallette who won a decisive battle on Lake Champlain during the War of 1812. Lots in Lavallette were marketed mainly to sportsmen in New Jersey, New York, and Philadelphia. In 1881, Lavallette became directly accessible from the mainland via the Philadelphia and Long Branch Railroad, attracting more visitors and residents, but development remained relatively slow over the next decades. Most residents were railroad employees, and most summer visitors were sportsmen. Despite their limited number, residents voted to incorporate Lavallette as a borough in 1887. Although the town attracted summer visitors, commercial fishing, boatbuilding, and beer and soda bottling remained the main industries through the early twentieth century. In 1911, a road was constructed along present-day Route 35 to Seaside Park, and in 1915 the Tom's River Bridge opened Lavallette to automobile traffic from the mainland via Seaside Heights. The boardwalk was constructed in the 1920s (Borough of Lavallette, 2023; Heritage Studies 1981). Today, Lavallette continues to be a popular summer destination.

Significance: The residence at 900 Ocean Front is associated with early-twentieth-century development in Lavallette Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 900 Ocean Front is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 900 Ocean Front is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 5615 West Avenue

Street Address: Street #: 5615 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: West Suffix: N/A Type: AVE

County(s): Ocean **Zip Code:** 08008

Municipality(s): Long Beach Township **Block(s):** 1.04

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Tuckerton

Description: The residence at 5615 West Avenue is an elevated Ranch type house with a low gable roof, wood shingle siding, and an entry via a wood deck.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

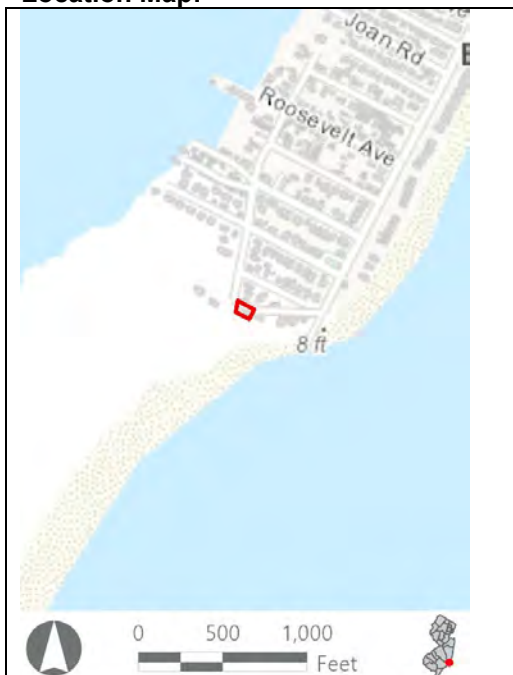


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. Long Beach Island. New Jersey Historic Sites Inventory, Ocean County Vol. 35. Available at OCE_GB_148_v35.pdf (nj.gov) (Accessed January 2023).
Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).
NETROnline (NETR). 2023. "Historic Aerials." Available online at: <https://www.historicaerials.com/viewer> (Accessed February 2023).
Snyder, J. F. 2004. The Story of New Jersey's Civil Boundaries, 1606-1968. NJ Geological Survey, Trenton.
Spicer-McGarry, Susan. 2018. "Steam and Steel." Echoes of LBI Magazine. Available at <https://echoesoflbi.com/steam-steel/> (Accessed January 2023).
Township of Long Beach. Election Information. Available at <https://www.longbeachtownship.com/election-information/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>5615 West Avenue</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential activity, permanent</u>		
Historic Use:	<u>Residential activity, permanent</u>		
Construction Date:	<u>1960</u>	Source:	<u>Njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Medium</u>
Style:	<u>None</u>		
Form:	<u>Ranch</u>	Stories:	<u>2</u>
Type:	<u>N/A</u>	Bays:	<u>4</u>
Roof Finish Materials:	<u>Unknown</u>		
Exterior Finish Materials	<u>Wood, Shingles</u>		

Exterior Description: The residence at 5615 West Avenue is an elevated Ranch type house with a low gable roof. The building is clad in wood shingle siding. The fenestration on the street-facing elevation is limited. From right to left are a pair of 1/1 sash, a pedestrian door, a square 1/1 sash, and a fixed sash. The other elevations are not observable from a public right of way. The house is elevated on wood pilings that also support a wraparound deck. Two flights of stairs lead to the deck and via the deck to the entry. There is a large, enclosed bay underneath the house with a door. It appears to be some sort of plywood shed or garage but is difficult to see.

Interior Description: N/A

Setting: The building at 5615 West Avenue is in a residential neighborhood located along the shore with direct beach access. Long Beach Township, New Jersey is a township in Ocean County consisting of four noncontiguous areas on the barrier island of Long Beach Island and several uninhabited small islands in Barnegat Bay. The township consists of several unincorporated communities, including Beach Haven Park, Peahala Park, Brighton Beach, Beach Haven Crest, Brant Beach, Beach Haven Inlet, Holgate, South Beach Haven, North Beach Haven, Spray Beach, Beach Haven Gardens, Beach Haven Terrace, The Dunes, Haven Beach, North Beach High, Bar Harbor, and Loveladies. Historic aerial imagery shows development in Long Beach Township throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s. The far southern end of the township remains an undeveloped National Wildlife Refuge, and the rest of the township consists of private developments and enclaves. The township is a popular summer resort (Township of Long Beach, 2023; Long Beach Island, 2023; NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Many of the communities of present-day Long Beach Township were established in the late nineteenth century and grew after the Long Beach Railroad was constructed in 1886, connecting Long Beach Island with the mainland. Loveladies was established with the Life Saving Station in 1871 and gained a train station in 1886 and a gunning club in the late nineteenth century. Peahala was developed in 1882 when a gunning organization and subsequent resort were built. Spray Beach, previously called Waverly Beach or Cranberry Hill, was developed in 1890 when W.S. Ringgold and J.L. Long purchased the land and built three cottages, one of which became the Spray Beach Hotel. In the early twentieth century, Brant Beach and Beach Haven Terrace were established by real estate developers who built train stations in these communities. In addition to summer resorts, the main industries on the island through the nineteenth century were fishing, salt production, and farming. Long Beach Township was incorporated as a township in 1899. The communities in Long Beach Township remained relatively small until the construction of the automobile causeway connecting the island to the mainland in 1914 (Heritage Studies, 1981; Snyder 2004; Spicer-McGarry, 2018).

Significance: The building at 5615 West Avenue is associated with mid-twentieth-century development in Long Beach Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 5615 West Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 5615 West Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 1129C Long Beach Boulevard

Street Address: Street #: 1129C N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Long Beach Suffix: N/A Type: BLVD

County(s): Ocean **Zip Code:** 08008

Municipality(s): Long Beach Township **Block(s):** 18.129

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Hammonton

Description: The residence at 1129C Long Beach Boulevard is an oceanfront Contemporary two-story house. It has a gable roof and a second-story balcony.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

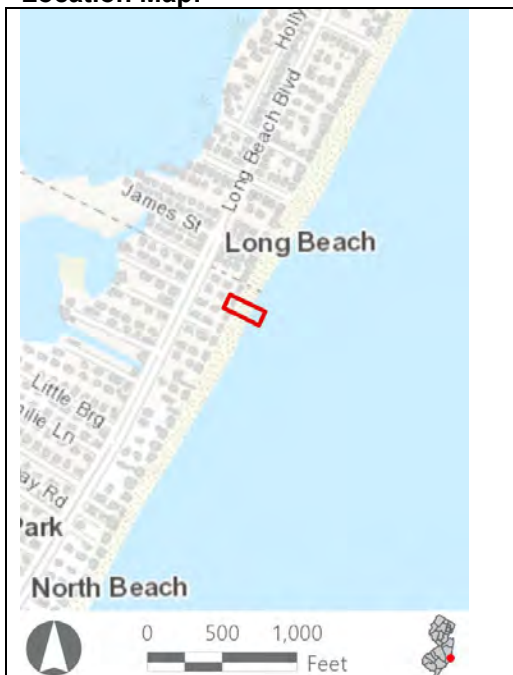


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. Long Beach Island. New Jersey Historic Sites Inventory, Ocean County Vol. 35. Available at OCE_GB_148_v35.pdf (nj.gov) (Accessed January 2023).
Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).
NETROnline (NETR). 2023. "Historic Aerials." Available online at: <https://www.historicaerials.com/viewer> (Accessed February 2023).
Snyder, J. F. 2004. The Story of New Jersey's Civil Boundaries, 1606-1968. NJ Geological Survey, Trenton.
Spicer-McGarry, Susan. 2018. "Steam and Steel." Echoes of LBI Magazine. Available at <https://echoesoflbi.com/steam-steel/> (Accessed January 2023).
Township of Long Beach. Election Information. Available at <https://www.longbeachtownship.com/election-information/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	1129C Long Beach Boulevard		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1980	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	1
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The residence at 1129C Long Beach Boulevard is an oceanfront Contemporary two-story house. It has a gable roof with an angled recessed bay on the second story for a balcony. A one-story flat-roof section extends off the right side of the beach-facing elevation. The first story is half-hidden by the dunes. Overall, the building appears to have vinyl siding and a variety of fixed sash. Sliding patio doors open onto the second-story balcony.

Interior Description: N/A

Setting: The residence at 1129C Long Beach Boulevard is an oceanfront property with direct beach access and is surrounded by like buildings. Long Beach Township, New Jersey is a township in Ocean County consisting of four noncontiguous areas on the barrier island of Long Beach Island and several uninhabited small islands in Barnegat Bay. The township consists of several unincorporated communities, including Beach Haven Park, Peahala Park, Brighton Beach, Beach Haven Crest, Brant Beach, Beach Haven Inlet, Holgate, South Beach Haven, North Beach Haven, Spray Beach, Beach Haven Gardens, Beach Haven Terrace, The Dunes, Haven Beach, North Beach High, Bar Harbor, and Loveladies. Historic aerial imagery shows development in Long Beach Township throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s. The far southern end of the township remains an undeveloped National Wildlife Refuge, and the rest of the township consists of private developments and enclaves. The township is a popular summer resort (Township of Long Beach, 2023; Long Beach Island, 2023; NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Many of the communities of present-day Long Beach Township were established in the late nineteenth century and grew after the Long Beach Railroad was constructed in 1886, connecting Long Beach Island with the mainland. Loveladies was established with the Life Saving Station in 1871 and gained a train station in 1886 and a gunning club in the late nineteenth century. Peahala was developed in 1882 when a gunning organization and subsequent resort were built. Spray Beach, previously called Waverly Beach or Cranberry Hill, was developed in 1890 when W.S. Ringgold and J.L. Long purchased the land and built three cottages, one of which became the Spray Beach Hotel. In the early twentieth century, Brant Beach and Beach Haven Terrace were established by real estate developers who built train stations in these communities. In addition to summer resorts, the main industries on the island through the nineteenth century were fishing, salt production, and farming. Long Beach Township was incorporated as a township in 1899. The communities in Long Beach Township remained relatively small until the construction of the automobile causeway connecting the island to the mainland in 1914 (Heritage Studies, 1981; Snyder 2004; Spicer-McGarry, 2018).

Significance: The residence at 1129C Long Beach Boulevard is associated with late-twentieth-century development in Long Beach Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1129C Long Beach Boulevard is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 1129C Long Beach Boulevard is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 1113A Long Beach Boulevard

Street Address: Street #: 1113A N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Long Beach Suffix: N/A Type: BLVD

County(s): Ocean **Zip Code:** 08008

Municipality(s): Long Beach Township **Block(s):** 18.113

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Hammonton

Description: The residence at 1113A Long Beach Boulevard is a two-story oceanfront residence with a gable roof, two-story porches, and a rooftop deck.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

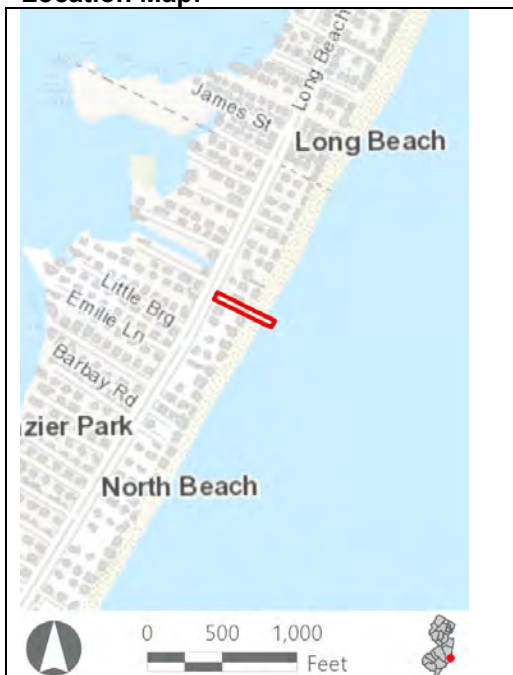


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. Long Beach Island. New Jersey Historic Sites Inventory, Ocean County Vol. 35. Available at OCE_GB_148_v35.pdf (nj.gov) (Accessed January 2023).
Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).
NETROnline (NETR). 2023. "Historic Aerials." Available online at: <https://www.historicaerials.com/viewer> (Accessed February 2023).
Snyder, J. F. 2004. The Story of New Jersey's Civil Boundaries, 1606-1968. NJ Geological Survey, Trenton.
Spicer-McGarry, Susan. 2018. "Steam and Steel." Echoes of LBI Magazine. Available at <https://echoesoflbi.com/steam-steel/> (Accessed January 2023).
Township of Long Beach. Election Information. Available at <https://www.longbeachtownship.com/election-information/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 1113A Long Beach Boulevard
Historic Name: N/A
Present Use: Residential Activity, Permanent
Historic Use: Residential Activity, Permanent
Construction Date: 1960 **Source:** www.njtaxrecords.net
Alteration Date(s): N/A **Source:** N/A
Designer: N/A **Physical Condition:** Good
Builder: N/A **Remaining Historic Fabric:** Medium
Style: None
Form: Gable Front **Stories:** 2
Type: N/A **Bays:** 2
Roof Finish Materials: Asphalt Shingle
Exterior Finish Materials: Vinyl Siding

Exterior Description: The residence at 1113A Long Beach Boulevard is a two-story oceanfront residence with a gable front plan. The roof has a shallow pitch and projects outward from the ridgeline on the facade. The walls are clad in vinyl siding and the fenestration is largely 1/1 replacement sash in pairs. There are clerestory windows at the peak of the gable front. Two-tier decks appear on the beach-facing elevation with metal railings. A single pedestrian door in the center of the elevation on both the first and second stories open onto each deck.

Interior Description: N/A

Setting: The residence at 1113A Long Beach Boulevard is an oceanfront property with direct beach access and is surrounded by like buildings. Long Beach Township, New Jersey is a township in Ocean County consisting of four noncontiguous areas on the barrier island of Long Beach Island and several uninhabited small islands in Barnegat Bay. The township consists of several unincorporated communities, including Beach Haven Park, Peahala Park, Brighton Beach, Beach Haven Crest, Brant Beach, Beach Haven Inlet, Holgate, South Beach Haven, North Beach Haven, Spray Beach, Beach Haven Gardens, Beach Haven Terrace, The Dunes, Haven Beach, North Beach High, Bar Harbor, and Loveladies. Historic aerial imagery shows development in Long Beach Township throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s. The far southern end of the township remains an undeveloped National Wildlife Refuge, and the rest of the township consists of private developments and enclaves. The township is a popular summer resort (Township of Long Beach, 2023; Long Beach Island, 2023; NETR, 2023).

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C.

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Many of the communities of present-day Long Beach Township were established in the late nineteenth century and grew after the Long Beach Railroad was constructed in 1886, connecting Long Beach Island with the mainland. Loveladies was established with the Life Saving Station in 1871 and gained a train station in 1886 and a gunning club in the late nineteenth century. Peahala was developed in 1882 when a gunning organization and subsequent resort were built. Spray Beach, previously called Waverly Beach or Cranberry Hill, was developed in 1890 when W.S. Ringgold and J.L. Long purchased the land and built three cottages, one of which became the Spray Beach Hotel. In the early twentieth century, Brant Beach and Beach Haven Terrace were established by real estate developers who built train stations in these communities. In addition to summer resorts, the main industries on the island through the nineteenth century were fishing, salt production, and farming. Long Beach Township was incorporated as a township in 1899. The communities in Long Beach Township remained relatively small until the construction of the automobile causeway connecting the island to the mainland in 1914 (Heritage Studies, 1981; Snyder 2004; Spicer-McGarry, 2018).

Significance: 1113A Long Beach Boulevard is associated with mid-twentieth-century development in Long Beach Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1113A Long Beach Boulevard is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 1113A Long Beach Boulevard is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 6312 Ocean Boulevard

Street Address: Street #: 6312 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Suffix: N/A Type: BLVD

County(s): Ocean **Zip Code:** 08008

Municipality(s): Long Beach Township **Block(s):** 15.33

Local Place Name(s): N/A **Lot(s):** 6

Ownership: Private **USGS Quad(s)** Hammonton

Description: The building at 6312 Ocean Boulevard is a one-and-one-half-story Colonial Revival-style residence with a dormered gable roof, single-story projection, rear porch, and detached garage.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

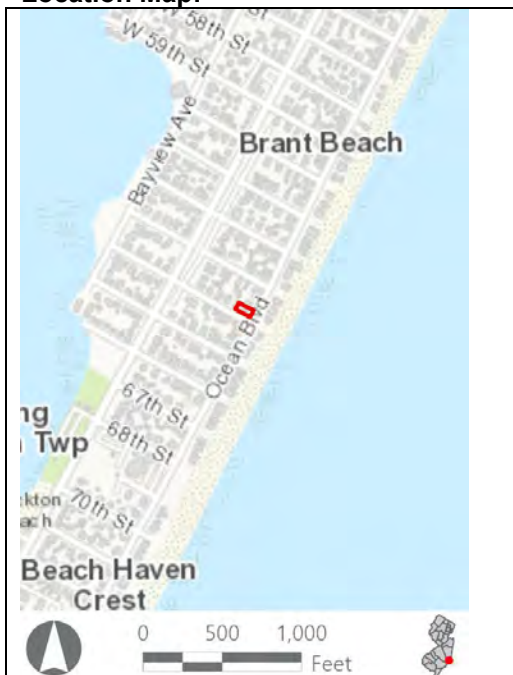
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. Long Beach Island. New Jersey Historic Sites Inventory, Ocean County Vol. 35. Available at OCE_GB_148_v35.pdf (nj.gov) (Accessed January 2023).
Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).
NETROnline (NETR). 2023. "Historic Aerials." Available online at: <https://www.historicaerials.com/viewer> (Accessed February 2023).
Snyder, J. F. 2004. The Story of New Jersey's Civil Boundaries, 1606-1968. NJ Geological Survey, Trenton.
Spicer-McGarry, Susan. 2018. "Steam and Steel." Echoes of LBI Magazine. Available at <https://echoesoflbi.com/steam-steel/> (Accessed January 2023).
Township of Long Beach. Election Information. Available at <https://www.longbeachtownship.com/election-information/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 6312 Ocean Boulevard

Historic Name: N/A

Present Use: Residential activity, Permanent

Historic Use: Residential activity, Permanent

Construction Date: 1955 **Source:** Njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Good

Builder: N/A **Remaining Historic Fabric:** Medium

Style: Colonial Revival

Form: Gable Front **Stories:** 1.5

Type: N/A **Bays:** 2

Roof Finish Materials: Asphalt Shingle

Exterior Finish Materials Wood, Shingles

Exterior Description: The building at 6312 Ocean Boulevard is a one-and-one-half-story Colonial Revival-style residence. The house is clad in wood shingle siding and the fenestration is regularly spaced 1/1 replacement sash. There is a pair of gable-roofed dormers on the street facing elevation, and boxed eaves with cornice returns on each gable end. The primary entry appears to be in the side elevation forward of a one-story gable-roofed wing. The wing appears to be a single room, probably a sunroom, with banks of ribbon 1/1 windows. There is a detached garage.

Interior Description: N/A

Setting: The building at 6312 Ocean Boulevard is in a residential setting, one block from the beach. Long Beach Township, New Jersey is a township in Ocean County consisting of four noncontiguous areas on the barrier island of Long Beach Island and several uninhabited small islands in Barnegat Bay. The township consists of several unincorporated communities, including Beach Haven Park, Peahala Park, Brighton Beach, Beach Haven Crest, Brant Beach, Beach Haven Inlet, Holgate, South Beach Haven, North Beach Haven, Spray Beach, Beach Haven Gardens, Beach Haven Terrace, The Dunes, Haven Beach, North Beach High, Bar Harbor, and Loveladies. Historic aerial imagery shows development in Long Beach Township throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s. The far southern end of the township remains an undeveloped National Wildlife Refuge, and the rest of the township consists of private developments and enclaves. The township is a popular summer resort (Township of Long Beach, 2023; Long Beach Island, 2023; NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Many of the communities of present-day Long Beach Township were established in the late nineteenth century and grew after the Long Beach Railroad was constructed in 1886, connecting Long Beach Island with the mainland. Loveladies was established with the Life Saving Station in 1871 and gained a train station in 1886 and a gunning club in the late nineteenth century. Peahala was developed in 1882 when a gunning organization and subsequent resort were built. Spray Beach, previously called Waverly Beach or Cranberry Hill, was developed in 1890 when W.S. Ringgold and J.L. Long purchased the land and built three cottages, one of which became the Spray Beach Hotel. In the early twentieth century, Brant Beach and Beach Haven Terrace were established by real estate developers who built train stations in these communities. In addition to summer resorts, the main industries on the island through the nineteenth century were fishing, salt production, and farming. Long Beach Township was incorporated as a township in 1899. The communities in Long Beach Township remained relatively small until the construction of the automobile causeway connecting the island to the mainland in 1914 (Heritage Studies, 1981; Snyder 2004; Spicer-McGarry, 2018).

Significance: The building at 6312 Ocean Boulevard is associated with mid-twentieth-century development in Long Beach Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 6312 Ocean Boulevard is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 6312 Ocean Boulevard is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 3707 South Long Beach Boulevard

Street Address: Street #: 3707 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: Long Beach Suffix: N/A Type: BLVD

County(s): Ocean **Zip Code:** 08008

Municipality(s): Long Beach Township **Block(s):** 1.56

Local Place Name(s): N/A **Lot(s):** 2

Ownership: Private **USGS Quad(s)** Tuckerton

Description: The building at 3707 South Long Beach Boulevard is an elevated two-story residence with a side gable roof.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023

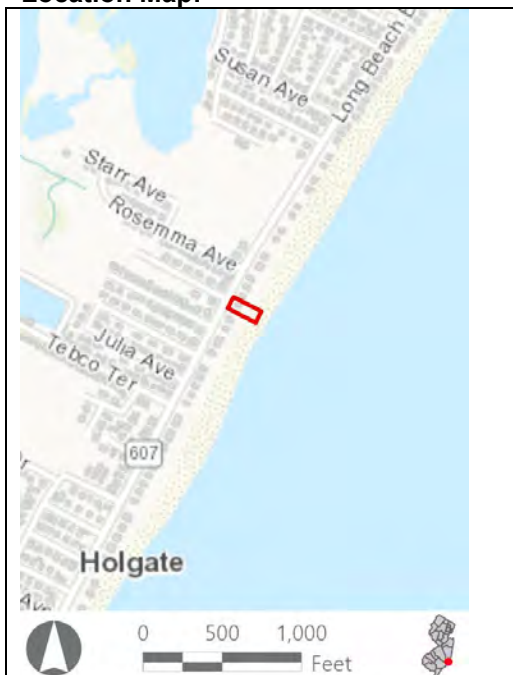
Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. Long Beach Island. New Jersey Historic Sites Inventory, Ocean County Vol. 35. Available at OCE_GB_148_v35.pdf (nj.gov) (Accessed January 2023).
Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).
NETROnline (NETR). 2023. "Historic Aerials." Available online at: <https://www.historicaerials.com/viewer> (Accessed February 2023).
Snyder, J. F. 2004. The Story of New Jersey's Civil Boundaries, 1606-1968. NJ Geological Survey, Trenton.
Spicer-McGarry, Susan. 2018. "Steam and Steel." Echoes of LBI Magazine. Available at <https://echoesoflbi.com/steam-steel/> (Accessed January 2023).
Township of Long Beach. Election Information. Available at <https://www.longbeachtownship.com/election-information/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	3707 South Long Beach Boulevard		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1978	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 3707 South Long Beach Boulevard is an elevated two-story residence with a side gable roof. The roof has a relatively shallow pitch and the eaves project outward from the ridge line. The exterior cladding is vinyl and the fenestration appears to be a mixture of paired casement sash, fixed sash, and a single oriel window on the second story of the beach-facing elevation. Much of the beach-facing elevation is obscured by trees and the dunes, but there appears to be a shallow projection with a shed roof with sliding patio doors on the first story that opens onto a deck. There appears to be an open balcony on the second story with sliding patio doors, but it is partially obscured by trees. The foundation is high, almost the height of a story, and is parged.

Interior Description: N/A

Setting: The residence at 3707 South Long Beach Boulevard is an oceanfront property with direct beach access and is surrounded by like buildings. Long Beach Township, New Jersey is a township in Ocean County consisting of four noncontiguous areas on the barrier island of Long Beach Island and several uninhabited small islands in Barnegat Bay. The township consists of several unincorporated communities, including Beach Haven Park, Peahala Park, Brighton Beach, Beach Haven Crest, Brant Beach, Beach Haven Inlet, Holgate, South Beach Haven, North Beach Haven, Spray Beach, Beach Haven Gardens, Beach Haven Terrace, The Dunes, Haven Beach, North Beach High, Bar Harbor, and Loveladies. Historic aerial imagery shows development in Long Beach Township throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s. The far southern end of the township remains an undeveloped National Wildlife Refuge, and the rest of the township consists of private developments and enclaves. The township is a popular summer resort (Township of Long Beach, 2023; Long Beach Island, 2023; NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Many of the communities of present-day Long Beach Township were established in the late nineteenth century and grew after the Long Beach Railroad was constructed in 1886, connecting Long Beach Island with the mainland. Loveladies was established with the Life Saving Station in 1871 and gained a train station in 1886 and a gunning club in the late nineteenth century. Peahala was developed in 1882 when a gunning organization and subsequent resort were built. Spray Beach, previously called Waverly Beach or Cranberry Hill, was developed in 1890 when W.S. Ringgold and J.L. Long purchased the land and built three cottages, one of which became the Spray Beach Hotel. In the early twentieth century, Brant Beach and Beach Haven Terrace were established by real estate developers who built train stations in these communities. In addition to summer resorts, the main industries on the island through the nineteenth century were fishing, salt production, and farming. Long Beach Township was incorporated as a township in 1899. The communities in Long Beach Township remained relatively small until the construction of the automobile causeway connecting the island to the mainland in 1914 (Heritage Studies, 1981; Snyder 2004; Spicer-McGarry, 2018).

Significance: The residence at 3707 South Long Beach Boulevard is associated with mid-twentieth-century development in Long Beach Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 3707 South Long Beach Boulevard is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 3707 South Long Beach Boulevard is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 4909 South Long Beach Boulevard

Street Address: Street #: 4909 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: Long Beach Suffix: N/A Type: BLVD

County(s): Ocean **Zip Code:** 08008

Municipality(s): Long Beach Township **Block(s):** 1.25

Local Place Name(s): N/A **Lot(s):** 4

Ownership: Private **USGS Quad(s)** Tuckerton

Description: The building at 4909 South Long Beach Boulevard is an elevated two-story residence with irregular massing, an inset entry porch, and a large beachfront deck.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

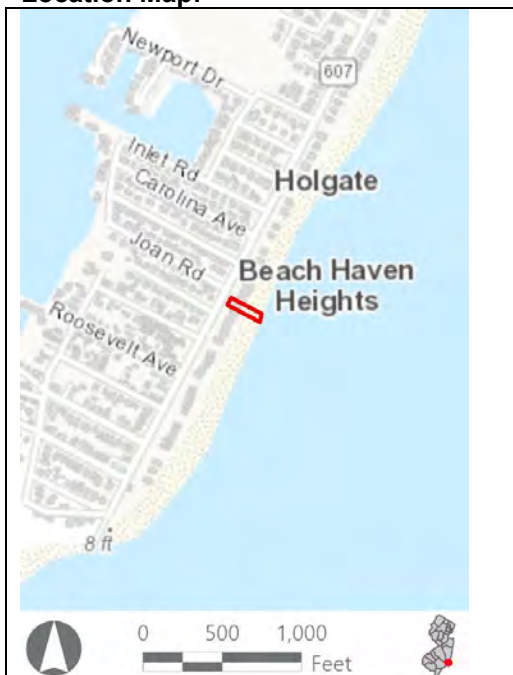
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. Long Beach Island. New Jersey Historic Sites Inventory, Ocean County Vol. 35. Available at OCE_GB_148_v35.pdf (nj.gov) (Accessed January 2023).
Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).
NETROnline (NETR). 2023. "Historic Aerials." Available online at: <https://www.historicaerials.com/viewer> (Accessed February 2023).
Snyder, J. F. 2004. The Story of New Jersey's Civil Boundaries, 1606-1968. NJ Geological Survey, Trenton.
Spicer-McGarry, Susan. 2018. "Steam and Steel." Echoes of LBI Magazine. Available at <https://echoesoflbi.com/steam-steel/> (Accessed January 2023).
Township of Long Beach. Election Information. Available at <https://www.longbeachtownship.com/election-information/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	4909 South Long Beach Boulevard		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1981	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 4909 South Long Beach Boulevard is an elevated two-story residence with irregular massing. The street-facing elevation has an inset porch which provides access to the primary entry. An overhanging gabled projection above has paired 1/1 sash. To the left of the inset and projection is a two-bay shed roof projection that has paired 1/1 sash. Above and set back is a two-bay facade with 1/1 sash. The entire building is raised up and supported by a parged foundation. The first story of the house overhangs the foundation. A single carport occupies the left bay of the basement. The right bay is set back with a pedestrian door. The beach-facing elevation features a large two-tier deck that overlooks the sea. Overall, the building is clad in vinyl shingle siding.

Interior Description: N/A

Setting: The residence at 4909 South Long Beach Boulevard is an oceanfront property with direct beach access and is surrounded by like buildings. Long Beach Township, New Jersey is a township in Ocean County consisting of four noncontiguous areas on the barrier island of Long Beach Island and several uninhabited small islands in Barnegat Bay. The township consists of several unincorporated communities, including Beach Haven Park, Peahala Park, Brighton Beach, Beach Haven Crest, Brant Beach, Beach Haven Inlet, Holgate, South Beach Haven, North Beach Haven, Spray Beach, Beach Haven Gardens, Beach Haven Terrace, The Dunes, Haven Beach, North Beach High, Bar Harbor, and Loveladies. Historic aerial imagery shows development in Long Beach Township throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s. The far southern end of the township remains an undeveloped National Wildlife Refuge, and the rest of the township consists of private developments and enclaves. The township is a popular summer resort (Township of Long Beach, 2023; Long Beach Island, 2023; NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Many of the communities of present-day Long Beach Township were established in the late nineteenth century and grew after the Long Beach Railroad was constructed in 1886, connecting Long Beach Island with the mainland. Loveladies was established with the Life Saving Station in 1871 and gained a train station in 1886 and a gunning club in the late nineteenth century. Peahala was developed in 1882 when a gunning organization and subsequent resort were built. Spray Beach, previously called Waverly Beach or Cranberry Hill, was developed in 1890 when W.S. Ringgold and J.L. Long purchased the land and built three cottages, one of which became the Spray Beach Hotel. In the early twentieth century, Brant Beach and Beach Haven Terrace were established by real estate developers who built train stations in these communities. In addition to summer resorts, the main industries on the island through the nineteenth century were fishing, salt production, and farming. Long Beach Township was incorporated as a township in 1899. The communities in Long Beach Township remained relatively small until the construction of the automobile causeway connecting the island to the mainland in 1914 (Heritage Studies, 1981; Snyder 2004; Spicer-McGarry, 2018).

Significance: 4909 South Long Beach Boulevard is associated with late-twentieth-century development in Long Beach Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 4909 South Long Beach Boulevard is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 4909 South Long Beach Boulevard is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 107F Long Beach Boulevard

Street Address: Street #: 107F N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Long Beach Suffix: N/A Type: BLVD

County(s): Ocean **Zip Code:** 08008

Municipality(s): Long Beach Township **Block(s):** 20.115

Local Place Name(s): N/A **Lot(s):** 6

Ownership: Private **USGS Quad(s)** Hammonton

Description: The building at 107F Long Beach Boulevard is a two-story residence with four pyramidal roof volumes and a cantilevered second-story deck.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

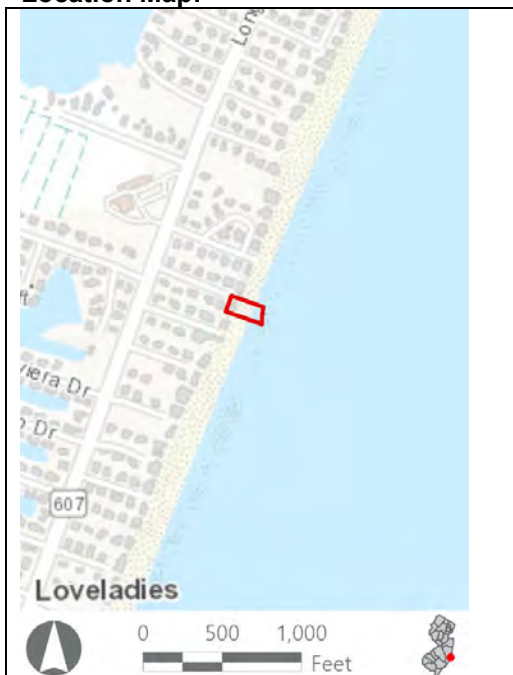
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. Long Beach Island. New Jersey Historic Sites Inventory, Ocean County Vol. 35. Available at OCE_GB_148_v35.pdf (nj.gov) (Accessed January 2023).
Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).
NETROnline (NETR). 2023. "Historic Aerials." Available online at: <https://www.historicaerials.com/viewer> (Accessed February 2023).
Snyder, J. F. 2004. The Story of New Jersey's Civil Boundaries, 1606-1968. NJ Geological Survey, Trenton.
Spicer-McGarry, Susan. 2018. "Steam and Steel." Echoes of LBI Magazine. Available at <https://echoesoflbi.com/steam-steel/> (Accessed January 2023).
Township of Long Beach. Election Information. Available at <https://www.longbeachtownship.com/election-information/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	107F Long Beach Boulevard		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1977	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Apartment	Stories:	2
Type:	N/A	Bays:	4
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Stucco		

Exterior Description: The building at 107F Long Beach Boulevard is a two-story residential building, likely apartments, or condos. The building is on a rectangular plan perpendicular to the beach and divided into four bays across the facade. Each bay is surmounted by a pyramidal roof clad with asphalt shingles. In between bays are large wooden posts that support the wall that is otherwise entirely glazed. Along the roof eaves and on the side elevations the walls are stucco. The first and second stories are divided by a balcony slab supported underneath by wood braces. Access to the balcony and to a patio below is via sliding patio doors.

Interior Description: N/A

Setting: The residence at ADDRESS is an oceanfront property with direct beach access and is surrounded by like buildings. Long Beach Township, New Jersey is a township in Ocean County consisting of four noncontiguous areas on the barrier island of Long Beach Island and several uninhabited small islands in Barnegat Bay. The township consists of several unincorporated communities, including Beach Haven Park, Peahala Park, Brighton Beach, Beach Haven Crest, Brant Beach, Beach Haven Inlet, Holgate, South Beach Haven, North Beach Haven, Spray Beach, Beach Haven Gardens, Beach Haven Terrace, The Dunes, Haven Beach, North Beach High, Bar Harbor, and Loveladies. Historic aerial imagery shows development in Long Beach Township throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s. The far southern end of the township remains an undeveloped National Wildlife Refuge, and the rest of the township consists of private developments and enclaves. The township is a popular summer resort (Township of Long Beach, 2023; Long Beach Island, 2023; NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Many of the communities of present-day Long Beach Township were established in the late nineteenth century and grew after the Long Beach Railroad was constructed in 1886, connecting Long Beach Island with the mainland. Loveladies was established with the Life Saving Station in 1871 and gained a train station in 1886 and a gunning club in the late nineteenth century. Peahala was developed in 1882 when a gunning organization and subsequent resort were built. Spray Beach, previously called Waverly Beach or Cranberry Hill, was developed in 1890 when W.S. Ringgold and J.L. Long purchased the land and built three cottages, one of which became the Spray Beach Hotel. In the early twentieth century, Brant Beach and Beach Haven Terrace were established by real estate developers who built train stations in these communities. In addition to summer resorts, the main industries on the island through the nineteenth century were fishing, salt production, and farming. Long Beach Township was incorporated as a township in 1899. The communities in Long Beach Township remained relatively small until the construction of the automobile causeway connecting the island to the mainland in 1914 (Heritage Studies, 1981; Snyder 2004; Spicer-McGarry, 2018).

Significance: 107F Long Beach Boulevard is associated with late-twentieth-century development in Long Beach Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 107F Long Beach Boulevard is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 107F Long Beach Boulevard is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 77D Long Beach Boulevard

Street Address: Street #: 77D N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Long Beach Suffix: N/A Type: BLVD

County(s): Ocean **Zip Code:** 08008

Municipality(s): Long Beach Township **Block(s):** 20.87

Local Place Name(s): Loveladies **Lot(s):** 4

Ownership: Private **USGS Quad(s)** Hammonton

Description: The building at 77D Long Beach Boulevard is a two-story oceanfront residence with a gable roof, a brick chimney, and two second-floor decks.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

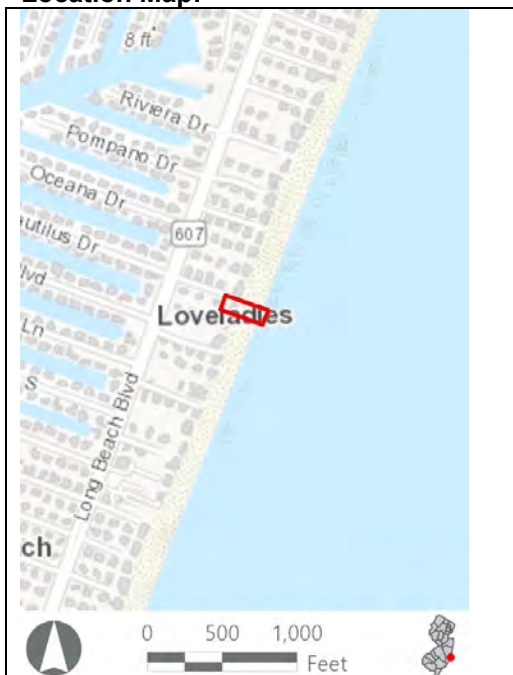
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. Long Beach Island. New Jersey Historic Sites Inventory, Ocean County Vol. 35. Available at OCE_GB_148_v35.pdf (nj.gov) (Accessed January 2023).
Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).
NETROnline (NETR). 2023. "Historic Aerials." Available online at: <https://www.historicaerials.com/viewer> (Accessed February 2023).
Snyder, J. F. 2004. The Story of New Jersey's Civil Boundaries, 1606-1968. NJ Geological Survey, Trenton.
Spicer-McGarry, Susan. 2018. "Steam and Steel." Echoes of LBI Magazine. Available at <https://echoesoflbi.com/steam-steel/> (Accessed January 2023).
Township of Long Beach. Election Information. Available at <https://www.longbeachtownship.com/election-information/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 77D Long Beach Boulevard

Historic Name: N/A

Present Use: Residential Activity, Permanent

Historic Use: Residential Activity, Permanent

Construction Date: 1970 **Source:** www.njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Good

Builder: N/A **Remaining Historic Fabric:** Medium

Style: None

Form: Other **Stories:** 2

Type: N/A **Bays:** 1

Roof Finish Materials: Asphalt Shingle

Exterior Finish Materials Wood, Other

Exterior Description: The building at 77D Long Beach Boulevard is a two-story oceanfront residence divided into three gabled-roof volumes. The center block is two bays across the beach-facing facade with large square fixed sash. The roof has a shallow pitch and is pierced on one side by a wide chimney stack that extends the height of the side elevation. The main block is flanked by two gabled wings, both of which are stepped back with a second-story deck. Sliding patio doors on each volume provide access to these two decks which have metal pole railings. The first story is almost entirely obscured by the dunes. The exterior wall cladding overall appears to be vertical shiplap or T-111.

Interior Description: N/A

Setting: The residence at 77D Long Beach Boulevard is an oceanfront property with direct beach access and is surrounded by like buildings. Long Beach Township, New Jersey is a township in Ocean County consisting of four noncontiguous areas on the barrier island of Long Beach Island and several uninhabited small islands in Barnegat Bay. The township consists of several unincorporated communities, including Beach Haven Park, Peahala Park, Brighton Beach, Beach Haven Crest, Brant Beach, Beach Haven Inlet, Holgate, South Beach Haven, North Beach Haven, Spray Beach, Beach Haven Gardens, Beach Haven Terrace, The Dunes, Haven Beach, North Beach High, Bar Harbor, and Loveladies. Historic aerial imagery shows development in Long Beach Township throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s. The far southern end of the township remains an undeveloped National Wildlife Refuge, and the rest of the township consists of private developments and enclaves. The township is a popular summer resort (Township of Long Beach, 2023; Long Beach Island, 2023; NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Many of the communities of present-day Long Beach Township were established in the late nineteenth century and grew after the Long Beach Railroad was constructed in 1886, connecting Long Beach Island with the mainland. Loveladies was established with the Life Saving Station in 1871 and gained a train station in 1886 and a gunning club in the late nineteenth century. Peahala was developed in 1882 when a gunning organization and subsequent resort were built. Spray Beach, previously called Waverly Beach or Cranberry Hill, was developed in 1890 when W.S. Ringgold and J.L. Long purchased the land and built three cottages, one of which became the Spray Beach Hotel. In the early twentieth century, Brant Beach and Beach Haven Terrace were established by real estate developers who built train stations in these communities. In addition to summer resorts, the main industries on the island through the nineteenth century were fishing, salt production, and farming. Long Beach Township was incorporated as a township in 1899. The communities in Long Beach Township remained relatively small until the construction of the automobile causeway connecting the island to the mainland in 1914 (Heritage Studies, 1981; Snyder 2004; Spicer-McGarry, 2018).

Significance: 77D Long Beach Boulevard is associated with mid-twentieth-century development in Long Beach Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

**National
Register Criteria:**

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 77D Long Beach Boulevard is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 77D Long Beach Boulevard is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 171E Long Beach Boulevard

Street Address: Street #: 171E N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Long Beach Suffix: N/A Type: BLVD

County(s): Ocean **Zip Code:** 08008

Municipality(s): Long Beach Township **Block(s):** 20.165

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Hammonton

Description: The building at 171E Long Beach Boulevard is a two-story residence with a cross-gable roof, an octagonal covered porch, and a large deck across the facade.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

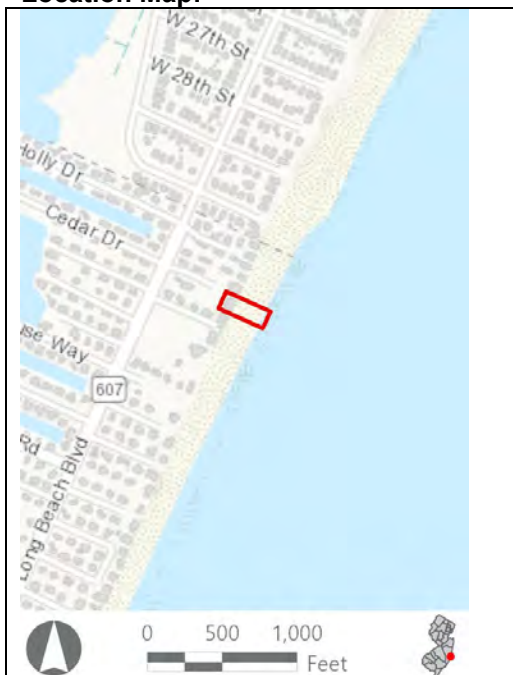
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. Long Beach Island. New Jersey Historic Sites Inventory, Ocean County Vol. 35. Available at OCE_GB_148_v35.pdf (nj.gov) (Accessed January 2023).
Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).
NETROnline (NETR). 2023. "Historic Aerials." Available online at: <https://www.historicaerials.com/viewer> (Accessed February 2023).
Snyder, J. F. 2004. The Story of New Jersey's Civil Boundaries, 1606-1968. NJ Geological Survey, Trenton.
Spicer-McGarry, Susan. 2018. "Steam and Steel." Echoes of LBI Magazine. Available at <https://echoesoflbi.com/steam-steel/> (Accessed January 2023).
Township of Long Beach. Election Information. Available at <https://www.longbeachtownship.com/election-information/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C.

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	171E Long Beach Boulevard		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1980	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Medium
Style:	None		
Form:	Other	Stories:	1
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Wood, Shingles		

Exterior Description: The building at 171E Long Beach Boulevard is a two-story residence with a cross-gable roof. The residence is on a long rectangular plan with an angled projecting bay on the left of the ocean-facing elevation. The first story is almost entirely obscured by dunes and the building itself is set far back from the public right of way. The second story, however, is clearly visible with a full-length porch across the elevation terminating on the right end of the facade with a hexagonal volume with a roof. Fenestration across the facade appears to be large square slider sash. There is a large fanlight in the gable of the projecting volume on the left side of the elevation.

Interior Description: N/A

Setting: The residence at 171E Long Beach Boulevard is an oceanfront property with direct beach access and is surrounded by like buildings. Long Beach Township, New Jersey is a township in Ocean County consisting of four noncontiguous areas on the barrier island of Long Beach Island and several uninhabited small islands in Barnegat Bay. The township consists of several unincorporated communities, including Beach Haven Park, Peahala Park, Brighton Beach, Beach Haven Crest, Brant Beach, Beach Haven Inlet, Holgate, South Beach Haven, North Beach Haven, Spray Beach, Beach Haven Gardens, Beach Haven Terrace, The Dunes, Haven Beach, North Beach High, Bar Harbor, and Loveladies. Historic aerial imagery shows development in Long Beach Township throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s. The far southern end of the township remains an undeveloped National Wildlife Refuge, and the rest of the township consists of private developments and enclaves. The township is a popular summer resort (Township of Long Beach, 2023; Long Beach Island, 2023; NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Many of the communities of present-day Long Beach Township were established in the late nineteenth century and grew after the Long Beach Railroad was constructed in 1886, connecting Long Beach Island with the mainland. Loveladies was established with the Life Saving Station in 1871 and gained a train station in 1886 and a gunning club in the late nineteenth century. Peahala was developed in 1882 when a gunning organization and subsequent resort were built. Spray Beach, previously called Waverly Beach or Cranberry Hill, was developed in 1890 when W.S. Ringgold and J.L. Long purchased the land and built three cottages, one of which became the Spray Beach Hotel. In the early twentieth century, Brant Beach and Beach Haven Terrace were established by real estate developers who built train stations in these communities. In addition to summer resorts, the main industries on the island through the nineteenth century were fishing, salt production, and farming. Long Beach Township was incorporated as a township in 1899. The communities in Long Beach Township remained relatively small until the construction of the automobile causeway connecting the island to the mainland in 1914 (Heritage Studies, 1981; Snyder 2004; Spicer-McGarry, 2018).

Significance: 171E Long Beach Boulevard is associated with late-twentieth-century development in Long Beach Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 171E Long Beach Boulevard is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 171E Long Beach Boulevard is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 201 East 31st Street

Street Address: Street #: 201 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: 31st Suffix: N/A Type: ST

County(s): Ocean **Zip Code:** 08008

Municipality(s): Long Beach Township **Block(s):** 6.29

Local Place Name(s): Beach Haven Gardens **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Hammonton

Description: The building at 201 East 31st Street is a two-story residence with a gabled roof and a single-story wing with a rooftop deck.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

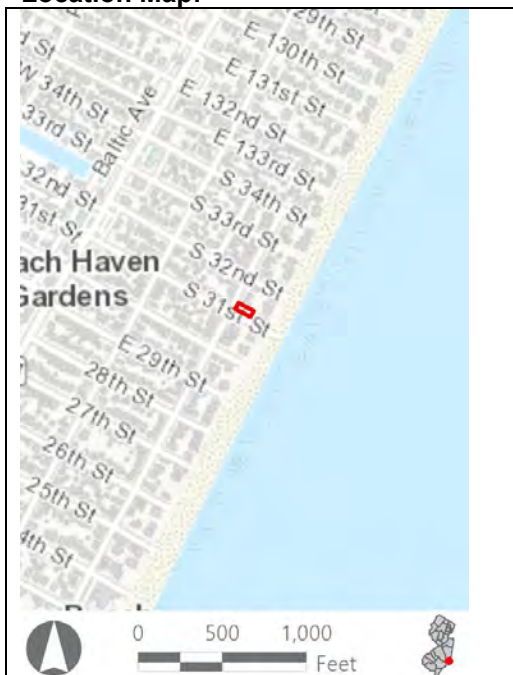


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. Long Beach Island. New Jersey Historic Sites Inventory, Ocean County Vol. 35. Available at OCE_GB_148_v35.pdf (nj.gov) (Accessed January 2023).
Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).
NETROnline (NETR). 2023. "Historic Aerials." Available online at: <https://www.historicaerials.com/viewer> (Accessed February 2023).
Snyder, J. F. 2004. The Story of New Jersey's Civil Boundaries, 1606-1968. NJ Geological Survey, Trenton.
Spicer-McGarry, Susan. 2018. "Steam and Steel." Echoes of LBI Magazine. Available at <https://echoesoflbi.com/steam-steel/> (Accessed January 2023).
Township of Long Beach. Election Information. Available at <https://www.longbeachtownship.com/election-information/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 201 East South 31st Street
Historic Name: N/A
Present Use: Residential activity, permanent
Historic Use: Residential activity, permanent
Construction Date: 1954 **Source:** Njtaxrecords.net
Alteration Date(s): N/A **Source:** N/A
Designer: N/A **Physical Condition:** Good
Builder: N/A **Remaining Historic Fabric:** Low
Style: None
Form: Gable Front **Stories:** 2
Type: N/A **Bays:** 3
Roof Finish Materials: Asphalt Shingle
Exterior Finish Materials Vinyl Siding

Exterior Description: The building at 201 East 31st Street is a two-story side-gabled residence with a single-story wing with a rooftop deck. The building is located on the corner with the facade looking onto 31st Street. The facade is three bays across with the fenestration matching in each bay. From left to right the fenestration is 1/1 single, 1/1 paired, and oriel with a center fixed sash flanked by 1/1. The entry appears to be in the one-story wing which is to the right of the facade. A sliding patio door enters into the one-story wing and a flight of wooden steps leads from the outside onto a rooftop deck. The deck is also accessed via sliding patio doors from the side elevation on the second story. The fenestration on the second-story side elevation is square slider sash and there is a single fanlight in the gable. There is also a brick chimney that extends from the roof of the one-story wing along the side of the main block and above the eaves. The fenestration on the wing is paired and tripartite 1/1 sash. Overall, the siding is vinyl cladding.

Interior Description: N/A

Setting: The residence at 201 East 31st Street is one block from the beach and is surrounded by like buildings. Long Beach Township, New Jersey is a township in Ocean County consisting of four noncontiguous areas on the barrier island of Long Beach Island and several uninhabited small islands in Barnegat Bay. The township consists of several unincorporated communities, including Beach Haven Park, Peahala Park, Brighton Beach, Beach Haven Crest, Brant Beach, Beach Haven Inlet, Holgate, South Beach Haven, North Beach Haven, Spray Beach, Beach Haven Gardens, Beach Haven Terrace, The Dunes, Haven Beach, North Beach High, Bar Harbor, and Loveladies. Historic aerial imagery shows development in Long Beach Township throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s. The far southern end of the township remains an undeveloped National Wildlife Refuge, and the rest of the township consists of private developments and enclaves. The township is a popular summer resort (Township of Long Beach, 2023; Long Beach Island, 2023; NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Many of the communities of present-day Long Beach Township were established in the late nineteenth century and grew after the Long Beach Railroad was constructed in 1886, connecting Long Beach Island with the mainland. Loveladies was established with the Life Saving Station in 1871 and gained a train station in 1886 and a gunning club in the late nineteenth century. Peahala was developed in 1882 when a gunning organization and subsequent resort were built. Spray Beach, previously called Waverly Beach or Cranberry Hill, was developed in 1890 when W.S. Ringgold and J.L. Long purchased the land and built three cottages, one of which became the Spray Beach Hotel. In the early twentieth century, Brant Beach and Beach Haven Terrace were established by real estate developers who built train stations in these communities. In addition to summer resorts, the main industries on the island through the nineteenth century were fishing, salt production, and farming. Long Beach Township was incorporated as a township in 1899. The communities in Long Beach Township remained relatively small until the construction of the automobile causeway connecting the island to the mainland in 1914 (Heritage Studies, 1981; Snyder 2004; Spicer-McGarry, 2018).

Significance: 201 East 31st Street is associated with mid-twentieth-century development in Long Beach Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

**National
Register Criteria:**

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 201 East 31st Street is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 201 East 31st Street is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 12309 Ocean Avenue

Street Address: Street #: 12309 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Suffix: N/A Type: AVE

County(s): Ocean **Zip Code:** 08008

Municipality(s): Long Beach Township **Block(s):** 8.20

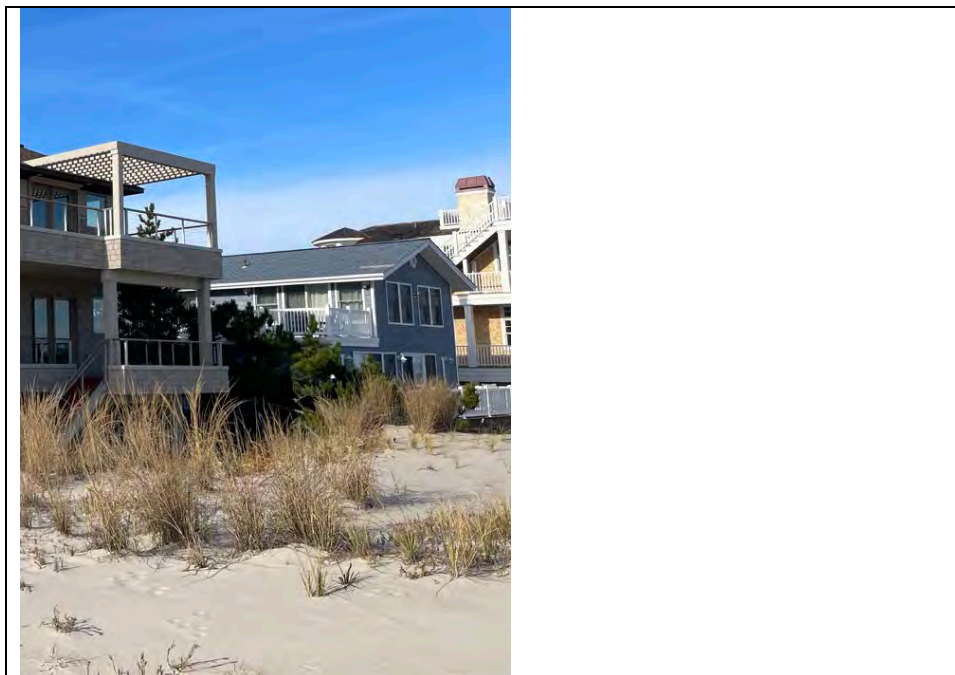
Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Hammonton

Description: The building at 12309 Ocean Avenue is a two-story embanked gable front house. It has a one-story side wing with a rooftop deck. There is a carport at the basement level.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

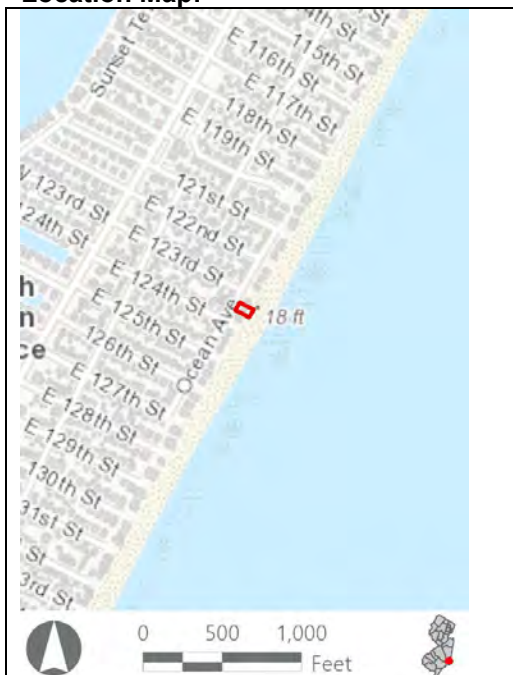


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. Long Beach Island. New Jersey Historic Sites Inventory, Ocean County Vol. 35. Available at OCE_GB_148_v35.pdf (nj.gov) (Accessed January 2023).
Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).
NETROnline (NETR). 2023. "Historic Aerials." Available online at: <https://www.historicaerials.com/viewer> (Accessed February 2023).
Snyder, J. F. 2004. The Story of New Jersey's Civil Boundaries, 1606-1968. NJ Geological Survey, Trenton.
Spicer-McGarry, Susan. 2018. "Steam and Steel." Echoes of LBI Magazine. Available at <https://echoesoflbi.com/steam-steel/> (Accessed January 2023).
Township of Long Beach. Election Information. Available at <https://www.longbeachtownship.com/election-information/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 12309 Ocean Avenue	
Historic Name: N/A	
Present Use: Residential activity, permanent	
Historic Use: Residential activity, permanent	
Construction Date: 1970	Source: Njtaxrecords.net
Alteration Date(s): N/A	Source: N/A
Designer: N/A	Physical Condition: Good
Builder: N/A	Remaining Historic Fabric: Low
Style: None	
Form: Gable Front	Stories: 2
Type: N/A	Bays: 3
Roof Finish Materials: Asphalt Shingle	
Exterior Finish Materials: Vinyl Siding	

Exterior Description: The building at 12309 Ocean Avenue is a two-story embanked gable front house. The roof has a shallow pitch with wide overhanging eaves. The wall cladding is wood shingle and the fenestration is 1/1 replacement sash which is paired on the second story of the beach-facing elevation. The first story on the beach-facing elevation features a deck that is even with the dunes. Patio sliding doors open onto the deck. The building has a one-story side wing with a rooftop deck. There is a high basement which appears as a full story on the rear or street-facing elevation. There is a carport at the basement level.

Interior Description: N/A

Setting: The residence at 12309 Ocean Avenue is an oceanfront property with direct beach access and is surrounded by like buildings. Long Beach Township, New Jersey is a township in Ocean County consisting of four noncontiguous areas on the barrier island of Long Beach Island and several uninhabited small islands in Barnegat Bay. The township consists of several unincorporated communities, including Beach Haven Park, Peahala Park, Brighton Beach, Beach Haven Crest, Brant Beach, Beach Haven Inlet, Holgate, South Beach Haven, North Beach Haven, Spray Beach, Beach Haven Gardens, Beach Haven Terrace, The Dunes, Haven Beach, North Beach High, Bar Harbor, and Loveladies. Historic aerial imagery shows development in Long Beach Township throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s. The far southern end of the township remains an undeveloped National Wildlife Refuge, and the rest of the township consists of private developments and enclaves. The township is a popular summer resort (Township of Long Beach, 2023; Long Beach Island, 2023; NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Many of the communities of present-day Long Beach Township were established in the late nineteenth century and grew after the Long Beach Railroad was constructed in 1886, connecting Long Beach Island with the mainland. Loveladies was established with the Life Saving Station in 1871 and gained a train station in 1886 and a gunning club in the late nineteenth century. Peahala was developed in 1882 when a gunning organization and subsequent resort were built. Spray Beach, previously called Waverly Beach or Cranberry Hill, was developed in 1890 when W.S. Ringgold and J.L. Long purchased the land and built three cottages, one of which became the Spray Beach Hotel. In the early twentieth century, Brant Beach and Beach Haven Terrace were established by real estate developers who built train stations in these communities. In addition to summer resorts, the main industries on the island through the nineteenth century were fishing, salt production, and farming. Long Beach Township was incorporated as a township in 1899. The communities in Long Beach Township remained relatively small until the construction of the automobile causeway connecting the island to the mainland in 1914 (Heritage Studies, 1981; Snyder 2004; Spicer-McGarry, 2018).

Significance: 12309 Ocean Avenue is associated with late-twentieth-century development in Long Beach Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility:

Background research did not reveal any associations with historically important events or persons; therefore, 12309 Ocean Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 12309 Ocean Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BASE FORM

Historic Sites #:

Property Name: 3207 Ocean Boulevard

Street Address: Street #: 3207 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Suffix: N/A Type: BLVD

County(s): Ocean **Zip Code:** 08008

Municipality(s): Long Beach Township **Block(s):** 15.146

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Hammonton

Description: The building at 3207 Ocean Boulevard is an elevated one-and-one-half-story Colonial Revival-style house with a gable roof, shed-roofed dormers, and a wraparound deck.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

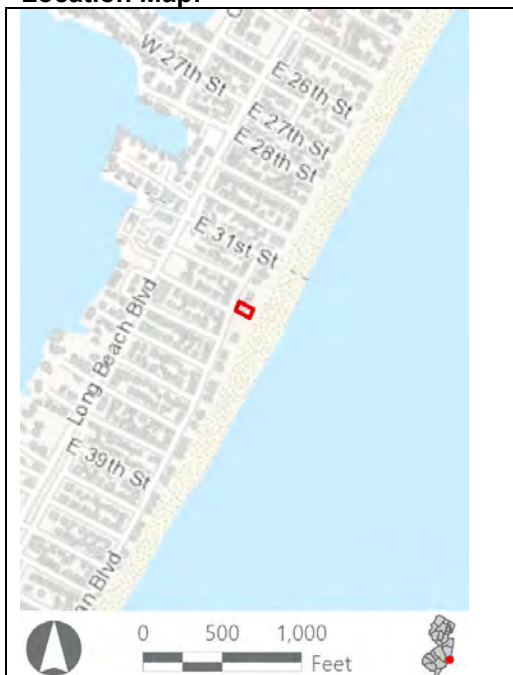


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. Long Beach Island. New Jersey Historic Sites Inventory, Ocean County Vol. 35. Available at OCE_GB_148_v35.pdf (nj.gov) (Accessed January 2023).
Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).
NETROnline (NETR). 2023. "Historic Aerials." Available online at: <https://www.historicaerials.com/viewer> (Accessed February 2023).
Snyder, J. F. 2004. The Story of New Jersey's Civil Boundaries, 1606-1968. NJ Geological Survey, Trenton.
Spicer-McGarry, Susan. 2018. "Steam and Steel." Echoes of LBI Magazine. Available at <https://echoesoflbi.com/steam-steel/> (Accessed January 2023).
Township of Long Beach. Election Information. Available at <https://www.longbeachtownship.com/election-information/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	3207 Ocean Boulevard		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1948	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Colonial Revival		
Form:	Other	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Wood, Shingles		

Exterior Description: The building at 3207 Ocean Boulevard is an elevated one-and-one-half-story Colonial Revival-style house. The house has a side-gabled roof with wide shed roof dormers on either side. On the beach-facing elevation fenestration across the dormer is 8/8 grouped in three, one, and two. On the first story of the beach-facing elevation, two-thirds of the elevation is a window wall. A fully glazed door opens onto a wraparound deck. To the right of the window wall is a set of three 8/8 sash. The residence is partially obscured by the dunes and vegetation; however, it appears that the fenestration pattern is the same on the side elevations.

Interior Description: N/A

Setting: The residence at 3207 Ocean Boulevard is an oceanfront property with direct beach access and is surrounded by like buildings. Long Beach Township, New Jersey is a township in Ocean County consisting of four noncontiguous areas on the barrier island of Long Beach Island and several uninhabited small islands in Barnegat Bay. The township consists of several unincorporated communities, including Beach Haven Park, Peahala Park, Brighton Beach, Beach Haven Crest, Brant Beach, Beach Haven Inlet, Holgate, South Beach Haven, North Beach Haven, Spray Beach, Beach Haven Gardens, Beach Haven Terrace, The Dunes, Haven Beach, North Beach High, Bar Harbor, and Loveladies. Historic aerial imagery shows development in Long Beach Township throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s. The far southern end of the township remains an undeveloped National Wildlife Refuge, and the rest of the township consists of private developments and enclaves. The township is a popular summer resort (Township of Long Beach, 2023; Long Beach Island, 2023; NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Many of the communities of present-day Long Beach Township were established in the late nineteenth century and grew after the Long Beach Railroad was constructed in 1886, connecting Long Beach Island with the mainland. Loveladies was established with the Life Saving Station in 1871 and gained a train station in 1886 and a gunning club in the late nineteenth century. Peahala was developed in 1882 when a gunning organization and subsequent resort were built. Spray Beach, previously called Waverly Beach or Cranberry Hill, was developed in 1890 when W.S. Ringgold and J.L. Long purchased the land and built three cottages, one of which became the Spray Beach Hotel. In the early twentieth century, Brant Beach and Beach Haven Terrace were established by real estate developers who built train stations in these communities. In addition to summer resorts, the main industries on the island through the nineteenth century were fishing, salt production, and farming. Long Beach Township was incorporated as a township in 1899. The communities in Long Beach Township remained relatively small until the construction of the automobile causeway connecting the island to the mainland in 1914 (Heritage Studies, 1981; Snyder 2004; Spicer-McGarry, 2018).

Significance: 3207 Ocean Boulevard is associated with mid-twentieth-century development in Long Beach Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 3207 Ocean Boulevard is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 3207 Ocean Boulevard is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 1111B Long Beach Boulevard

Street Address: Street #: 1111B N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Long Beach Suffix: N/A Type: BLVD

County(s): Ocean **Zip Code:** 08008

Municipality(s): Long Beach Township **Block(s):** 18.111

Local Place Name(s): N/A **Lot(s):** 2.01

Ownership: Private **USGS Quad(s)** Hammonton

Description: The residence at 1111B Long Beach Boulevard is a two-story residence with a low gable roof and two-story wraparound porches.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

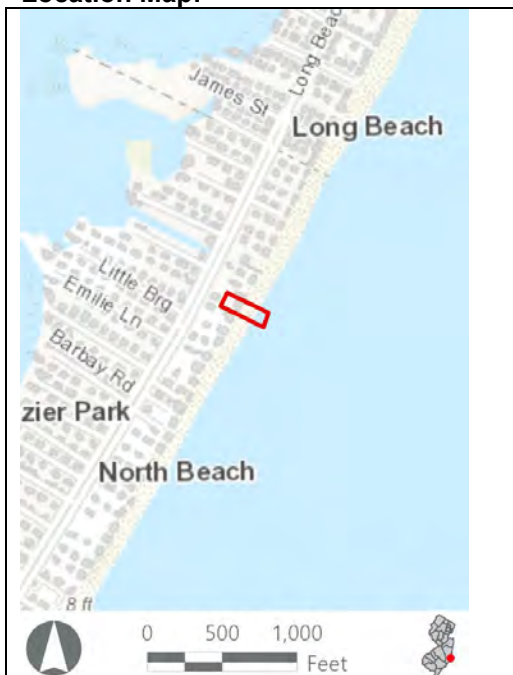


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. Long Beach Island. New Jersey Historic Sites Inventory, Ocean County Vol. 35. Available at OCE_GB_148_v35.pdf (nj.gov) (Accessed January 2023).
Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).
NETROnline (NETR). 2023. "Historic Aerials." Available online at: <https://www.historicaerials.com/viewer> (Accessed February 2023).
Snyder, J. F. 2004. The Story of New Jersey's Civil Boundaries, 1606-1968. NJ Geological Survey, Trenton.
Spicer-McGarry, Susan. 2018. "Steam and Steel." Echoes of LBI Magazine. Available at <https://echoesoflbi.com/steam-steel/> (Accessed January 2023).
Township of Long Beach. Election Information. Available at <https://www.longbeachtownship.com/election-information/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	1111B Long Beach Boulevard		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1964	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Wood, Flushboard		

Exterior Description: The residence at 1111B Long Beach Boulevard is a two-story wedge-shaped residence. It has a wide and low gabled roof that projects forward of the beach facing elevation from the center ridgeline and is supported by exposed roof purlins. One bay is stepped back to make room for a large wedge-shaped wraparound porch that curves at the corners. The porch has a rooftop deck. The fenestration appears to be primarily square slider windows with some 1/1 and fixed or awning sash on the secondary elevations. The exterior wall cladding appears to be flushboard on the main block or at least a synthetic that gives the appearance and a vertical board or synthetic on the porch.

Interior Description: N/A

Setting: The building at 1111B Long Beach Boulevard is an oceanfront property with direct beach access and is surrounded by like buildings. Long Beach Township, New Jersey is a township in Ocean County consisting of four noncontiguous areas on the barrier island of Long Beach Island and several uninhabited small islands in Barnegat Bay. The township consists of several unincorporated communities, including Beach Haven Park, Peahala Park, Brighton Beach, Beach Haven Crest, Brant Beach, Beach Haven Inlet, Holgate, South Beach Haven, North Beach Haven, Spray Beach, Beach Haven Gardens, Beach Haven Terrace, The Dunes, Haven Beach, North Beach High, Bar Harbor, and Loveladies. Historic aerial imagery shows development in Long Beach Township throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s. The far southern end of the township remains an undeveloped National Wildlife Refuge, and the rest of the township consists of private developments and enclaves. The township is a popular summer resort (Township of Long Beach, 2023; Long Beach Island, 2023; NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Many of the communities of present-day Long Beach Township were established in the late nineteenth century and grew after the Long Beach Railroad was constructed in 1886, connecting Long Beach Island with the mainland. Loveladies was established with the Life Saving Station in 1871 and gained a train station in 1886 and a gunning club in the late nineteenth century. Peahala was developed in 1882 when a gunning organization and subsequent resort were built. Spray Beach, previously called Waverly Beach or Cranberry Hill, was developed in 1890 when W.S. Ringgold and J.L. Long purchased the land and built three cottages, one of which became the Spray Beach Hotel. In the early twentieth century, Brant Beach and Beach Haven Terrace were established by real estate developers who built train stations in these communities. In addition to summer resorts, the main industries on the island through the nineteenth century were fishing, salt production, and farming. Long Beach Township was incorporated as a township in 1899. The communities in Long Beach Township remained relatively small until the construction of the automobile causeway connecting the island to the mainland in 1914 (Heritage Studies, 1981; Snyder 2004; Spicer-McGarry, 2018).

Significance: 1111B Long Beach Boulevard is associated with mid-twentieth-century development in Long Beach Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1111B Long Beach Boulevard is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 1111B Long Beach Boulevard is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 6109 Ocean Boulevard

Street Address: Street #: 6109 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Suffix: N/A Type: BLVD

County(s): Ocean **Zip Code:** 08008

Municipality(s): Long Beach Township **Block(s):** 15.40

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Hammonton

Description: The building at 6109 Ocean Boulevard is an elevated two-story residence with a gable roof, an inset second-floor porch, and front and rear decks.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

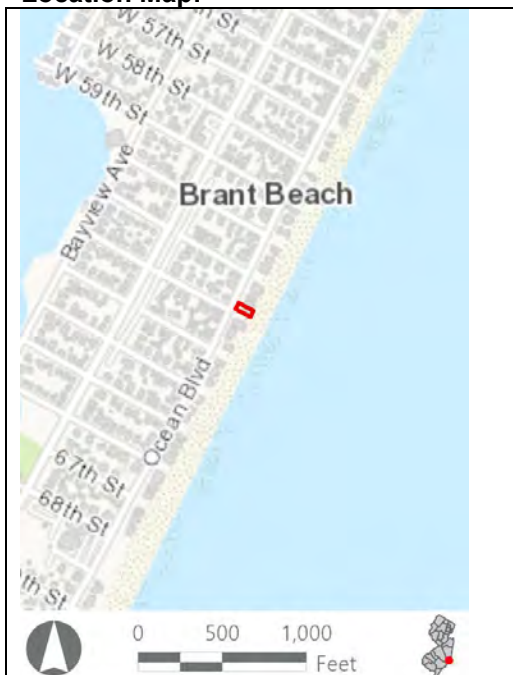


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Coldwell Banker. 2023. "6109 Ocean Blvd." Available at https://www.coldwellbankerhomes.com/nj/long-beach-township/6109-ocean-blvd/pid_52244472/ (Accessed February 2023).

Heritage Studies, Inc. 1981. Long Beach Island. New Jersey Historic Sites Inventory, Ocean County Vol. 35. Available at OCE_GB_148_v35.pdf (nj.gov) (Accessed January 2023).

Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).

NETROnline (NETR). 2023. "Historic Aerials." Available online at: <https://www.historicaerials.com/viewer> (Accessed February 2023).

Snyder, J. F. 2004. The Story of New Jersey's Civil Boundaries, 1606-1968. NJ Geological Survey, Trenton.

Spicer-McGarry, Susan. 2018. "Steam and Steel." Echoes of LBI Magazine. Available at <https://echoesoflbi.com/steam-steel/> (Accessed January 2023).

Township of Long Beach. Election Information. Available at <https://www.longbeachtownship.com/election-information/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	6109 Ocean Boulevard		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1978	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Gable Front	Stories:	2
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 6109 Ocean Boulevard is an elevated two-story residence with a gable roof, an inset second-floor porch facing the ocean, and front and rear decks. The exterior is clad in vinyl siding with a wood shingle look and the roof is clad in asphalt shingle. Windows consist of vinyl casement and sliding units. The primary entrance is via a non-historic door into the infilled ground floor. A single-story projection on the street-facing (northwest) elevation is supported on wood pilings.

Interior Description: N/A

Setting: The resource is in a residential neighborhood located directly on the beach. Long Beach is a township in Ocean County consisting of four noncontiguous areas on the barrier island of Long Beach Island and several uninhabited small islands in Barnegat Bay. The township consists of several unincorporated communities, including Beach Haven Park, Peahala Park, Brighton Beach, Beach Haven Crest, Brant Beach, Beach Haven Inlet, Holgate, South Beach Haven, North Beach Haven, Spray Beach, Beach Haven Gardens, Beach Haven Terrace, The Dunes, Haven Beach, North Beach High, Bar Harbor, and Loveladies. Historic aerial imagery shows development in Long Beach Township throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s. The far southern end of the township remains an undeveloped National Wildlife Refuge, and the rest of the township consists of private developments and enclaves. The township is a popular summer resort (Township of Long Beach, 2023; Long Beach Island, 2023; NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Many of the communities of present-day Long Beach Township were established in the late nineteenth century and grew after the Long Beach Railroad was constructed in 1886, connecting Long Beach Island with the mainland. Loveladies was established with the Life Saving Station in 1871 and gained a train station in 1886 and a gunning club in the late nineteenth century. Peahala was developed in 1882 when a gunning organization and subsequent resort were built. Spray Beach, previously called Waverly Beach or Cranberry Hill, was developed in 1890 when W.S. Ringgold and J.L. Long purchased the land and built three cottages, one of which became the Spray Beach Hotel. In the early twentieth century, Brant Beach and Beach Haven Terrace were established by real estate developers who built train stations in these communities. In addition to summer resorts, the main industries on the island through the nineteenth century were fishing, salt production, and farming. Long Beach Township was incorporated as a township in 1899. The communities in Long Beach Township remained relatively small until the construction of the automobile causeway connecting the island to the mainland in 1914 (Heritage Studies, 1981; Snyder 2004; Spicer-McGarry, 2018).

The building at 6109 Ocean Boulevard was constructed circa 1978 in a part of Long Beach Township that was developed with seaside cottages between about 1920 and 1970 (NETR, 2023).

Significance: The building at 6109 Ocean Boulevard is associated with twentieth-century development in Long Beach Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 6109 Ocean Boulevard is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 6109 Ocean Boulevard is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

Date: February 24,
2023

BASE FORM

Historic Sites #:

Property Name: 115 East New York Avenue

Street Address: Street #: 115 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: New York Suffix: N/A Type: AVE

County(s): Ocean **Zip Code:** 08008

Municipality(s): Long Beach Township **Block(s):** 13.15

Local Place Name(s): N/A **Lot(s):** 5

Ownership: Private **USGS Quad(s)** Hammonton

Description: The building at 115 East New York Avenue is a two-story residence with a side gable roof, vinyl siding, and an entry via a small deck.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

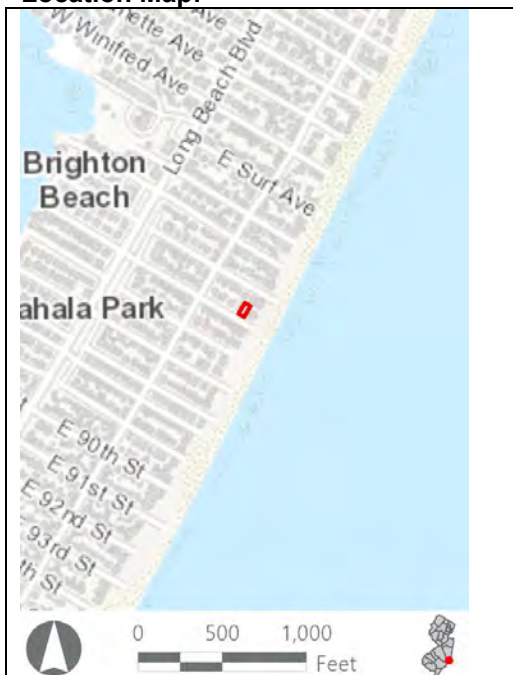


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. Long Beach Island. New Jersey Historic Sites Inventory, Ocean County Vol. 35. Available at OCE_GB_148_v35.pdf (nj.gov) (Accessed January 2023).
Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).
NETROnline (NETR). 2023. "Historic Aerials." Available online at: <https://www.historicaerials.com/viewer> (Accessed February 2023).
Snyder, J. F. 2004. The Story of New Jersey's Civil Boundaries, 1606-1968. NJ Geological Survey, Trenton.
Spicer-McGarry, Susan. 2018. "Steam and Steel." Echoes of LBI Magazine. Available at <https://echoesoflbi.com/steam-steel/> (Accessed January 2023).
Township of Long Beach. Election Information. Available at <https://www.longbeachtownship.com/election-information/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	115 East New York Avenue		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1960	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Wood, Shingles		

Exterior Description: The building at 115 East New York Avenue is a two-story side gable minimal traditional home. The house rests on a parged high basement and has a central entrance that is reached by a flight of stairs and a wooden or Trex deck. The fenestration is 1/1 sash on the left bay of the façade; paired on the first story and a single sash on the second. The right bay is the same between the first and the second stories with a picture window with a fixed center sash flanked by 1/1. A brick chimney extends the height of the side elevation and rises above the roof line. The wall cladding appears to be wood shingle siding.

Interior Description: N/A

Setting: The building at 115 East New York Avenue is in a residential neighborhood located along the shore with direct beach access. Long Beach Township, New Jersey is a township in Ocean County consisting of four noncontiguous areas on the barrier island of Long Beach Island and several uninhabited small islands in Barnegat Bay. The township consists of several unincorporated communities, including Beach Haven Park, Peahala Park, Brighton Beach, Beach Haven Crest, Brant Beach, Beach Haven Inlet, Holgate, South Beach Haven, North Beach Haven, Spray Beach, Beach Haven Gardens, Beach Haven Terrace, The Dunes, Haven Beach, North Beach High, Bar Harbor, and Loveladies. Historic aerial imagery shows development in Long Beach Township throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s. The far southern end of the township remains an undeveloped National Wildlife Refuge, and the rest of the township consists of private developments and enclaves. The township is a popular summer resort (Township of Long Beach, 2023; Long Beach Island, 2023; NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Many of the communities of present-day Long Beach Township were established in the late nineteenth century and grew after the Long Beach Railroad was constructed in 1886, connecting Long Beach Island with the mainland. Loveladies was established with the Life Saving Station in 1871 and gained a train station in 1886 and a gunning club in the late nineteenth century. Peahala was developed in 1882 when a gunning organization and subsequent resort were built. Spray Beach, previously called Waverly Beach or Cranberry Hill, was developed in 1890 when W.S. Ringgold and J.L. Long purchased the land and built three cottages, one of which became the Spray Beach Hotel. In the early twentieth century, Brant Beach and Beach Haven Terrace were established by real estate developers who built train stations in these communities. In addition to summer resorts, the main industries on the island through the nineteenth century were fishing, salt production, and farming. Long Beach Township was incorporated as a township in 1899. The communities in Long Beach Township remained relatively small until the construction of the automobile causeway connecting the island to the mainland in 1914 (Heritage Studies, 1981; Snyder 2004; Spicer-McGarry, 2018).

Significance: 115 East New York Avenue is associated with mid-twentieth-century development in Long Beach Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 115 East New York Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 115 East New York Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 1075 Long Beach Boulevard

Street Address: Street #: 1075 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Long Beach Suffix: N/A Type: BLVD

County(s): Ocean **Zip Code:** 08008

Municipality(s): Long Beach Township **Block(s):** 18.75

Local Place Name(s): North Beach **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Hammonton

Description: The building at 1075 Long Beach Boulevard is a two-story residence with a gable roof and wraparound deck.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

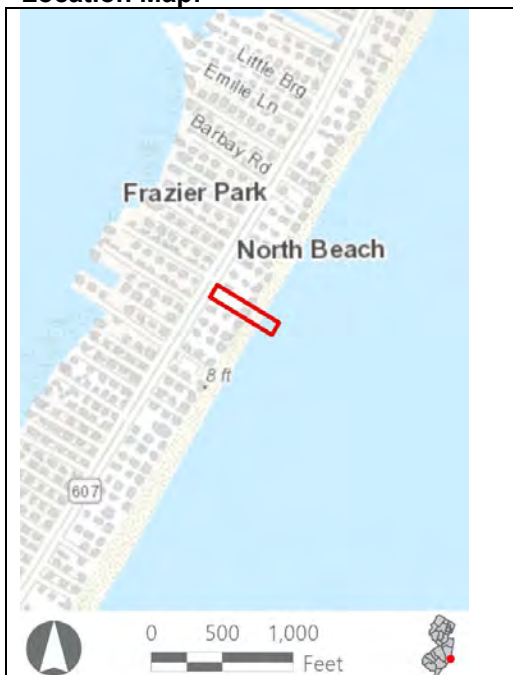
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. Long Beach Island. New Jersey Historic Sites Inventory, Ocean County Vol. 35. Available at OCE_GB_148_v35.pdf (nj.gov) (Accessed January 2023).
Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).
NETROnline (NETR). 2023. "Historic Aerials." Available online at: <https://www.historicaerials.com/viewer> (Accessed February 2023).
Snyder, J. F. 2004. The Story of New Jersey's Civil Boundaries, 1606-1968. NJ Geological Survey, Trenton.
Spicer-McGarry, Susan. 2018. "Steam and Steel." Echoes of LBI Magazine. Available at <https://echoesoflbi.com/steam-steel/> (Accessed January 2023).
Township of Long Beach. Election Information. Available at <https://www.longbeachtownship.com/election-information/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 1075 Long Beach Boulevard

Historic Name: N/A

Present Use: Residential Activity, Permanent

Historic Use: Residential Activity, Permanent

Construction Date: 1964 **Source:** www.njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Good

Builder: N/A **Remaining Historic Fabric:** Medium

Style: None

Form: Gable Front **Stories:** 2

Type: N/A **Bays:** 3

Roof Finish Materials: Asphalt Shingle

Exterior Finish Materials Wood, Shingles

Exterior Description: The building at 1075 Long Beach Boulevard is a two-story residence with a gable roof and wraparound deck. The roof has wide overhanging eaves and there is a small gable truss on the beach-facing elevation. The second story is three bays across with a central pedestrian door opening onto the deck. It is flanked on the right by a picture window and on the left by paired 1/1 sash. Paired fixed sash occupies the gable above. The side elevations are three bays with 1/1 sash. The first story is completely obscured by the dunes. The visible elevations appear to be clad in wood shingle siding.

Interior Description: N/A

Setting: The residence at 1075 Long Beach Boulevard is an oceanfront property with direct beach access and is surrounded by like buildings. Long Beach Township, New Jersey is a township in Ocean County consisting of four noncontiguous areas on the barrier island of Long Beach Island and several uninhabited small islands in Barnegat Bay. The township consists of several unincorporated communities, including Beach Haven Park, Peahala Park, Brighton Beach, Beach Haven Crest, Brant Beach, Beach Haven Inlet, Holgate, South Beach Haven, North Beach Haven, Spray Beach, Beach Haven Gardens, Beach Haven Terrace, The Dunes, Haven Beach, North Beach High, Bar Harbor, and Loveladies. Historic aerial imagery shows development in Long Beach Township throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s. The far southern end of the township remains an undeveloped National Wildlife Refuge, and the rest of the township consists of private developments and enclaves. The township is a popular summer resort (Township of Long Beach, 2023; Long Beach Island, 2023; NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Many of the communities of present-day Long Beach Township were established in the late nineteenth century and grew after the Long Beach Railroad was constructed in 1886, connecting Long Beach Island with the mainland. Loveladies was established with the Life Saving Station in 1871 and gained a train station in 1886 and a gunning club in the late nineteenth century. Peahala was developed in 1882 when a gunning organization and subsequent resort were built. Spray Beach, previously called Waverly Beach or Cranberry Hill, was developed in 1890 when W.S. Ringgold and J.L. Long purchased the land and built three cottages, one of which became the Spray Beach Hotel. In the early twentieth century, Brant Beach and Beach Haven Terrace were established by real estate developers who built train stations in these communities. In addition to summer resorts, the main industries on the island through the nineteenth century were fishing, salt production, and farming. Long Beach Township was incorporated as a township in 1899. The communities in Long Beach Township remained relatively small until the construction of the automobile causeway connecting the island to the mainland in 1914 (Heritage Studies, 1981; Snyder 2004; Spicer-McGarry, 2018).

Significance: 1075 Long Beach Boulevard is associated with mid-twentieth-century development in Long Beach Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1075 Long Beach Boulevard is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 1075 Long Beach Boulevard is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 3905 Ocean Boulevard

Street Address: Street #: 3905 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Suffix: N/A Type: BLVD

County(s): Ocean **Zip Code:** 08008

Municipality(s): Long Beach Township **Block(s):** 15.121

Local Place Name(s): N/A **Lot(s):** 2

Ownership: Private **USGS Quad(s)** Hammonton

Description: The building at 3905 Ocean Boulevard is an elevated two-story residence with a gable roof and a large two-tier wraparound deck.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

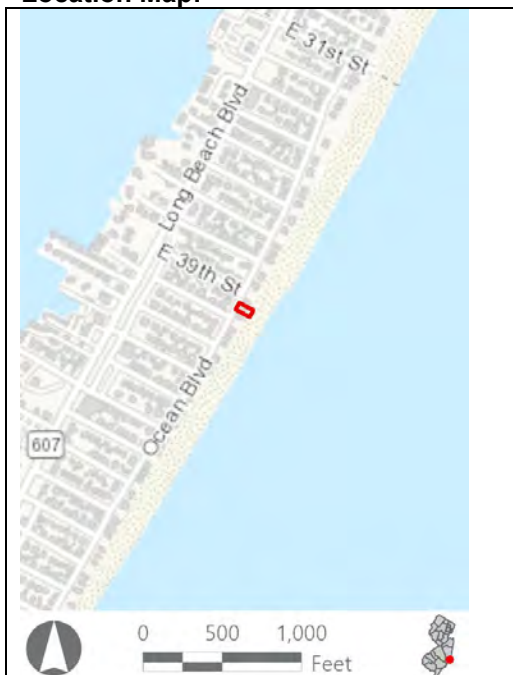


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. Long Beach Island. New Jersey Historic Sites Inventory, Ocean County Vol. 35. Available at OCE_GB_148_v35.pdf (nj.gov) (Accessed January 2023).
Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).
NETROnline (NETR). 2023. "Historic Aerials." Available online at: <https://www.historicaerials.com/viewer> (Accessed February 2023).
Snyder, J. F. 2004. The Story of New Jersey's Civil Boundaries, 1606-1968. NJ Geological Survey, Trenton.
Spicer-McGarry, Susan. 2018. "Steam and Steel." Echoes of LBI Magazine. Available at <https://echoesoflbi.com/steam-steel/> (Accessed January 2023).
Township of Long Beach. Election Information. Available at <https://www.longbeachtownship.com/election-information/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	3905 Ocean Boulevard		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1970	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 3905 Ocean Boulevard is an elevated two-story residence with a gable roof and a large two-tier wraparound deck. The exterior is clad in vinyl siding and the roof is clad in asphalt shingle and features a pair of gabled dormers at its east end. Windows are vinyl one-over-one and casement units and sliding doors have been added on the beach-facing (southeast) elevation. Two vehicle parking bays are provided beneath the raised first floor. The primary entrance is via an exterior stair accessing both levels of the wraparound deck.

Interior Description: N/A

Setting: The resource is in a residential neighborhood located along the shore, with direct beach access. Long Beach is a township in Ocean County consisting of four noncontiguous areas on the barrier island of Long Beach Island and several uninhabited small islands in Barnegat Bay. The township consists of several unincorporated communities, including Beach Haven Park, Peahala Park, Brighton Beach, Beach Haven Crest, Brant Beach, Beach Haven Inlet, Holgate, South Beach Haven, North Beach Haven, Spray Beach, Beach Haven Gardens, Beach Haven Terrace, The Dunes, Haven Beach, North Beach High, Bar Harbor, and Loveladies. Historic aerial imagery shows development in Long Beach Township throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s. The far southern end of the township remains an undeveloped National Wildlife Refuge, and the rest of the township consists of private developments and enclaves. The township is a popular summer resort (Township of Long Beach, 2023; Long Beach Island, 2023; NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Many of the communities of present-day Long Beach Township were established in the late nineteenth century and grew after the Long Beach Railroad was constructed in 1886, connecting Long Beach Island with the mainland. Loveladies was established with the Life Saving Station in 1871 and gained a train station in 1886 and a gunning club in the late nineteenth century. Peahala was developed in 1882 when a gunning organization and subsequent resort were built. Spray Beach, previously called Waverly Beach or Cranberry Hill, was developed in 1890 when W.S. Ringgold and J.L. Long purchased the land and built three cottages, one of which became the Spray Beach Hotel. In the early twentieth century, Brant Beach and Beach Haven Terrace were established by real estate developers who built train stations in these communities. In addition to summer resorts, the main industries on the island through the nineteenth century were fishing, salt production, and farming. Long Beach Township was incorporated as a township in 1899. The communities in Long Beach Township remained relatively small until the construction of the automobile causeway connecting the island to the mainland in 1914 (Heritage Studies, 1981; Snyder 2004; Spicer-McGarry, 2018).

The building at 3905 Ocean Boulevard was constructed circa 1970 as part of a group of seaside cottages developed between about 1930 and 1970 (NETR, 2023).

Significance: The building at 3905 Ocean Boulevard is associated with twentieth-century development in Long Beach Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 3905 Ocean Boulevard is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 3905 Ocean Boulevard is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

Date: February 24,
2023

BASE FORM

Historic Sites #:

Property Name: 7605 Ocean Boulevard

Street Address: Street #: 7605 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Suffix: N/A Type: BLVD

County(s): Ocean **Zip Code:** 08008

Municipality(s): Long Beach Township **Block(s):** 14.18

Local Place Name(s): Beach Haven Crest **Lot(s):** 6

Ownership: Private **USGS Quad(s)** Hammonton

Description: The building at 7605 Ocean Boulevard is a single-story bungalow residence with a hipped roof and rear deck.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

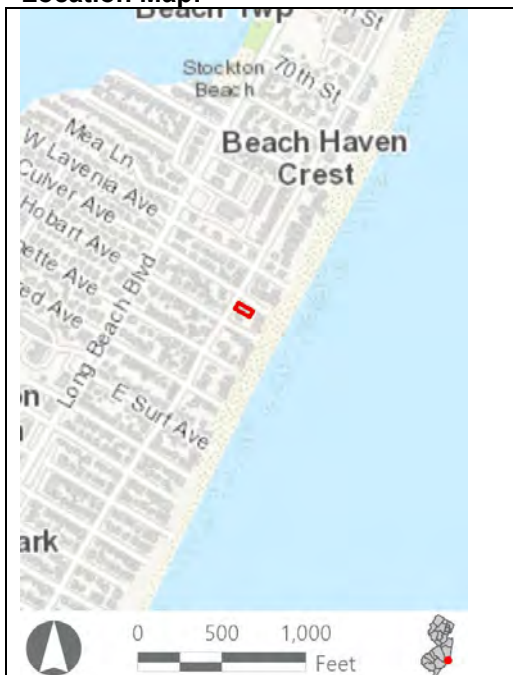


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. Long Beach Island. New Jersey Historic Sites Inventory, Ocean County Vol. 35. Available at OCE_GB_148_v35.pdf (nj.gov) (Accessed January 2023).
Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).
NETROnline (NETR). 2023. "Historic Aerials." Available online at: <https://www.historicaerials.com/viewer> (Accessed February 2023).
Snyder, J. F. 2004. The Story of New Jersey's Civil Boundaries, 1606-1968. NJ Geological Survey, Trenton.
Spicer-McGarry, Susan. 2018. "Steam and Steel." Echoes of LBI Magazine. Available at <https://echoesoflbi.com/steam-steel/> (Accessed January 2023).
Township of Long Beach. Election Information. Available at <https://www.longbeachtownship.com/election-information/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>7605 Ocean Boulevard</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential activity, permanent</u>		
Historic Use:	<u>Residential activity, permanent</u>		
Construction Date:	<u>1940</u>	Source:	<u>Njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Bungalow</u>	Stories:	<u>1</u>
Type:	<u>N/A</u>	Bays:	<u>2</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Asbestos Siding</u>		

Exterior Description: The building at 7605 Ocean Boulevard is a single-story bungalow residence. The house has a hipped roof and is constructed on a rectangular plan. There is a single bay rear projection which is surmounted by a shed roof and there is a rear deck. The siding overall is asbestos shingle, and the fenestration is 1/1 double-hung wood sash grouped in threes on either side of the central entrance on the facade and grouped in threes or singly placed on the side elevations.

Interior Description: N/A

Setting: The building at 7605 Ocean Boulevard is in a residential neighborhood located along the shore. Long Beach Township, New Jersey is a township in Ocean County consisting of four noncontiguous areas on the barrier island of Long Beach Island and several uninhabited small islands in Barnegat Bay. The township consists of several unincorporated communities, including Beach Haven Park, Peahala Park, Brighton Beach, Beach Haven Crest, Brant Beach, Beach Haven Inlet, Holgate, South Beach Haven, North Beach Haven, Spray Beach, Beach Haven Gardens, Beach Haven Terrace, The Dunes, Haven Beach, North Beach High, Bar Harbor, and Loveladies. Historic aerial imagery shows development in Long Beach Township throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s. The far southern end of the township remains an undeveloped National Wildlife Refuge, and the rest of the township consists of private developments and enclaves. The township is a popular summer resort (Township of Long Beach, 2023; Long Beach Island, 2023; NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Many of the communities of present-day Long Beach Township were established in the late nineteenth century and grew after the Long Beach Railroad was constructed in 1886, connecting Long Beach Island with the mainland. Loveladies was established with the Life Saving Station in 1871 and gained a train station in 1886 and a gunning club in the late nineteenth century. Peahala was developed in 1882 when a gunning organization and subsequent resort were built. Spray Beach, previously called Waverly Beach or Cranberry Hill, was developed in 1890 when W.S. Ringgold and J.L. Long purchased the land and built three cottages, one of which became the Spray Beach Hotel. In the early twentieth century, Brant Beach and Beach Haven Terrace were established by real estate developers who built train stations in these communities. In addition to summer resorts, the main industries on the island through the nineteenth century were fishing, salt production, and farming. Long Beach Township was incorporated as a township in 1899. The communities in Long Beach Township remained relatively small until the construction of the automobile causeway connecting the island to the mainland in 1914 (Heritage Studies, 1981; Snyder 2004; Spicer-McGarry, 2018).

Significance: The building at 7605 Ocean Boulevard is associated with mid-twentieth-century development in Long Beach Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 7605 Ocean Boulevard is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 7605 Ocean Boulevard is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 4009 Ocean Boulevard

Street Address: Street #: 4009 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Suffix: N/A Type: BLVD

County(s): Ocean **Zip Code:** 08008

Municipality(s): Long Beach Township **Block(s):** 15.117

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Hammonton

Description: The building at 4009 Ocean Boulevard is a heavily altered three-story beachfront house with irregular massing and fenestration, a second-story deck, vinyl siding, and a rear carport.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

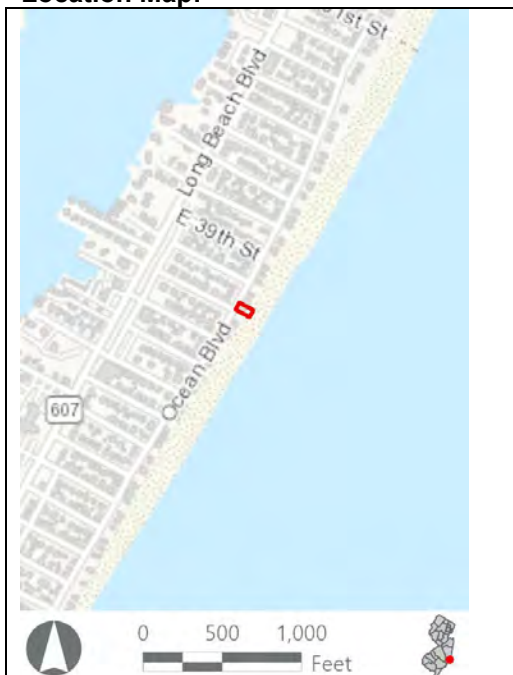


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. Long Beach Island. New Jersey Historic Sites Inventory, Ocean County Vol. 35. Available at OCE_GB_148_v35.pdf (nj.gov) (Accessed January 2023).
Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).
NETROnline (NETR). 2023. "Historic Aerials." Available online at: <https://www.historicaerials.com/viewer> (Accessed February 2023).
Realtor.com. 2022. "4009 Ocean Blvd." Available at https://www.realtor.com/realestateandhomes-detail/4009-Ocean-Blvd_Long-Beach-Township_NJ_08008_M66224-96716 (Accessed December 2022).
Snyder, J. F. 2004. The Story of New Jersey's Civil Boundaries, 1606-1968. NJ Geological Survey, Trenton.
Spicer-McGarry, S. 2018. "Steam and Steel." Echoes of LBI Magazine. Available at <https://echoesoflbi.com/steam-steel/> (Accessed January 2023).
Township of Long Beach. Election Information. Available at <https://www.longbeachtownship.com/election-information/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 4009 Ocean Boulevard

Historic Name: N/A

Present Use: Residential activity, permanent

Historic Use: Residential activity, permanent

Construction Date: 1978 **Source:** Njtaxrecords.net

Alteration Date(s): 2008 and 2015 **Source:** Realtor.com, 2022.

Designer: N/A **Physical Condition:** Excellent

Builder: N/A **Remaining Historic Fabric:** Low

Style: None

Form: Irregular **Stories:** 3

Type: N/A **Bays:** 2

Roof Finish Materials: Asphalt Shingle

Exterior Finish Materials Vinyl Siding

Exterior Description: The building at 4009 Ocean Boulevard is a heavily altered three-story beachfront house. The residence has irregular massing with one half of the roof a shed roof and the other half flat. Metal railing on the flat section appears to indicate a rooftop deck. On the beach-facing elevation, the third story is stepped back to provide space for a balcony. The upper stories overhang the first story except for on the street-facing elevation. The street-facing elevation features a recessed carport with the corner of the upper stories supported by wood pilings. The overall fenestration is a mixture of primarily paired 1/1 replacement sash and fixed sash in various orientations. The street elevation is two bays across with the left bay of the third story featuring a large fanlight over the window bay. The side elevation features a pedestrian entry in the center of the first story. Directly above spanning the second and third stories is a tripartite sash with a large fanlight above and small fixed or awning sash below. Overall, the building is clad in wood shingle siding with the space between the third-story windows and the roof line occupied by fish-scale shingles.

Interior Description: N/A

Setting: The residence at 4009 Ocean Boulevard is an oceanfront property with direct beach access and is surrounded by like buildings. Long Beach Township, New Jersey is a township in Ocean County consisting of four noncontiguous areas on the barrier island of Long Beach Island and several uninhabited small islands in Barnegat Bay. The township consists of several unincorporated communities, including Beach Haven Park, Peahala Park, Brighton Beach, Beach Haven Crest, Brant Beach, Beach Haven Inlet, Holgate, South Beach Haven, North Beach Haven, Spray Beach, Beach Haven Gardens, Beach Haven Terrace, The Dunes, Haven Beach, North Beach High, Bar Harbor, and Loveladies. Historic aerial imagery shows development in Long Beach Township throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s. The far southern end of the township remains an undeveloped National Wildlife Refuge, and the rest of the township consists of private developments and enclaves. The township is a popular summer resort (Township of Long Beach, 2023; Long Beach Island, 2023; NETR, 2023).

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Many of the communities of present-day Long Beach Township were established in the late nineteenth century and grew after the Long Beach Railroad was constructed in 1886, connecting Long Beach Island with the mainland. Loveladies was established with the Life Saving Station in 1871 and gained a train station in 1886 and a gunning club in the late nineteenth century. Peahala was developed in 1882 when a gunning organization and subsequent resort were built. Spray Beach, previously called Waverly Beach or Cranberry Hill, was developed in 1890 when W.S. Ringgold and J.L. Long purchased the land and built three cottages, one of which became the Spray Beach Hotel. In the early twentieth century, Brant Beach and Beach Haven Terrace were established by real estate developers who built train stations in these communities. In addition to summer resorts, the main industries on the island through the nineteenth century were fishing, salt production, and farming. Long Beach Township was incorporated as a township in 1899. The communities in Long Beach Township remained relatively small until the construction of the automobile causeway connecting the island to the mainland in 1914 (Heritage Studies, 1981; Snyder 2004; Spicer-McGarry, 2018).

Significance: 4009 Ocean Boulevard is associated with late-twentieth-century development in Long Beach Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 4009 Ocean Boulevard is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 4009 Ocean Boulevard is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

Date: February 24,
2023

BASE FORM

Historic Sites #:

Property Name: 5812 Ocean Boulevard

Street Address: Street #: 5812 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Suffix: N/A Type: BLVD

County(s): Ocean **Zip Code:** 08008

Municipality(s): Long Beach Township **Block(s):** 15.50

Local Place Name(s): N/A **Lot(s):** 8

Ownership: Private **USGS Quad(s)** Hammonton

Description: The building at 5812 Ocean Boulevard is a one-and-one-half-story bungalow dwelling with a gable-on-hip roof, shed-roofed dormers, an enclosed porch, and a detached period garage.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

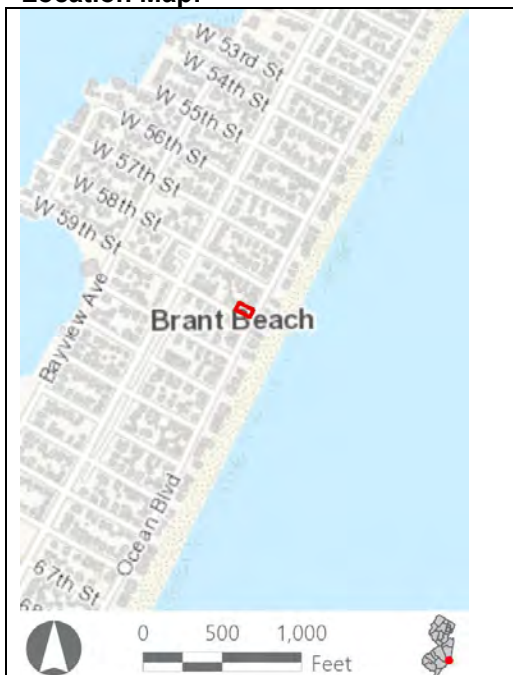
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. Long Beach Island. New Jersey Historic Sites Inventory, Ocean County Vol. 35. Available at OCE_GB_148_v35.pdf (nj.gov) (Accessed January 2023).
Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).
NETROnline (NETR). 2023. "Historic Aerials." Available online at: <https://www.historicaerials.com/viewer> (Accessed February 2023).
Snyder, J. F. 2004. The Story of New Jersey's Civil Boundaries, 1606-1968. NJ Geological Survey, Trenton.
Spicer-McGarry, S. 2018. "Steam and Steel." Echoes of LBI Magazine. Available at <https://echoesoflbi.com/steam-steel/> (Accessed January 2023).
Township of Long Beach. Election Information. Available at <https://www.longbeachtownship.com/election-information/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>5812 Ocean Boulevard</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1950</u>	Source:	<u>Njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>Craftsman</u>		
Form:	<u>Bungalow</u>	Stories:	<u>1.5</u>
Type:	<u>N/A</u>	Bays:	<u>2</u>
Roof Finish Materials:	<u>Asphalt Shingles</u>		
Exterior Finish Materials	<u>Vinyl Siding</u>		

Exterior Description: The building at 5812 Ocean Boulevard is a one-and-one-half-story bungalow dwelling with a gable-on-hip roof. Shed-roofed dormers on the side elevations feature awning sash. In the gable of the facade there is a ribbon of awning sash. The eaves overhang the first story and there is an enclosed porch on the facade with 1/1 replacement sash. The fenestration is also 1/1 on the side elevations. Overall, the siding is vinyl with a mixture of shingle and clapboard. A brick chimney rises from the center of the roof line. There is a detached period garage.

Interior Description: N/A

Setting: The building at 5812 Ocean Boulevard is located one block from the beach in a residential neighborhood. Long Beach Township, New Jersey is a township in Ocean County consisting of four noncontiguous areas on the barrier island of Long Beach Island and several uninhabited small islands in Barnegat Bay. The township consists of several unincorporated communities, including Beach Haven Park, Peahala Park, Brighton Beach, Beach Haven Crest, Brant Beach, Beach Haven Inlet, Holgate, South Beach Haven, North Beach Haven, Spray Beach, Beach Haven Gardens, Beach Haven Terrace, The Dunes, Haven Beach, North Beach High, Bar Harbor, and Loveladies. Historic aerial imagery shows development in Long Beach Township throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s. The far southern end of the township remains an undeveloped National Wildlife Refuge, and the rest of the township consists of private developments and enclaves. The township is a popular summer resort (Township of Long Beach, 2023; Long Beach Island, 2023; NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Many of the communities of present-day Long Beach Township were established in the late nineteenth century and grew after the Long Beach Railroad was constructed in 1886, connecting Long Beach Island with the mainland. Loveladies was established with the Life Saving Station in 1871 and gained a train station in 1886 and a gunning club in the late nineteenth century. Peahala was developed in 1882 when a gunning organization and subsequent resort were built. Spray Beach, previously called Waverly Beach or Cranberry Hill, was developed in 1890 when W.S. Ringgold and J.L. Long purchased the land and built three cottages, one of which became the Spray Beach Hotel. In the early twentieth century, Brant Beach and Beach Haven Terrace were established by real estate developers who built train stations in these communities. In addition to summer resorts, the main industries on the island through the nineteenth century were fishing, salt production, and farming. Long Beach Township was incorporated as a township in 1899. The communities in Long Beach Township remained relatively small until the construction of the automobile causeway connecting the island to the mainland in 1914 (Heritage Studies, 1981; Snyder 2004; Spicer-McGarry, 2018).

Significance: The building at 5812 Ocean Boulevard is associated with mid-twentieth-century development in Long Beach Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 5812 Ocean Boulevard is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 5812 Ocean Boulevard is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

Date: February 24,
2023

BASE FORM

Historic Sites #:

Property Name: 6107 Ocean Boulevard

Street Address: Street #: 6107 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Suffix: N/A Type: BLVD

County(s): Ocean **Zip Code:** 08008

Municipality(s): Long Beach Township **Block(s):** 15.40

Local Place Name(s): N/A **Lot(s):** 3

Ownership: Private **USGS Quad(s)** Hammonton

Description: The building at 6107 Ocean Boulevard is a two-story vernacular residence with asphalt shingle roofing, wood shingle siding, vinyl windows, and a large rear addition raised on wood piers providing sheltered parking.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

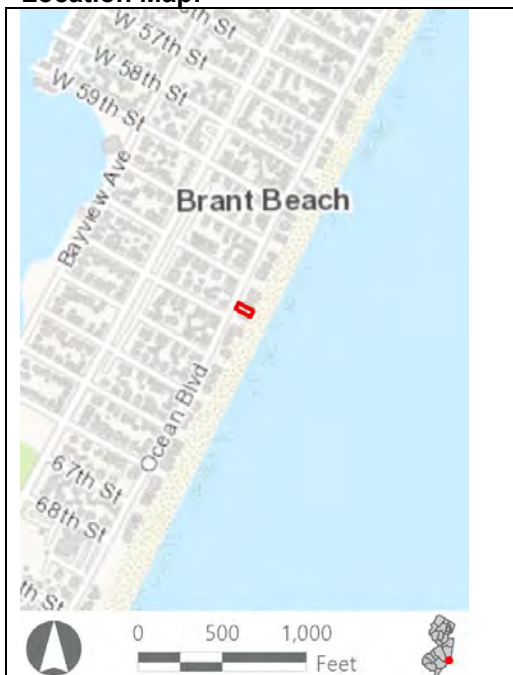
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Zillow. 2023. "6107 Ocean Blvd." https://www.zillow.com/homedetails/6107-Ocean-Blvd-Brant-Beach-NJ-08008/39661034_zpid/ (Accessed February 2023).

Heritage Studies, Inc. 1981. Long Beach Island. New Jersey Historic Sites Inventory, Ocean County Vol. 35. Available at OCE_GB_148_v35.pdf (nj.gov) (Accessed January 2023).

Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).

NETROnline (NETR). 2023. "Historic Aerials." Available online at: <https://www.historicaerials.com/viewer> (Accessed February 2023).

Snyder, J. F. 2004. The Story of New Jersey's Civil Boundaries, 1606-1968. NJ Geological Survey, Trenton.

Spicer-McGarry, Susan. 2018. "Steam and Steel." Echoes of LBI Magazine. Available at <https://echoesoflbi.com/steam-steel/> (Accessed January 2023).

Township of Long Beach. Election Information. Available at <https://www.longbeachtownship.com/election-information/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: <u>6107 Ocean Boulevard</u>	
Historic Name: <u>N/A</u>	
Present Use: <u>Residential Activity, Permanent</u>	
Historic Use: <u>Residential Activity, Permanent</u>	
Construction Date: <u>1978</u>	Source: <u>Njtaxrecords.net</u>
Alteration Date(s): <u>N/A</u>	Source: <u>N/A</u>
Designer: <u>N/A</u>	Physical Condition: <u>Good</u>
Builder: <u>N/A</u>	Remaining Historic Fabric: <u>Low</u>
Style: <u>None</u>	
Form: <u>Four-over-Four</u>	Stories: <u>2</u>
Type: <u>N/A</u>	Bays: <u>2</u>
Roof Finish Materials: <u>Asphalt Shingle</u>	
Exterior Finish Materials <u>Wood, Shingles</u>	

Exterior Description: The building at 6107 Ocean Boulevard is a two-story vernacular residence with a hipped roof clad in asphalt shingle roofing. The exterior walls are clad in wood shingle siding. The fenestration is vinyl casement windows. There is a large one-story addition on the street-facing elevation raised on wood piers with sheltered parking underneath. Stairs lead to a side entrance and are located on the south elevation.

Interior Description: N/A

Setting: The resource is in a residential neighborhood located directly on the beach. Long Beach is a township in Ocean County consisting of four noncontiguous areas on the barrier island of Long Beach Island and several uninhabited small islands in Barnegat Bay. The township consists of several unincorporated communities, including Beach Haven Park, Peahala Park, Brighton Beach, Beach Haven Crest, Brant Beach, Beach Haven Inlet, Holgate, South Beach Haven, North Beach Haven, Spray Beach, Beach Haven Gardens, Beach Haven Terrace, The Dunes, Haven Beach, North Beach High, Bar Harbor, and Loveladies. Historic aerial imagery shows development in Long Beach Township throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s. The far southern end of the township remains an undeveloped National Wildlife Refuge, and the rest of the township consists of private developments and enclaves. The township is a popular summer resort (Township of Long Beach, 2023; Long Beach Island, 2023; NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Many of the communities of present-day Long Beach Township were established in the late nineteenth century and grew after the Long Beach Railroad was constructed in 1886, connecting Long Beach Island with the mainland. Loveladies was established with the Life Saving Station in 1871 and gained a train station in 1886 and a gunning club in the late nineteenth century. Peahala was developed in 1882 when a gunning organization and subsequent resort were built. Spray Beach, previously called Waverly Beach or Cranberry Hill, was developed in 1890 when W.S. Ringgold and J.L. Long purchased the land and built three cottages, one of which became the Spray Beach Hotel. In the early twentieth century, Brant Beach and Beach Haven Terrace were established by real estate developers who built train stations in these communities. In addition to summer resorts, the main industries on the island through the nineteenth century were fishing, salt production, and farming. Long Beach Township was incorporated as a township in 1899. The communities in Long Beach Township remained relatively small until the construction of the automobile causeway connecting the island to the mainland in 1914 (Heritage Studies, 1981; Snyder 2004; Spicer-McGarry, 2018).

Significance: The building at 6107 Ocean Boulevard is associated with twentieth-century development in Long Beach Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 6107 Ocean Boulevard is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 6107 Ocean Boulevard is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BASE FORM

Historic Sites #:

Property Name: 7 East Seashell Lane

Street Address: Street #: 7 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: Seashell Suffix: N/A Type: LN

County(s): Ocean **Zip Code:** 08008

Municipality(s): Long Beach Township **Block(s):** 20.03

Local Place Name(s): N/A **Lot(s):** 4

Ownership: Private **USGS Quad(s)** Hammonton

Description: The building at 7 East Seashell Lane is a three-story, circa 1965 Post-Modern residence with a flat roof, vinyl siding, vinyl windows, and numerous decks and second-floor balconies.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:



Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. Long Beach Island. New Jersey Historic Sites Inventory, Ocean County Vol. 35. Available at OCE_GB_148_v35.pdf (nj.gov) (Accessed January 2023).
Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).
NETROnline (NETR). 2023. "Historic Aerials." Available online at: <https://www.historicaerials.com/viewer> (Accessed February 2023).
Snyder, J. F. 2004. The Story of New Jersey's Civil Boundaries, 1606-1968. NJ Geological Survey, Trenton.
Spicer-McGarry, S. 2018. "Steam and Steel." Echoes of LBI Magazine. Available at <https://echoesoflbi.com/steam-steel/> (Accessed January 2023).
Township of Long Beach. Election Information. Available at <https://www.longbeachtownship.com/election-information/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	7 East Seashell Lane		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1965	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Post-Modern		
Form:	Irregular	Stories:	3
Type:	N/A	Bays:	N/A
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 7 East Seashell Lane is heavily obscured by the dunes and by vegetation. However, based on field work it appears that the building is a three-story Post-Modern residence. There is a central three-story block with a flat roof that also serves as a deck. The second story or a third is recessed and is only just visible above the dunes on the beach-facing elevation. Below that it appears that there is a broad wraparound deck or balcony that overhangs a projecting first story. The projecting first story is partially visible on the street-facing elevation and features a pedestrian entrance. An exterior spiral metal staircase leads from the second-story balcony to the rooftop deck. Overall cladding is wood clapboard and fenestration appears to be fixed or slider sash. On the street-facing elevation, there is an inset window bay with a door that opens onto a small balcony.

Interior Description: N/A

Setting: The residence at 7 East Seashell Lane is an oceanfront property with direct beach access and is surrounded by like buildings. Long Beach Township, New Jersey is a township in Ocean County consisting of four noncontiguous areas on the barrier island of Long Beach Island and several uninhabited small islands in Barnegat Bay. The township consists of several unincorporated communities, including Beach Haven Park, Peahala Park, Brighton Beach, Beach Haven Crest, Brant Beach, Beach Haven Inlet, Holgate, South Beach Haven, North Beach Haven, Spray Beach, Beach Haven Gardens, Beach Haven Terrace, The Dunes, Haven Beach, North Beach High, Bar Harbor, and Loveladies. Historic aerial imagery shows development in Long Beach Township throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s. The far southern end of the township remains an undeveloped National Wildlife Refuge, and the rest of the township consists of private developments and enclaves. The township is a popular summer resort (Township of Long Beach, 2023; Long Beach Island, 2023; NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Many of the communities of present-day Long Beach Township were established in the late nineteenth century and grew after the Long Beach Railroad was constructed in 1886, connecting Long Beach Island with the mainland. Loveladies was established with the Life Saving Station in 1871 and gained a train station in 1886 and a gunning club in the late nineteenth century. Peahala was developed in 1882 when a gunning organization and subsequent resort were built. Spray Beach, previously called Waverly Beach or Cranberry Hill, was developed in 1890 when W.S. Ringgold and J.L. Long purchased the land and built three cottages, one of which became the Spray Beach Hotel. In the early twentieth century, Brant Beach and Beach Haven Terrace were established by real estate developers who built train stations in these communities. In addition to summer resorts, the main industries on the island through the nineteenth century were fishing, salt production, and farming. Long Beach Township was incorporated as a township in 1899. The communities in Long Beach Township remained relatively small until the construction of the automobile causeway connecting the island to the mainland in 1914 (Heritage Studies, 1981; Snyder 2004; Spicer-McGarry, 2018).

Significance: 7 East Seashell Lane is associated with mid-twentieth-century development in Long Beach Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 7 East Seashell Lane is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 7 East Seashell Lane is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

ELIGIBILITY WORKSHEET

Historic Sites #:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BASE FORM

Historic Sites #:

Property Name: 5 East Seashell Lane

Street Address: Street #: 5 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: Seashell Suffix: N/A Type: LN

County(s): Ocean **Zip Code:** 08008

Municipality(s): Long Beach Township **Block(s):** 20.03

Local Place Name(s): N/A **Lot(s):** 3

Ownership: Private **USGS Quad(s)** Hammonton

Description: The building at 5 East Seashell Lane is a two-story, heavily altered circa 1950 residence with flat and shed roofs, aluminum siding and wood shingle siding, metal windows, and inset entry porches.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

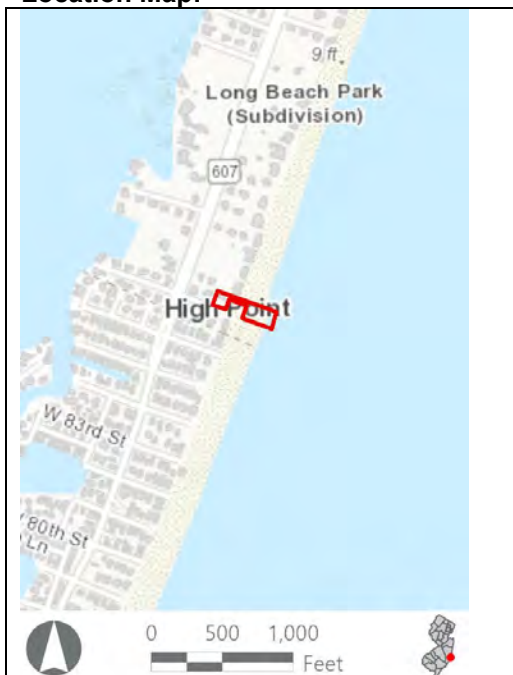
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. Long Beach Island. New Jersey Historic Sites Inventory, Ocean County Vol. 35. Available at OCE_GB_148_v35.pdf (nj.gov) (Accessed January 2023).
Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).
NETROnline (NETR). 2023. "Historic Aerials." Available online at: <https://www.historicaerials.com/viewer> (Accessed February 2023).
Snyder, J. F. 2004. The Story of New Jersey's Civil Boundaries, 1606-1968. NJ Geological Survey, Trenton.
Spicer-McGarry, S. 2018. "Steam and Steel." Echoes of LBI Magazine. Available at <https://echoesoflbi.com/steam-steel/> (Accessed January 2023).
Township of Long Beach. Election Information. Available at <https://www.longbeachtownship.com/election-information/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	5 East Seashell Lane		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1950	Source:	www.njtaxrecords.net
Alteration Date(s):	2002	Source:	NETR, 2023.
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	High
Style:	Other		
Form:	Irregular	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Wood, Shingles		

Exterior Description: The building at 5 East Seashell Lane is a two-story, heavily altered circa 1950 residence with irregular massing and flat and shed roofs. The house is set back from the road and is not observable from the beach. According to aerial photographs, the building is composed of three distinct volumes, only two of which are observable from the public right of way. The public-facing elevation is roughly divided into four bays. From left to right is a shed-roof bay facing the street with an overhanging second story supported by wood pilings. The primary entry appears to be within this bay adjacent to a large, fixed sash window. The fenestration on the upper elevation is irregular with square fixed sash and rectangular sash with horizontal divisions. The siding appears to be aluminum. The next bay to the right is partially subsumed into the first but rises above the roof of the adjacent bays. It is clad in blue stucco and features only fenestration in the first story. The next bay is a shed roof sky bridge with wood shingle siding, ribbon windows, and a breezeway below. The bay closest to the beach has a shed roof, wood shingle siding, and irregularly placed fenestration both fixed and paired casement. There is a metal overhang on the beach-facing elevation but the elevation itself is not observable.

Interior Description: N/A

Setting: The residence at 5 East Seashell Lane is an oceanfront property with direct beach access and is surrounded by like buildings. Long Beach Township, New Jersey is a township in Ocean County consisting of four noncontiguous areas on the barrier island of Long Beach Island and several uninhabited small islands in Barnegat Bay. The township consists of several unincorporated communities, including Beach Haven Park, Peahala Park, Brighton Beach, Beach Haven Crest, Brant Beach, Beach Haven Inlet, Holgate, South Beach Haven, North Beach Haven, Spray Beach, Beach Haven Gardens, Beach Haven Terrace, The Dunes, Haven Beach, North Beach High, Bar Harbor, and Loveladies. Historic aerial imagery shows development in Long Beach Township throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s. The far southern end of the township remains an undeveloped National Wildlife Refuge, and the rest of the township consists of private developments and enclaves. The township is a popular summer resort (Township of Long Beach, 2023; Long Beach Island, 2023; NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: County tax records indicate that the residence at 5 East Seashell Lane dates to 1950. Historical aerial photographs show a house with irregular massing starting in 1956. However, it is unclear if this is the same building because it departs significantly from the footprint of the current building. The current building is clearly visible in the 1972 aerial but is composed of only two volumes: one facing the street and the other facing the beach. The 2002 aerial shows that a large addition has been constructed on the street-facing elevation that partially subsumes the original building volumes (NETR, 2023).

Many of the communities of present-day Long Beach Township were established in the late nineteenth century and grew after the Long Beach Railroad was constructed in 1886, connecting Long Beach Island with the mainland. Loveladies was established with the Life Saving Station in 1871 and gained a train station in 1886 and a gunning club in the late nineteenth century. Peahala was developed in 1882 when a gunning organization and subsequent resort were built. Spray Beach, previously called Waverly Beach or Cranberry Hill, was developed in 1890 when W.S. Ringgold and J.L. Long purchased the land and built three cottages, one of which became the Spray Beach Hotel. In the early twentieth century, Brant Beach and Beach Haven Terrace were established by real estate developers who built train stations in these communities. In addition to summer resorts, the main industries on the island through the nineteenth century were fishing, salt production, and farming. Long Beach Township was incorporated as a township in 1899. The communities in Long Beach Township remained relatively small until the construction of the automobile causeway connecting the island to the mainland in 1914 (Heritage Studies, 1981; Snyder 2004; Spicer-McGarry, 2018).

Significance: 5 East Seashell Lane is associated with mid-twentieth-century development in Long Beach Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 5 East Seashell Lane is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 5 East Seashell Lane is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BASE FORM

Historic Sites #:

Property Name: 6503 Ocean Boulevard

Street Address: Street #: 6503 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Suffix: N/A Type: BLVD

County(s): Ocean **Zip Code:** 08008

Municipality(s): Long Beach Township **Block(s):** 15.27

Local Place Name(s): N/A **Lot(s):** 4

Ownership: Private **USGS Quad(s)** Hammonton

Description: The building at 6503 Ocean Boulevard is a two-story, circa 1964 vernacular residence with asphalt shingle roofing, asbestos siding, vinyl windows, and wraparound first and second-story porches.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

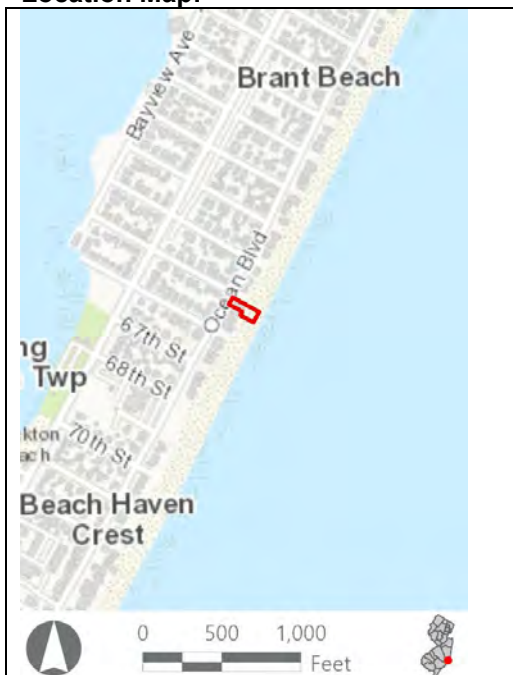
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. Long Beach Island. New Jersey Historic Sites Inventory, Ocean County Vol. 35. Available at OCE_GB_148_v35.pdf (nj.gov) (Accessed January 2023).
Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).
NETROnline (NETR). 2023. "Historic Aerials." Available online at: <https://www.historicaerials.com/viewer> (Accessed February 2023).
Snyder, J. F. 2004. The Story of New Jersey's Civil Boundaries, 1606-1968. NJ Geological Survey, Trenton.
Spicer-McGarry, S. 2018. "Steam and Steel." Echoes of LBI Magazine. Available at <https://echoesoflbi.com/steam-steel/> (Accessed January 2023).
Township of Long Beach. Election Information. Available at <https://www.longbeachtownship.com/election-information/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>6503 Ocean Boulevard</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential activity, permanent</u>		
Historic Use:	<u>Residential activity, permanent</u>		
Construction Date:	<u>1964</u>	Source:	<u>Njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Other</u>	Stories:	<u>2</u>
Type:	<u>N/A</u>	Bays:	<u>4</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Asbestos Siding</u>		

Exterior Description: The building at 6503 Ocean Boulevard is a two-story, circa 1964 vernacular residence with a side gable roof and a rectangular plan. The building is four bays across the façade and two bays across the beach-facing elevation. The fenestration and door arrangement are exactly mirrored between the first and second stories. From the left to the right, the facade features a 1/1 replacement sash immediately adjacent to a half-glazed door. It is followed then by three bays of small 1/1 and 2/2 replacement sash with false shutters. On the beach-facing elevation, both stories have picture windows. A single 1/1 sash occupies the gable on the beach-facing elevation. A porch with a rooftop balcony wraps around the facade and beach-facing elevations with exterior second-story access on the rear-facing elevation. Overall, the siding is asbestos shingle. There is also a garage with the same siding and fenestration as the house at the back of the lot.

Interior Description: N/A

Setting: The building at 6503 Ocean Boulevard is in a residential neighborhood located along the shore with direct beach access. Long Beach Township, New Jersey is a township in Ocean County consisting of four noncontiguous areas on the barrier island of Long Beach Island and several uninhabited small islands in Barnegat Bay. The township consists of several unincorporated communities, including Beach Haven Park, Peahala Park, Brighton Beach, Beach Haven Crest, Brant Beach, Beach Haven Inlet, Holgate, South Beach Haven, North Beach Haven, Spray Beach, Beach Haven Gardens, Beach Haven Terrace, The Dunes, Haven Beach, North Beach High, Bar Harbor, and Loveladies. Historic aerial imagery shows development in Long Beach Township throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s. The far southern end of the township remains an undeveloped National Wildlife Refuge, and the rest of the township consists of private developments and enclaves. The township is a popular summer resort (Township of Long Beach, 2023; Long Beach Island, 2023; NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Many of the communities of present-day Long Beach Township were established in the late nineteenth century and grew after the Long Beach Railroad was constructed in 1886, connecting Long Beach Island with the mainland. Loveladies was established with the Life Saving Station in 1871 and gained a train station in 1886 and a gunning club in the late nineteenth century. Peahala was developed in 1882 when a gunning organization and subsequent resort were built. Spray Beach, previously called Waverly Beach or Cranberry Hill, was developed in 1890 when W.S. Ringgold and J.L. Long purchased the land and built three cottages, one of which became the Spray Beach Hotel. In the early twentieth century, Brant Beach and Beach Haven Terrace were established by real estate developers who built train stations in these communities. In addition to summer resorts, the main industries on the island through the nineteenth century were fishing, salt production, and farming. Long Beach Township was incorporated as a township in 1899. The communities in Long Beach Township remained relatively small until the construction of the automobile causeway connecting the island to the mainland in 1914 (Heritage Studies, 1981; Snyder 2004; Spicer-McGarry, 2018).

Significance: 6503 Ocean Boulevard is associated with mid-twentieth-century development in Long Beach Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 6503 Ocean Boulevard is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 6503 Ocean Boulevard is recommended Not Eligible

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 109 East Hobart Avenue

Street Address: Street #: 109 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: Hobart Suffix: N/A Type: AVE

County(s): Ocean **Zip Code:** 08008

Municipality(s): Long Beach Township **Block(s):** 14.18

Local Place Name(s): N/A **Lot(s):** 2

Ownership: Private **USGS Quad(s)** Hammonton

Description: The building at 109 East Hobart Avenue is a two-story, circa 1980 vernacular residence with asphalt shingle roofing, vinyl siding, vinyl windows, a first-floor front porch, and a second-floor balcony.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

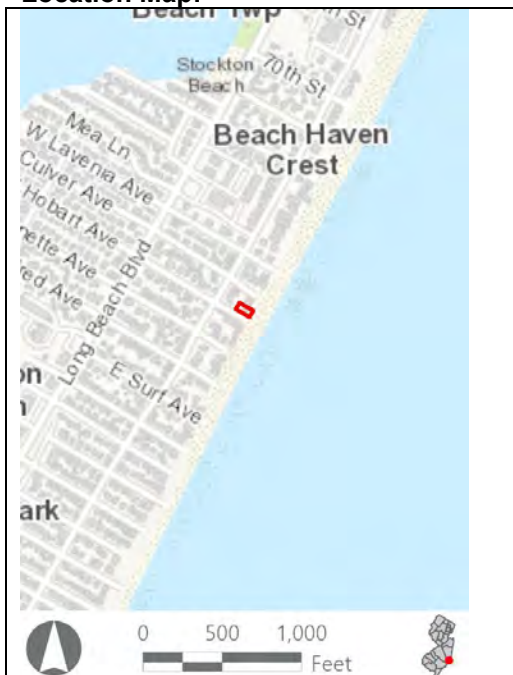


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. Long Beach Island. New Jersey Historic Sites Inventory, Ocean County Vol. 35. Available at OCE_GB_148_v35.pdf (nj.gov) (Accessed January 2023).
Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).
NETROnline (NETR). 2023. "Historic Aerials." Available online at: <https://www.historicaerials.com/viewer> (Accessed February 2023).
Snyder, J. F. 2004. The Story of New Jersey's Civil Boundaries, 1606-1968. NJ Geological Survey, Trenton.
Spicer-McGarry, S. 2018. "Steam and Steel." Echoes of LBI Magazine. Available at <https://echoesoflbi.com/steam-steel/> (Accessed January 2023).
Township of Long Beach. Election Information. Available at <https://www.longbeachtownship.com/election-information/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	109 East Hobart Avenue		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1980	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 109 East Hobart Avenue is a two-story, circa 1980 vernacular residence with a low-pitched gabled roof and a rectangular plan. The facade is three bays across and there are two bays on the side elevations. The fenestration is 1/1 replacement sash singly or in pairs. The arrangement of window openings and sash is mirrored exactly between the first and second stories. Overall, the building is clad in vinyl shingle siding with fish scales in the gable. The building sits on pilings that are largely obscured by plywood cladding. Because of the height above grade, the entry is reached by a flight of wooden stairs and is shielded by a gabled roof projection supported by wood posts. The landing continues across the facade until it meets a two-tiered wraparound deck that extends from the right bay of the facade to the beach-facing elevation.

Interior Description: N/A

Setting: The building at 109 East Hobart Avenue is in a residential neighborhood area located along the shore with direct beach access. Long Beach Township, New Jersey is a township in Ocean County consisting of four noncontiguous areas on the barrier island of Long Beach Island and several uninhabited small islands in Barnegat Bay. The township consists of several unincorporated communities, including Beach Haven Park, Peahala Park, Brighton Beach, Beach Haven Crest, Brant Beach, Beach Haven Inlet, Holgate, South Beach Haven, North Beach Haven, Spray Beach, Beach Haven Gardens, Beach Haven Terrace, The Dunes, Haven Beach, North Beach High, Bar Harbor, and Loveladies. Historic aerial imagery shows development in Long Beach Township throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s. The far southern end of the township remains an undeveloped National Wildlife Refuge, and the rest of the township consists of private developments and enclaves. The township is a popular summer resort (Township of Long Beach, 2023; Long Beach Island, 2023; NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Many of the communities of present-day Long Beach Township were established in the late nineteenth century and grew after the Long Beach Railroad was constructed in 1886, connecting Long Beach Island with the mainland. Loveladies was established with the Life Saving Station in 1871 and gained a train station in 1886 and a gunning club in the late nineteenth century. Peahala was developed in 1882 when a gunning organization and subsequent resort were built. Spray Beach, previously called Waverly Beach or Cranberry Hill, was developed in 1890 when W.S. Ringgold and J.L. Long purchased the land and built three cottages, one of which became the Spray Beach Hotel. In the early twentieth century, Brant Beach and Beach Haven Terrace were established by real estate developers who built train stations in these communities. In addition to summer resorts, the main industries on the island through the nineteenth century were fishing, salt production, and farming. Long Beach Township was incorporated as a township in 1899. The communities in Long Beach Township remained relatively small until the construction of the automobile causeway connecting the island to the mainland in 1914 (Heritage Studies, 1981; Snyder 2004; Spicer-McGarry, 2018).

Significance: 109 East Hobart Avenue is associated with late-twentieth-century development in Long Beach Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 109 East Hobart Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 109 East Hobart Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 7 Coast Avenue

Street Address: Street #: 7 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Coast Suffix: N/A Type: AVE

County(s): Ocean **Zip Code:** 08008

Municipality(s): Long Beach Township **Block(s):** 20.117

Local Place Name(s): N/A **Lot(s):** 7

Ownership: Private **USGS Quad(s)** Hammonton

Description: The building at 7 Coast Avenue is a two-story, circa 1969 Modern residence with a flat roof, wood shingle siding, 1/1 sash windows, and two second-floor balconies.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

Historic Sites #:

Site Map:



Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	7 Coast Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1969	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Other		
Form:	Irregular	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Wood, Shingles		

Exterior Description: The building at 7 Coast Avenue is a two-story, circa 1969 Modern residence. The building has a flat roof. It is four bays across the beach-facing elevation and two bays on the side elevations. The fenestration is mostly 1/1 sash with some fixed. The building is clad in wood shingle siding and appears to be resting on wood pilings, but these are obscured by skirting. From right to left, the facade is angled inward on the second story to form a balcony with access via paired patio doors. This is followed by a recess on the third bay from the right, also on the second story. The recess features paired patio doors that open onto a balcony that extends to the side elevation and is supported underneath by a cylindrical volume and a corner piling. A flight of wooden stairs between the cylindrical volume and the piling appears to lead to a pedestrian entry.

Interior Description: N/A

Setting: The residence at 7 Coast Avenue is an oceanfront property with direct beach access and is surrounded by like buildings. Long Beach Township, New Jersey is a township in Ocean County consisting of four noncontiguous areas on the barrier island of Long Beach Island and several uninhabited small islands in Barnegat Bay. The township consists of several unincorporated communities, including Beach Haven Park, Peahala Park, Brighton Beach, Beach Haven Crest, Brant Beach, Beach Haven Inlet, Holgate, South Beach Haven, North Beach Haven, Spray Beach, Beach Haven Gardens, Beach Haven Terrace, The Dunes, Haven Beach, North Beach High, Bar Harbor, and Loveladies. Historic aerial imagery shows development in Long Beach Township throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s. The far southern end of the township remains an undeveloped National Wildlife Refuge, and the rest of the township consists of private developments and enclaves. The township is a popular summer resort (Township of Long Beach, 2023; Long Beach Island, 2023; NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Many of the communities of present-day Long Beach Township were established in the late nineteenth century and grew after the Long Beach Railroad was constructed in 1886, connecting Long Beach Island with the mainland. Loveladies was established with the Life Saving Station in 1871 and gained a train station in 1886 and a gunning club in the late nineteenth century. Peahala was developed in 1882 when a gunning organization and subsequent resort were built. Spray Beach, previously called Waverly Beach or Cranberry Hill, was developed in 1890 when W.S. Ringgold and J.L. Long purchased the land and built three cottages, one of which became the Spray Beach Hotel. In the early twentieth century, Brant Beach and Beach Haven Terrace were established by real estate developers who built train stations in these communities. In addition to summer resorts, the main industries on the island through the nineteenth century were fishing, salt production, and farming. Long Beach Township was incorporated as a township in 1899. The communities in Long Beach Township remained relatively small until the construction of the automobile causeway connecting the island to the mainland in 1914 (Heritage Studies, 1981; Snyder 2004; Spicer-McGarry, 2018).

Significance: 7 Coast Avenue is associated with mid-twentieth-century development in Long Beach Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 7 Coast Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 7 Coast Avenue is recommended Not Eligible

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 15C Long Beach Boulevard

Street Address: Street #: 15C N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Long Beach Suffix: N/A Type: BLVD

County(s): Ocean **Zip Code:** 08008

Municipality(s): Long Beach Township **Block(s):** 20.15

Local Place Name(s): N/A **Lot(s):** 1.03

Ownership: Private **USGS Quad(s)** Hammonton

Description: The building at 15C Long Beach Boulevard is a three-story, split-level, circa-1981 Modernistic residence with a flat roof, vinyl siding, fixed metal windows, and a large deck and rooftop patio.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Zillow. 2023. "15C Long Beach Blvd." Available at https://www.zillow.com/homedetails/15C-Long-Beach-Blvd-Long-Beach-Township-NJ-08008/39662389_zpid/ (Accessed February 2023).

Heritage Studies, Inc. 1981. Long Beach Island. New Jersey Historic Sites Inventory, Ocean County Vol. 35. Available at OCE_GB_148_v35.pdf (nj.gov) (Accessed January 2023).

Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).

NETROnline (NETR). 2023. "Historic Aerials." Available online at: <https://www.historicaerials.com/viewer> (Accessed February 2023).

Snyder, J. F. 2004. The Story of New Jersey's Civil Boundaries, 1606-1968. NJ Geological Survey, Trenton.

Spicer-McGarry, Susan. 2018. "Steam and Steel." Echoes of LBI Magazine. Available at <https://echoesoflbi.com/steam-steel/> (Accessed January 2023).

Township of Long Beach. Election Information. Available at <https://www.longbeachtownship.com/election-information/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 15C Long Beach Boulevard
Historic Name: N/A
Present Use: Residential Activity, Permanent
Historic Use: Residential Activity, Permanent
Construction Date: 1981 **Source:** www.njtaxrecords.net
Alteration Date(s): N/A **Source:** N/A
Designer: N/A **Physical Condition:** Good
Builder: N/A **Remaining Historic Fabric:** Low
Style: Modernistic
Form: Irregular **Stories:** 2
Type: N/A **Bays:** 6
Roof Finish Materials: Rolled Asphalt
Exterior Finish Materials: Stucco

Exterior Description: The building at 15C Long Beach Boulevard is a three-story, split-level, circa-1981 Modernistic residence with a flat roof, vinyl siding, fixed metal windows, and a large deck and rooftop patio. The house has asymmetrical massing consisting of two volumes, one three stories and the other two stories, connected by a glazed stairwell. Multiple levels of cantilevered exterior balconies have either vinyl-clad parapets or steel railings.

Interior Description: N/A

Setting: The resource is a beachfront property in a residential area and is surrounded by similar residential buildings. Long Beach is a township in Ocean County consisting of four noncontiguous areas on the barrier island of Long Beach Island and several uninhabited small islands in Barnegat Bay. The township consists of several unincorporated communities, including Beach Haven Park, Peahala Park, Brighton Beach, Beach Haven Crest, Brant Beach, Beach Haven Inlet, Holgate, South Beach Haven, North Beach Haven, Spray Beach, Beach Haven Gardens, Beach Haven Terrace, The Dunes, Haven Beach, North Beach High, Bar Harbor, and Loveladies. Historic aerial imagery shows development in Long Beach Township throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s. The far southern end of the township remains an undeveloped National Wildlife Refuge, and the rest of the township consists of private developments and enclaves. The township is a popular summer resort (Township of Long Beach, 2023; Long Beach Island, 2023; NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Many of the communities of present-day Long Beach Township were established in the late nineteenth century and grew after the Long Beach Railroad was constructed in 1886, connecting Long Beach Island with the mainland. Loveladies was established with the Life Saving Station in 1871 and gained a train station in 1886 and a gunning club in the late nineteenth century. Peahala was developed in 1882 when a gunning organization and subsequent resort were built. Spray Beach, previously called Waverly Beach or Cranberry Hill, was developed in 1890 when W.S. Ringgold and J.L. Long purchased the land and built three cottages, one of which became the Spray Beach Hotel. In the early twentieth century, Brant Beach and Beach Haven Terrace were established by real estate developers who built train stations in these communities. In addition to summer resorts, the main industries on the island through the nineteenth century were fishing, salt production, and farming. Long Beach Township was incorporated as a township in 1899. The communities in Long Beach Township remained relatively small until the construction of the automobile causeway connecting the island to the mainland in 1914 (Heritage Studies, 1981; Snyder 2004; Spicer-McGarry, 2018).

The building at 15C Long Beach Boulevard was constructed circa 1981 in an area of Long Beach Township that was primarily developed with upscale seaside residences in the 1970s and 1980s. A three-story addition to the south was added circa 1995 (NETR, 2023).

Significance: The building at 15C Long Beach Boulevard is associated with late-twentieth-century development in Long Beach Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 15C Long Beach Boulevard is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 15C Long Beach Boulevard is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

Date: February 24,
2023

ELIGIBILITY WORKSHEET

Historic Sites #:



Figure 1: Zillow, 2023.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BASE FORM

Historic Sites #:

Property Name: 1051C Long Beach Boulevard

Street Address: Street #: 1051C N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Long Beach Suffix: N/A Type: BLVD

County(s): Ocean **Zip Code:** 08008

Municipality(s): Long Beach Township **Block(s):** 18.51

Local Place Name(s): N/A **Lot(s):** 3

Ownership: Private **USGS Quad(s)** Hammonton

Description: The building at 1051C Long Beach Boulevard is an elevated single-story residence with a shed roof and rooftop deck.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

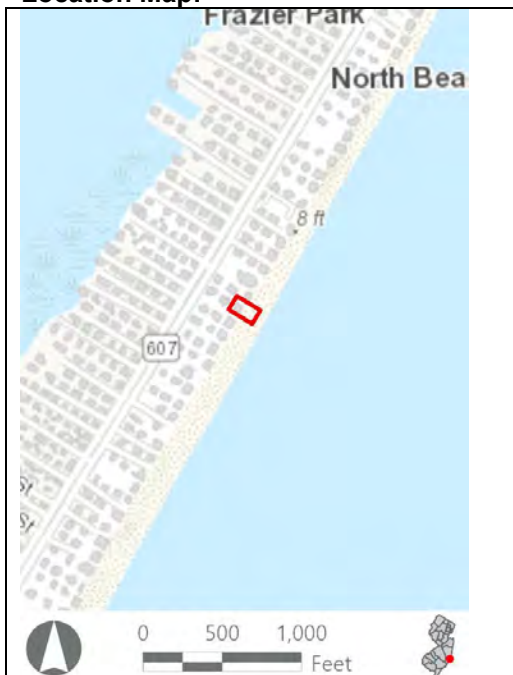


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. Long Beach Island. New Jersey Historic Sites Inventory, Ocean County Vol. 35. Available at OCE_GB_148_v35.pdf (nj.gov) (Accessed January 2023).
Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).
NETROnline (NETR). 2023. "Historic Aerials." Available online at: <https://www.historicaerials.com/viewer> (Accessed February 2023).
Snyder, J. F. 2004. The Story of New Jersey's Civil Boundaries, 1606-1968. NJ Geological Survey, Trenton.
Spicer-McGarry, Susan. 2018. "Steam and Steel." Echoes of LBI Magazine. Available at <https://echoesoflbi.com/steam-steel/> (Accessed January 2023).
Township of Long Beach. Election Information. Available at <https://www.longbeachtownship.com/election-information/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	1051C Long Beach Boulevard		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1979	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	1
Type:	N/A	Bays:	4
Roof Finish Materials:	Standing Seam Metal		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 1051C Long Beach Boulevard is an elevated single-story residence with a shed roof and rooftop deck. The residence is seven bays wide and two bays deep. The building appears to be clad in vinyl siding and the fenestration appears to be slider sash and casement. The dwelling is heavily obscured by the dunes.

Interior Description: N/A

Setting: The resource is in a residential area with direct beach access. Long Beach is a township in Ocean County consisting of four noncontiguous areas on the barrier island of Long Beach Island and several uninhabited small islands in Barnegat Bay. The township consists of several unincorporated communities, including Beach Haven Park, Peahala Park, Brighton Beach, Beach Haven Crest, Brant Beach, Beach Haven Inlet, Holgate, South Beach Haven, North Beach Haven, Spray Beach, Beach Haven Gardens, Beach Haven Terrace, The Dunes, Haven Beach, North Beach High, Bar Harbor, and Loveladies. Historic aerial imagery shows development in Long Beach Township throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s. The far southern end of the township remains an undeveloped National Wildlife Refuge, and the rest of the township consists of private developments and enclaves. The township is a popular summer resort (Township of Long Beach, 2023; Long Beach Island, 2023; NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Many of the communities of present-day Long Beach Township were established in the late nineteenth century and grew after the Long Beach Railroad was constructed in 1886, connecting Long Beach Island with the mainland. Loveladies was established with the Life Saving Station in 1871 and gained a train station in 1886 and a gunning club in the late nineteenth century. Peahala was developed in 1882 when a gunning organization and subsequent resort were built. Spray Beach, previously called Waverly Beach or Cranberry Hill, was developed in 1890 when W.S. Ringgold and J.L. Long purchased the land and built three cottages, one of which became the Spray Beach Hotel. In the early twentieth century, Brant Beach and Beach Haven Terrace were established by real estate developers who built train stations in these communities. In addition to summer resorts, the main industries on the island through the nineteenth century were fishing, salt production, and farming. Long Beach Township was incorporated as a township in 1899. The communities in Long Beach Township remained relatively small until the construction of the automobile causeway connecting the island to the mainland in 1914 (Heritage Studies, 1981; Snyder 2004; Spicer-McGarry, 2018).

Significance: The building at 1051C Long Beach Boulevard is associated with twentieth-century development in Long Beach Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1051C Long Beach Boulevard is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 1051C Long Beach Boulevard is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BASE FORM

Historic Sites #:

Property Name: 175G Long Beach Boulevard

Street Address: Street #: 175G N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Long Beach Suffix: N/A Type: BLVD

County(s): Ocean **Zip Code:** 08008

Municipality(s): Long Beach Township **Block(s):** 20.171

Local Place Name(s): N/A **Lot(s):** 3

Ownership: Private **USGS Quad(s)** Hammonton

Description: The residence at 175G Long Beach Boulevard is a one-and-a-half-story, circa 1960 vernacular residence with asphalt shingled roof, vinyl siding, vinyl windows, and a large rooftop patio.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

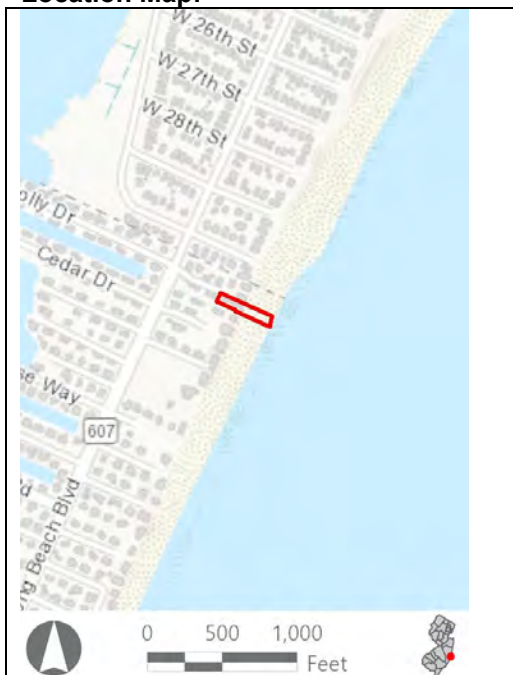
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. Long Beach Island. New Jersey Historic Sites Inventory, Ocean County Vol. 35. Available at OCE_GB_148_v35.pdf (nj.gov) (Accessed January 2023).
Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).
NETROnline (NETR). 2023. "Historic Aerials." Available online at: <https://www.historicaerials.com/viewer> (Accessed February 2023).
Snyder, J. F. 2004. The Story of New Jersey's Civil Boundaries, 1606-1968. NJ Geological Survey, Trenton.
Spicer-McGarry, S. 2018. "Steam and Steel." Echoes of LBI Magazine. Available at <https://echoesoflbi.com/steam-steel/> (Accessed January 2023).
Township of Long Beach. Election Information. Available at <https://www.longbeachtownship.com/election-information/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	175G Long Beach Boulevard		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1960	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	1.5
Type:	N/A	Bays:	4
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The residence at 175G Long Beach Boulevard is a one-and-a-half-story, circa 1960 vernacular residence. The building is on a side-gabled plan with a large gabled roof dormer on the beach facing elevation. A two-bay projection with a rooftop deck faces the beach and is fenestrated with tripartite patio doors flanked by vertical tripartite sash. Patio doors also lead to the deck above via the dormer. The building is set on a high foundation and overall is clad in vinyl siding. A tall chimney stack pierces the roof line on the beach side.

Interior Description: N/A

Setting: The residence at 175G Long Beach Boulevard is an oceanfront property with direct beach access and is surrounded by like buildings. Long Beach Township, New Jersey is a township in Ocean County consisting of four noncontiguous areas on the barrier island of Long Beach Island and several uninhabited small islands in Barnegat Bay. The township consists of several unincorporated communities, including Beach Haven Park, Peahala Park, Brighton Beach, Beach Haven Crest, Brant Beach, Beach Haven Inlet, Holgate, South Beach Haven, North Beach Haven, Spray Beach, Beach Haven Gardens, Beach Haven Terrace, The Dunes, Haven Beach, North Beach High, Bar Harbor, and Loveladies. Historic aerial imagery shows development in Long Beach Township throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s. The far southern end of the township remains an undeveloped National Wildlife Refuge, and the rest of the township consists of private developments and enclaves. The township is a popular summer resort (Township of Long Beach, 2023; Long Beach Island, 2023; NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Many of the communities of present-day Long Beach Township were established in the late nineteenth century and grew after the Long Beach Railroad was constructed in 1886, connecting Long Beach Island with the mainland. Loveladies was established with the Life Saving Station in 1871 and gained a train station in 1886 and a gunning club in the late nineteenth century. Peahala was developed in 1882 when a gunning organization and subsequent resort were built. Spray Beach, previously called Waverly Beach or Cranberry Hill, was developed in 1890 when W.S. Ringgold and J.L. Long purchased the land and built three cottages, one of which became the Spray Beach Hotel. In the early twentieth century, Brant Beach and Beach Haven Terrace were established by real estate developers who built train stations in these communities. In addition to summer resorts, the main industries on the island through the nineteenth century were fishing, salt production, and farming. Long Beach Township was incorporated as a township in 1899. The communities in Long Beach Township remained relatively small until the construction of the automobile causeway connecting the island to the mainland in 1914 (Heritage Studies, 1981; Snyder 2004; Spicer-McGarry, 2018).

Significance: 175G Long Beach Boulevard is associated with mid-twentieth-century development in Long Beach Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 175G Long Beach Boulevard is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 175G Long Beach Boulevard is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 75D Long Beach Boulevard

Street Address: Street #: 75D N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Long Beach Suffix: N/A Type: BLVD

County(s): Ocean **Zip Code:** 08008

Municipality(s): Long Beach Township **Block(s):** 20.83

Local Place Name(s): Loveladies **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Hammonton

Description: The residence at 75D Long Beach Boulevard is a two-story, circa 1980 International Revival-style residence with a flat roof, vertical siding, fixed metal windows, and a large uncovered second-floor balcony fronting the beach.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. Long Beach Island. New Jersey Historic Sites Inventory, Ocean County Vol. 35. Available at OCE_GB_148_v35.pdf (nj.gov) (Accessed January 2023).
Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).
NETROnline (NETR). 2023. "Historic Aerials." Available online at: <https://www.historicaerials.com/viewer> (Accessed February 2023).
Snyder, J. F. 2004. The Story of New Jersey's Civil Boundaries, 1606-1968. NJ Geological Survey, Trenton.
Spicer-McGarry, S. 2018. "Steam and Steel." Echoes of LBI Magazine. Available at <https://echoesoflbi.com/steam-steel/> (Accessed January 2023).
Township of Long Beach. Election Information. Available at <https://www.longbeachtownship.com/election-information/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	75D Long Beach Boulevard		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1981	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Other		
Form:	Irregular	Stories:	2
Type:	N/A	Bays:	6
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Wood, Flushboard		

Exterior Description: The residence at 75D Long Beach Boulevard is a two-story, circa 1981 International Revival-style residence. The building has complex massing, but the fenestration pattern and arrangement of porches give it a wide horizontal appearance. The roof lines are flat and the wall cladding is a vertical flushboard. The fenestration is comprised of large fixed sash, either square or rectangular with a vertical orientation. The facade can be divided roughly into three distinct volumes. The main volume which occupies most of the facade is a rectangular block with overhanging eaves with an exceedingly wide freeze band. The first story steps back with a patio with a high knee wall and metal railings. Leading up from the patio to the second story is a wide asymmetrical flight of stairs that wraps around a broad curved bay. To the right of this main volume on the second story is a corner balcony. The second volume centers on the wide curved bay on the first story which has an empty oculus and a large cutaway section that provides pedestrian access below. Exposed wood pilings support a rooftop balcony which leads to a second-story two-tiered volume with broad overhanging eaves and a clerestory. This volume has sliding patio doors that open onto the balcony. The third volume is stepped back from the wide curved bay with a balcony on the second story and what appears to be a curved skylight. The rest of the building is obscured by the dunes and vegetation.

Interior Description: N/A

Setting: The residence at 75D Long Beach Boulevard is an oceanfront property with direct beach access and is surrounded by like buildings. Long Beach Township, New Jersey is a township in Ocean County consisting of four noncontiguous areas on the barrier island of Long Beach Island and several uninhabited small islands in Barnegat Bay. The township consists of several unincorporated communities, including Beach Haven Park, Peahala Park, Brighton Beach, Beach Haven Crest, Brant Beach, Beach Haven Inlet, Holgate, South Beach Haven, North Beach Haven, Spray Beach, Beach Haven Gardens, Beach Haven Terrace, The Dunes, Haven Beach, North Beach High, Bar Harbor, and Loveladies. Historic aerial imagery shows development in Long Beach Township throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s. The far southern end of the township remains an undeveloped National Wildlife Refuge, and the rest of the township consists of private developments and enclaves. The township is a popular summer resort (Township of Long Beach, 2023; Long Beach Island, 2023; NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Many of the communities of present-day Long Beach Township were established in the late nineteenth century and grew after the Long Beach Railroad was constructed in 1886, connecting Long Beach Island with the mainland. Loveladies was established with the Life Saving Station in 1871 and gained a train station in 1886 and a gunning club in the late nineteenth century. Peahala was developed in 1882 when a gunning organization and subsequent resort were built. Spray Beach, previously called Waverly Beach or Cranberry Hill, was developed in 1890 when W.S. Ringgold and J.L. Long purchased the land and built three cottages, one of which became the Spray Beach Hotel. In the early twentieth century, Brant Beach and Beach Haven Terrace were established by real estate developers who built train stations in these communities. In addition to summer resorts, the main industries on the island through the nineteenth century were fishing, salt production, and farming. Long Beach Township was incorporated as a township in 1899. The communities in Long Beach Township remained relatively small until the construction of the automobile causeway connecting the island to the mainland in 1914 (Heritage Studies, 1981; Snyder 2004; Spicer-McGarry, 2018).

Significance: 75D Long Beach Boulevard appears to meet Criterion C in the area of architecture as an example of the International Revival style. However, the building is not yet 50 years of age which would require it to meet Criterion Consideration G. It is not exceptionally significant, therefore it is not eligible for listing to the NRHP.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 75D Long Beach Boulevard is not known to be significant under Criterion A or B. It does embody distinctive characteristics of a type, period, or method of construction, and it does represent the work of a master or possess high artistic value. However, it is less than 50 years of age and thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 75D Long Beach Boulevard is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 93B Long Beach Boulevard

Street Address: Street #: 93B N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Long Beach Suffix: N/A Type: BLVD

County(s): Ocean **Zip Code:** 08008

Municipality(s): Long Beach Township **Block(s):** 20.104

Local Place Name(s): N/A **Lot(s):** 2

Ownership: Private **USGS Quad(s)** Hammonton

Description: The building at 93B Long Beach Boulevard is a two-story, circa-1970 Modernistic residence with asphalt shingle roofing, T-111 siding, and metal windows. The residence features a main wing with shed roofs and a wing of stepped bays.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

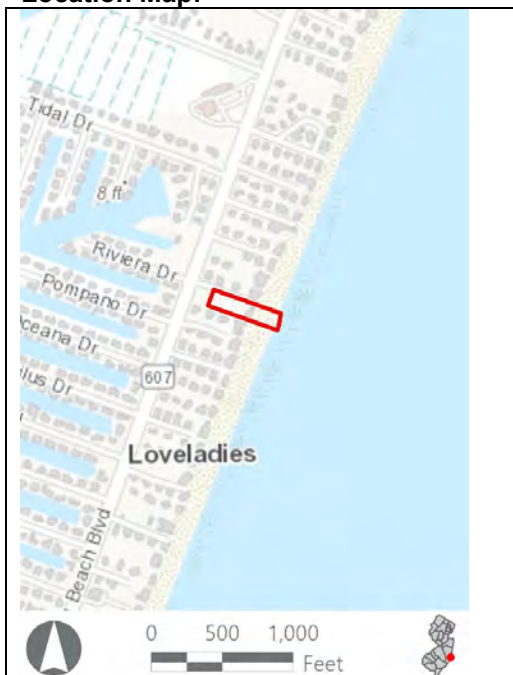
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Zillow. 2023. "93 Long Beach Blvd #A&B." Available at https://www.zillow.com/homedetails/93-Long-Beach-Blvd-A-B-Beach-Haven-NJ-08008/2067762676_zpid/ (Accessed February 2023).

Heritage Studies, Inc. 1981. Long Beach Island. New Jersey Historic Sites Inventory, Ocean County Vol. 35. Available at OCE_GB_148_v35.pdf (nj.gov) (Accessed January 2023).

Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).

NETROnline (NETR). 2023. "Historic Aerials." Available online at: <https://www.historicaerials.com/viewer> (Accessed February 2023).

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Spicer-McGarry, Susan. 2018. "Steam and Steel." Echoes of LBI Magazine. Available at <https://echoesoflbi.com/steam-steel/> (Accessed January 2023).

Township of Long Beach. Election Information. Available at <https://www.longbeachtownship.com/election-information/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 93B Long Beach Boulevard

Historic Name: N/A

Present Use: Residential Activity, Permanent

Historic Use: Residential Activity, Permanent

Construction Date: 1970 **Source:** www.njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Good

Builder: N/A **Remaining Historic Fabric:** Medium

Style: Modernistic

Form: Irregular **Stories:** 2

Type: N/A **Bays:** 6

Roof Finish Materials: Asphalt Shingle

Exterior Finish Materials Wood, Plywood

Exterior Description: The building at 93B Long Beach Boulevard is a two-story, circa-1970 Modernistic residence. The residence features a main wing with shed roofs and a wing of stepped bays. The building is clad in T-111 siding and the fenestration is composed of three and four-part metal windows. The building is partially obscured by the dunes.

Interior Description: N/A

Setting: The resource is a beachfront property in a residential area and is surrounded by similar residential buildings. Long Beach is a township in Ocean County consisting of four noncontiguous areas on the barrier island of Long Beach Island and several uninhabited small islands in Barnegat Bay. The township consists of several unincorporated communities, including Beach Haven Park, Peahala Park, Brighton Beach, Beach Haven Crest, Brant Beach, Beach Haven Inlet, Holgate, South Beach Haven, North Beach Haven, Spray Beach, Beach Haven Gardens, Beach Haven Terrace, The Dunes, Haven Beach, North Beach High, Bar Harbor, and Loveladies. Historic aerial imagery shows development in Long Beach Township throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s. The far southern end of the township remains an undeveloped National Wildlife Refuge, and the rest of the township consists of private developments and enclaves. The township is a popular summer resort (Township of Long Beach, 2023; Long Beach Island, 2023; NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Many of the communities of present-day Long Beach Township were established in the late nineteenth century and grew after the Long Beach Railroad was constructed in 1886, connecting Long Beach Island with the mainland. Loveladies was established with the Life Saving Station in 1871 and gained a train station in 1886 and a gunning club in the late nineteenth century. Peahala was developed in 1882 when a gunning organization and subsequent resort were built. Spray Beach, previously called Waverly Beach or Cranberry Hill, was developed in 1890 when W.S. Ringgold and J.L. Long purchased the land and built three cottages, one of which became the Spray Beach Hotel. In the early twentieth century, Brant Beach and Beach Haven Terrace were established by real estate developers who built train stations in these communities. In addition to summer resorts, the main industries on the island through the nineteenth century were fishing, salt production, and farming. Long Beach Township was incorporated as a township in 1899. The communities in Long Beach Township remained relatively small until the construction of the automobile causeway connecting the island to the mainland in 1914 (Heritage Studies, 1981; Snyder 2004; Spicer-McGarry, 2018).

Significance: The building at 93B Long Beach Boulevard is associated with twentieth-century development in Long Beach Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 93B Long Beach Boulevard is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 93B Long Beach Boulevard is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 71E Long Beach Boulevard

Street Address: Street #: 71E N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Long Beach Suffix: N/A Type: BLVD

County(s): Ocean **Zip Code:** 08008

Municipality(s): Long Beach Township **Block(s):** 20.77

Local Place Name(s): Loveladies **Lot(s):** 5

Ownership: Private **USGS Quad(s)** Hammonton

Description: The building at 71E Long Beach Boulevard is a two-story, vernacular residence with asphalt shingle roofing and wood shingle siding.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. Long Beach Island. New Jersey Historic Sites Inventory, Ocean County Vol. 35. Available at OCE_GB_148_v35.pdf (nj.gov) (Accessed January 2023).
Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).
NETROnline (NETR). 2023. "Historic Aerials." Available online at: <https://www.historicaerials.com/viewer> (Accessed February 2023).
Snyder, J. F. 2004. The Story of New Jersey's Civil Boundaries, 1606-1968. NJ Geological Survey, Trenton.
Spicer-McGarry, S. 2018. "Steam and Steel." Echoes of LBI Magazine. Available at <https://echoesoflbi.com/steam-steel/> (Accessed January 2023).
Township of Long Beach. Election Information. Available at <https://www.longbeachtownship.com/election-information/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	71E Long Beach Boulevard		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	ca.1972	Source:	NETR, 2023.
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Wood, Shingles		

Exterior Description: The building at 71E Long Beach Boulevard is a two-story, vernacular residence with asphalt shingle roofing and wood shingle siding. The center of the roof is gabled and is flanked by flat roof surfaces. One side has a large, roof-level deck facing the ocean. Two flights of wooden steps on the façade reach the deck with a landing on the second-story façade. The landing is accessed by two sets of patio doors. The fenestration on the façade and side elevations is 1/1 replacement sash. The first story is obscured by the dunes and there is no public access to the rear elevation because the building is located in a private development.

Interior Description: N/A

Setting: The building at 71E Long Beach Boulevard is a residential area near a marina with direct beach access. Long Beach Township, New Jersey is a township in Ocean County consisting of four noncontiguous areas on the barrier island of Long Beach Island and several uninhabited small islands in Barnegat Bay. The township consists of several unincorporated communities, including Beach Haven Park, Peahala Park, Brighton Beach, Beach Haven Crest, Brant Beach, Beach Haven Inlet, Holgate, South Beach Haven, North Beach Haven, Spray Beach, Beach Haven Gardens, Beach Haven Terrace, The Dunes, Haven Beach, North Beach High, Bar Harbor, and Loveladies. Historic aerial imagery shows development in Long Beach Township throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with most of the area completely built-out by the 1970s. The far southern end of the township remains an undeveloped National Wildlife Refuge, and the rest of the township consists of private developments and enclaves. The township is a popular summer resort (Township of Long Beach, 2023; Long Beach Island, 2023; NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Many of the communities of present-day Long Beach Township were established in the late nineteenth century and grew after the Long Beach Railroad was constructed in 1886, connecting Long Beach Island with the mainland. Loveladies was established with the Life Saving Station in 1871 and gained a train station in 1886 and a gunning club in the late nineteenth century. Peahala was developed in 1882 when a gunning organization and subsequent resort were built. Spray Beach, previously called Waverly Beach or Cranberry Hill, was developed in 1890 when W.S. Ringgold and J.L. Long purchased the land and built three cottages, one of which became the Spray Beach Hotel. In the early twentieth century, Brant Beach and Beach Haven Terrace were established by real estate developers who built train stations in these communities. In addition to summer resorts, the main industries on the island through the nineteenth century were fishing, salt production, and farming. Long Beach Township was incorporated as a township in 1899. The communities in Long Beach Township remained relatively small until the construction of the automobile causeway connecting the island to the mainland in 1914 (Heritage Studies, 1981; Snyder 2004; Spicer-McGarry, 2018).

Significance: 71E Long Beach Boulevard is associated with late-twentieth-century development in Long Beach Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 71E Long Beach Boulevard is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 71E Long Beach Boulevard is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 111 South 21st Avenue

Street Address: Street #: 111 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: 21st Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08403

Municipality(s): Longport Borough **Block(s):** 17

Local Place Name(s): N/A **Lot(s):** 4

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 111 South 21st Avenue is a two-story residence with white vinyl siding, shingle roofing, a covered wrap-around porch with square columns, and above-ground basement access.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

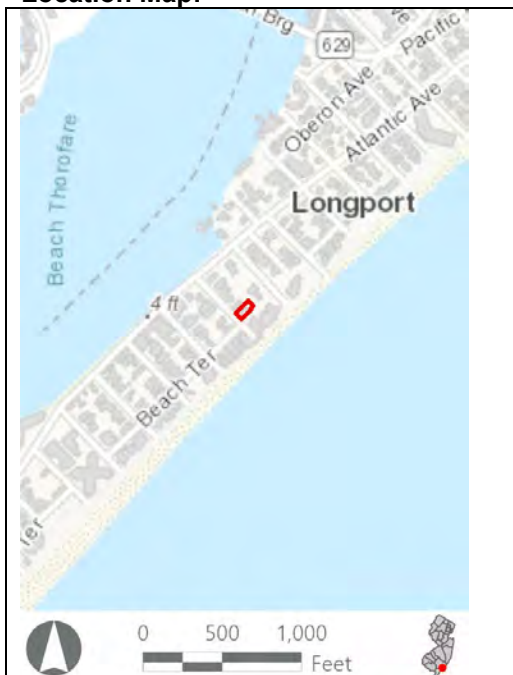


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Longport Public Library (LPL). 2023. "History." Available at <https://www.longportpubliclibrary.org/about-us/history> (Accessed January 2023).

NYTimes.com (NYT). 2023. "LONGPORT JOURNAL; History's Echoes in a Town Changed by Storms and Wealth." Available at <https://www.nytimes.com/1989/12/17/nyregion/longport-journal-history-s-echoes-in-a-town-changed-by-storms-and-wealth.html> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 111 South 21st Avenue

Historic Name: N/A

Present Use: Residential activity, permanent

Historic Use: Residential activity, permanent

Construction Date: 1896 **Source:** www.njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Excellent

Builder: N/A **Remaining Historic Fabric:** Low

Style: None

Form: Other **Stories:** 2

Type: N/A **Bays:** 3

Roof Finish Materials: Wood, Shingle

Exterior Finish Materials Wood, Clapboard

Exterior Description: The building at 111 South 21st Avenue is a two-story Queen Anne-style house on a raised brick foundation. The house features a square plan with a curved south corner. A one-story porch accessed by wood steps features metal railing, square pillars, and a utility door on the basement level. Entrances on the porch include metal French and sliding doors. The house features replacement 1/1 double-hung windows throughout of varying sizes and groupings. A three-bay oriel window on the first story is framed by brackets. The first story is trabeated beneath a flared second story. The northwest elevation features a two-story set of replacement fixed cottage windows cut into the molding and siding materials. The hipped asphalt roof features flat dormers with pairs of groups of five windows. The curved southern corner of the house is topped by an engaged conical roof.

Interior Description: N/A

Setting: The building at 111 South 21st Avenue is in a residential area with near immediate access to the beach and the boardwalk and is surrounded by similar residential houses. Longport Borough is located on the southern tip of Absecon Island and adjacent to Margate City. The borough has a rectilinear street grid in the northern section close to Margate. The older section of the borough is along the narrow Point. Some of which is now underwater but was once part of the borough.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The borough of Longport City is located on the southern tip of Absecon Island and adjacent to Margate City. Developed as a seaside resort by Philadelphia businessman, Simpson McCullough, Longport was incorporated in 1898. The borough is named after McCullough's friend James Long who had owned but not developed the land prior to McCullough. Once noteworthy for its collection of late Victorian architecture, the borough has suffered from intense weather events because of its precarious position, losing 1st through 10th avenues to the ocean between 1900 and 1916. While the borough remains primarily residential in nature, its proximity to Atlantic City made it a desirable real estate market starting in the 1980s which saw much of the Victorian-era housing and historic landmarks replaced with high-density housing units (LPL, 2023; NYT, 2023).

Significance: The building at 111 South 21st Avenue is associated with late-nineteenth-century development in Longport Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 111 South 21st Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 111 South 21st Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 112 South 25th Avenue

Street Address: Street #: 112 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: 25th Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08403

Municipality(s): Longport Borough **Block(s):** 21

Local Place Name(s): N/A **Lot(s):** 12.01

Ownership: Private **USGS Quad(s)** Ocean City

Description: The house at 112 South 25th Avenue is a circa 1975 two-and-a-half--story Dutch Colonial Revival dwelling covered in synthetic faux-wood siding and capped by a gambrel roof with projecting gambrels. The fenestration consists of synthetic double-hung, 1/1 windows, with some in pairs.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

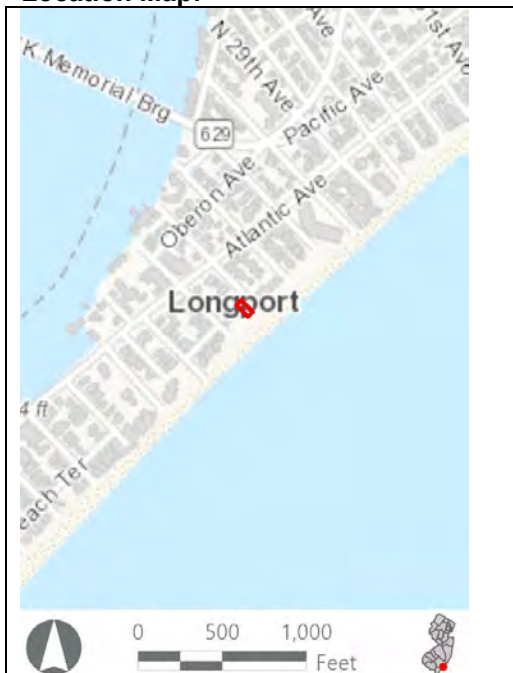


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Longport Public Library (LPL). 2023. "History." Available at <https://www.longportpubliclibrary.org/about-us/history> (Accessed January 2023).

NYTimes.com (NYT). 2023. "LONGPORT JOURNAL; History's Echoes in a Town Changed by Storms and Wealth." Available at <https://www.nytimes.com/1989/12/17/nyregion/longport-journal-history-s-echoes-in-a-town-changed-by-storms-and-wealth.html> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	112 South 25th Avenue		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1975	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2.5
Type:	N/A	Bays:	4
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 112 South 25th Avenue is a two-and-a-half-story Dutch Colonial Revival-style house featuring a low-ridged gambrel roof with sweeping eaves. The house is clad in a synthetic faux-wood siding. The fenestration consists of 1/1, double-hung synthetic windows, alone or in pairs or groups of three, typically flanked by vinyl faux shutters. The foundation is veneered in red brick and dark clinkers. On the first story, a single recessed bay on the northwest elevation features a garage door. The (southeast) ocean-facing façade features a two-story porch topped with a patio deck with vinyl posts and railings. A first-story entrance on the northeast elevation features a segmented arch recess topped by a triangular pediment. The second story flares out slightly above the first. The asphalt roof features trabeated gambrel and gabled dormers featuring windows or deep porches.

Interior Description: N/A

Setting: The building at 112 South 25th Avenue is in a residential area on the beachfront and is surrounded by similar residential buildings. Longport Borough is located on the southern tip of Absecon Island and adjacent to Margate City. The borough has a rectilinear street grid in the northern section close to Margate. The older section of the borough is along the narrow Point. Some of which is now underwater, but was once part of the borough.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The borough of Longport City is located on the southern tip of Absecon Island and adjacent to Margate City. Developed as a seaside resort by Philadelphia businessman, Simpson McCullough, Longport was incorporated in 1898. The borough is named after McCullough's friend James Long who had owned but not developed the land prior to McCullough (LPL, 2023). Once noteworthy for its collection of late Victorian architecture, the borough has suffered from intense weather events because of its precarious position, losing 1st through 10th avenues to the ocean between 1900 and 1916. While the borough remains primarily residential in nature, its proximity to Atlantic City made it a desirable real estate market starting in the 1980s which saw much of the Victorian-era housing and historic landmarks replaced with high-density housing units (LPL, 2023; NYT, 2023).

Significance: The building at 112 South 25th Avenue is associated with late-twentieth-century development in Longport Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 112 South 25th Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 112 South 25th Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 111 South 17th Avenue

Street Address: Street #: 111 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: 17th Suffix: N/A Type: AVE

County(s): Atlantic Zip Code: 08403

Municipality(s): Longport Borough Block(s): 13

Local Place Name(s): N/A Lot(s): 7

Ownership: Private USGS Quad(s) Ocean City

Description: The building at 111 South 17th Avenue is a heavily altered two-and-a-half story ca. 1920 dwelling.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

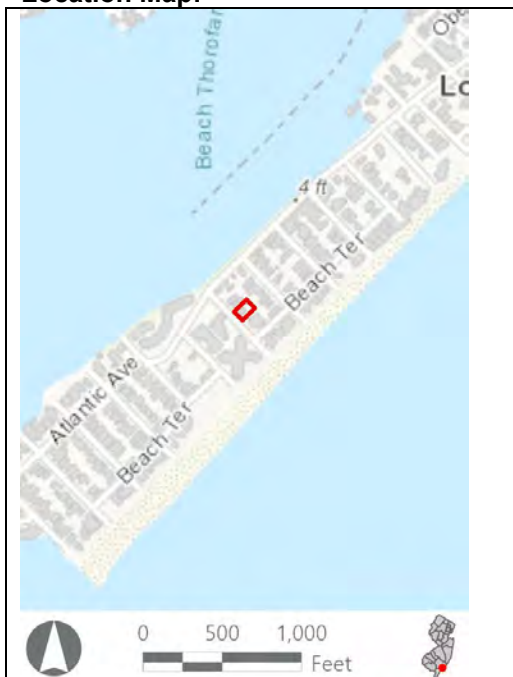


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Longport Public Library (LPL). 2023. "History." Available at <https://www.longportpubliclibrary.org/about-us/history> (Accessed January 2023).

NYTimes.com (NYT). 2023. "LONGPORT JOURNAL; History's Echoes in a Town Changed by Storms and Wealth." Available at <https://www.nytimes.com/1989/12/17/nyregion/longport-journal-history-s-echoes-in-a-town-changed-by-storms-and-wealth.html> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 111 South 17th Avenue

Historic Name: N/A

Present Use: Residential activity, permanent

Historic Use: Residential activity, permanent

Construction Date: 1920 **Source:** Njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Excellent

Builder: N/A **Remaining Historic Fabric:** Medium

Style: None

Form: Other **Stories:** 2.5

Type: N/A **Bays:** 3

Roof Finish Materials: Asphalt Shingle

Exterior Finish Materials Vinyl Siding

Exterior Description: The building at 111 South 17th Avenue is a heavily altered two-and-a-half story ca. 1920 dwelling. The house is covered in vinyl siding and capped by a side gable roof covered in asphalt shingles. There is a projecting gable on the southwest (front) elevation. The fenestration consists of replacement vinyl sash double-hung 1/1 windows. A hipped roof porch with replacement materials is attached to the southwest, northwest (side), and southeast (side) elevations.

Interior Description: N/A

Setting: The building at 111 South 17th Avenue is in a residential area about half a block away from the oceanfront and is surrounded by similar residential buildings. Longport Borough is located on the southern tip of Absecon Island and adjacent to Margate City. The borough has a rectilinear street grid in the northern section close to Margate. The older section of the borough is along the narrow Point. Some of which is now underwater but was once part of the borough.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The borough of Longport City is located on the southern tip of Absecon Island and adjacent to Margate City. Developed as a seaside resort by Philadelphia businessman, Simpson McCullough, Longport was incorporated in 1898. The borough is named after McCullough's friend James Long who had owned but not developed the land prior to McCullough (LPL, 2023). Once noteworthy for its collection of late Victorian architecture, the borough has suffered from intense weather events because of its precarious position, losing 1st through 10th avenues to the ocean between 1900 and 1916. While the borough remains primarily residential in nature, its proximity to Atlantic City made it a desirable real estate market starting in the 1980s which saw much of the Victorian-era housing and historic landmarks replaced with high-density housing units (LPL, 2023; NYT, 2023).

Significance: The building at 111 South 17th Avenue is associated with early-twentieth-century development in Longport Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 111 South 17th Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 111 South 17th Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 105 South 36th Avenue

Street Address: Street #: 105 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: 36th Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08403

Municipality(s): Longport Borough **Block(s):** 103

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 105 South 36th Avenue is a circa 1980 two-story Post Modern-style dwelling with replacement siding and roof material. The fenestration consists of large, fixed windows, and the house is set on a two-bay garage/deck.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

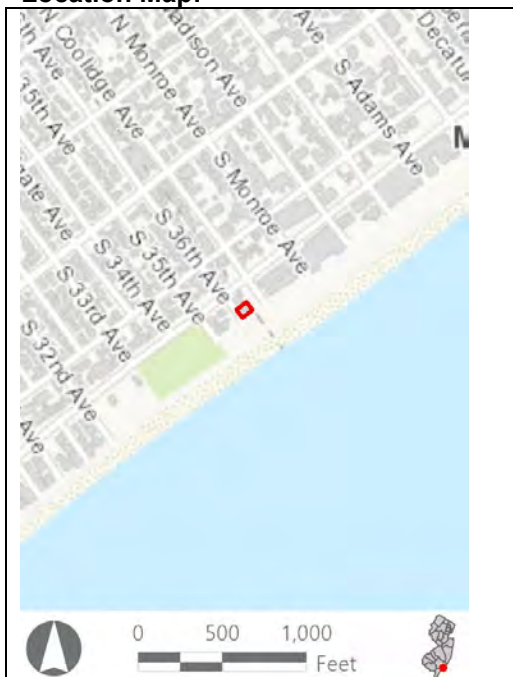


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Longport Public Library (LPL). 2023. "History." Available at <https://www.longportpubliclibrary.org/about-us/history> (Accessed January 2023).

NYTimes.com (NYT). 2023. "LONGPORT JOURNAL; History's Echoes in a Town Changed by Storms and Wealth." Available at <https://www.nytimes.com/1989/12/17/nyregion/longport-journal-history-s-echoes-in-a-town-changed-by-storms-and-wealth.html> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 105 South 36th Avenue
Historic Name: N/A
Present Use: Residential activity, permanent
Historic Use: Residential activity, permanent
Construction Date: 1980 **Source:** Njtaxrecords.net
Alteration Date(s): N/A **Source:** N/A
Designer: N/A **Physical Condition:** Excellent
Builder: N/A **Remaining Historic Fabric:** Low
Style: Post Modern
Form: Irregular **Stories:** 2
Type: N/A **Bays:** N/A
Roof Finish Materials: Unknown
Exterior Finish Materials: Wood, Other

Exterior Description: The building at 105 South 36th Avenue is a two-story Post Modern-style house. The house is set upon a raised platform supported by square piers. The platform consists of a wide-open wood patio with vinyl posts and railing, within which is set the house. The house features angled walls and large full-height windows separated by wide wood muntins. The rear (northwest) elevation is mostly blank and clad in vertical clapboard siding. The first story features a set of wide sliding doors as an entry within an angled glass curtain wall. A second-story cantilevered porch is accessed by a semi-detached stairwell door. The northeast elevation features vinyl casement windows in groups of three. The rambling, angular roof is clad in asphalt shingles.

Interior Description: N/A

Setting: The building at 105 South 36th Avenue is in a residential area with immediate beach access. It is surrounded by similar residential buildings. Longport Borough is located on the southern tip of Absecon Island and adjacent to Margate City. The borough has a rectilinear street grid in the northern section close to Margate. The older section of the borough is along the narrow Point. Some of which is now underwater but was once part of the borough.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The borough of Longport City is located on the southern tip of Absecon Island and adjacent to Margate City. Developed as a seaside resort by Philadelphia businessman, Simpson McCullough, Longport was incorporated in 1898. The borough is named after McCullough's friend James Long who had owned but not developed the land prior to McCullough (LPL, 2023). Once noteworthy for its collection of late Victorian architecture, the borough has suffered from intense weather events because of its precarious position, losing 1st through 10th avenues to the ocean between 1900 and 1916. While the borough remains primarily residential in nature, its proximity to Atlantic City made it a desirable real estate market starting in the 1980s which saw much of the Victorian-era housing and historic landmarks replaced with high-density housing units (LPL, 2023; NYT, 2023).

Significance: The building at 105 South 36th Avenue is associated with late-twentieth-century development in Longport Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 105 South 36th Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 105 South 36th Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 107 South 25th Avenue

Street Address: Street #: 107 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: 25th Suffix: N/A Type: AVE

County(s): Atlantic Zip Code: 08403

Municipality(s): Longport Borough Block(s): 24

Local Place Name(s): N/A Lot(s): 3

Ownership: Private USGS Quad(s) Ocean City

Description: The building at 107 South 25th Avenue is a two-and-a-half-story, circa 1897 Colonial Revival residence with gambrel roofs clad in wood shingles and wood shingle siding. There is a wraparound porch with Doric columns and wood railings. Above is a second-story balcony also with wood railings.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

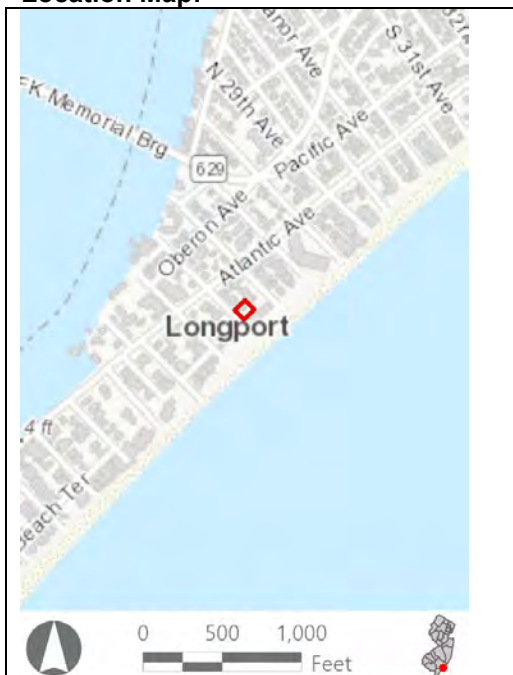


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Longport Public Library (LPL). 2023. "History." Available at <https://www.longportpubliclibrary.org/about-us/history> (Accessed January 2023).

NYTimes.com (NYT). 2023. "LONGPORT JOURNAL; History's Echoes in a Town Changed by Storms and Wealth." Available at <https://www.nytimes.com/1989/12/17/nyregion/longport-journal-history-s-echoes-in-a-town-changed-by-storms-and-wealth.html> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	107 South 25 th Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1897	Source:	Plaque by Longport Historical Society
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	Medium
Style:	Colonial Revival		
Form:	Gable Front	Stories:	2.5
Type:	N/A	Bays:	N/A
Roof Finish Materials:	Wood, Shingles		
Exterior Finish Materials	Wood, Shingles		

Exterior Description: The building at 107 South 25th Avenue is a two-and-a-half-story Colonial Revival-style house set upon a raised foundation. The house is clad in wood shingle siding and features a two-story wraparound porch with Doric columns and both wood and vinyl railings. Fenestration consists of 1/1, double-hung vinyl windows alone or in pairs. The first-story porch is accessed by a split staircase and features a three-part bay window on the southwest elevation and a large fixed, picture window and doorway on the (southeast) façade. The second story features deep gambrels, and the asphalt roof has two gabled dormers facing southeast.

Interior Description: N/A

Setting: The building at 107 South 25th Avenue is in a residential neighborhood one block from the ocean. Longport Borough is located on the southern tip of Absecon Island and adjacent to Margate City. The borough has a rectilinear street grid in the northern section close to Margate. The older section of the borough is along the narrow Point. Some of which is now underwater but was once part of the borough.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The borough of Longport City is located on the southern tip of Absecon Island and adjacent to Margate City. Developed as a seaside resort by Philadelphia businessman, Simpson McCullough, Longport was incorporated in 1898. The borough is named after McCullough's friend James Long who had owned but not developed the land prior to McCullough (LPL, 2023). Once noteworthy for its collection of late Victorian architecture, the borough has suffered from intense weather events because of its precarious position, losing 1st through 10th avenues to the ocean between 1900 and 1916. While the borough remains primarily residential in nature, its proximity to Atlantic City made it a desirable real estate market starting in the 1980s which saw much of the Victorian-era housing and historic landmarks replaced with high-density housing units (LPL, 2023; NYT, 2023).

Significance: The building at 107 South 25th Avenue is associated with late-nineteenth-century development in Longport Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 107 South 25th Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 107 South 25th Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 105 South 21st Avenue

Street Address: Street #: 105 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: 21st Suffix: N/A Type: AVE

County(s): Atlantic Zip Code: 08403

Municipality(s): Longport Borough Block(s): 17

Local Place Name(s): N/A Lot(s): 7

Ownership: Private USGS Quad(s) Ocean City

Description: The building at 105 South 21st Avenue is a heavily altered two-and-a-half story ca. 1890 dwelling.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

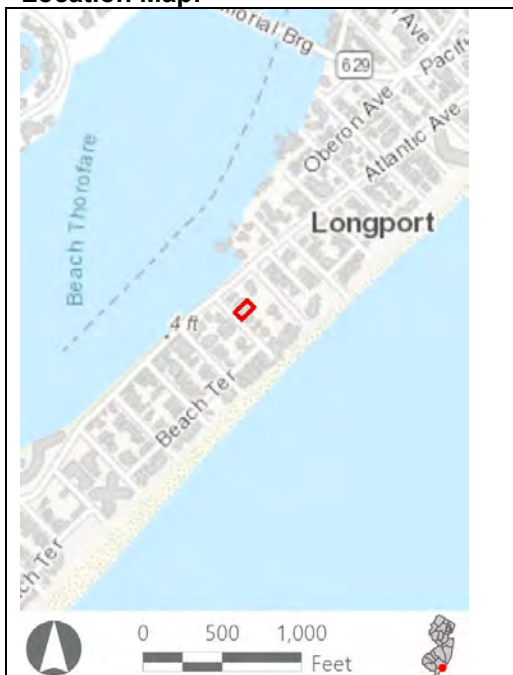


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Longport Public Library (LPL). 2023. "History." Available at <https://www.longportpubliclibrary.org/about-us/history> (Accessed January 2023).

NYTimes.com (NYT). 2023. "LONGPORT JOURNAL; History's Echoes in a Town Changed by Storms and Wealth." Available at <https://www.nytimes.com/1989/12/17/nyregion/longport-journal-history-s-echoes-in-a-town-changed-by-storms-and-wealth.html> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 105 South 21st Avenue
Historic Name: N/A
Present Use: Residential activity, permanent
Historic Use: Residential activity, permanent
Construction Date: 1890 **Source:** Njtaxrecords.net
Alteration Date(s): N/A **Source:** N/A
Designer: N/A **Physical Condition:** Good
Builder: N/A **Remaining Historic Fabric:** Low
Style: None
Form: Four Square **Stories:** 3
Type: N/A **Bays:** 2
Roof Finish Materials: Asphalt Shingle
Exterior Finish Materials Vinyl

Exterior Description: The building at 105 South 21st Avenue is a heavily altered two-and-a-half story ca. 1890 dwelling. The residence is covered in vinyl siding and capped by an altered hipped roof with a projecting gable and exposed rafter tails in the eaves. The house includes replacement synthetic windows, alterations to the original porch including replacement materials, and the construction of a deck. There is a non-historic two-story rear addition.

Interior Description: N/A

Setting: The building at 105 South 21st Avenue is in a residential area with beach access about half a block away. It is surrounded by similar residential buildings. Longport Borough is located on the southern tip of Absecon Island and adjacent to Margate City. The borough has a rectilinear street grid in the northern section close to Margate. The older section of the borough is along the narrow Point. Some of which is now underwater but was once part of the borough.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The borough of Longport City is located on the southern tip of Absecon Island and adjacent to Margate City. Developed as a seaside resort by Philadelphia businessman, Simpson McCullough, Longport was incorporated in 1898. The borough is named after McCullough's friend James Long who had owned but not developed the land prior to McCullough (LPL, 2023). Once noteworthy for its collection of late Victorian architecture, the borough has suffered from intense weather events because of its precarious position, losing 1st through 10th avenues to the ocean between 1900 and 1916. While the borough remains primarily residential in nature, its proximity to Atlantic City made it a desirable real estate market starting in the 1980s which saw much of the Victorian-era housing and historic landmarks replaced with high-density housing units (LPL, 2023; NYT, 2023).

Significance: The building at 105 South 21st Avenue is associated with late-nineteenth-century development in Longport Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 105 South 21st Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 105 South 21st Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 110 South 22nd Avenue

Street Address: Street #: 110 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: 22nd Suffix: N/A Type: AVE

County(s): Atlantic Zip Code: 08403

Municipality(s): Longport Borough Block(s): 17

Local Place Name(s): N/A Lot(s): 12

Ownership: Private USGS Quad(s) Ocean City

Description: The building at 110 South 22nd Avenue is a heavily altered two-and-one-half-story circa 1895 dwelling with replacement siding and capped by a side gable roof. The house features replacement windows and a large two-story porch addition on the northeast (front) elevation. The resource retains very little historic-era material.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

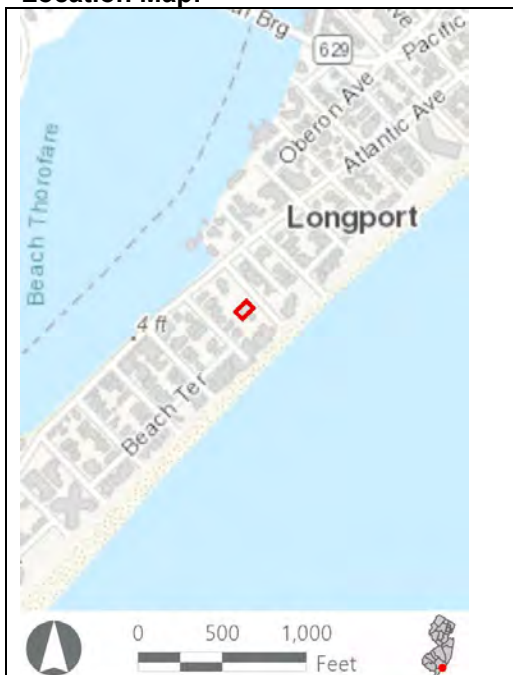


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area – Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Longport Public Library (LPL). 2023. "History." Available at <https://www.longportpubliclibrary.org/about-us/history> (Accessed January 2023).

NYTimes.com (NYT). 2023. "LONGPORT JOURNAL; History's Echoes in a Town Changed by Storms and Wealth." Available at <https://www.nytimes.com/1989/12/17/nyregion/longport-journal-history-s-echoes-in-a-town-changed-by-storms-and-wealth.html> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area – Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	110 South 22 nd Avenue		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1895	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2.5
Type:	N/A	Bays:	3
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Wood, Board and Batten		

Exterior Description: The building at 110 South 22nd Avenue is a two-and-one-half-story house clad in replacement siding. The house features a two-story full-width porch on the (northeast) façade with square columns and pilasters. Fenestration consists mainly of 2/2, double-hung metal windows alone or in groups of up to four. Siding patterns vary across the elevations to include paneled and vertical line motifs. The first story features a two-bay square bay window on the façade. A portion of the second-story porch is enclosed as a sunroom featuring windows with bottom transoms. The upper half-story features a small patio with metal railings on the porch roof. The asphalt roof features flat dormers with bands of small square windows.

Interior Description: N/A

Setting: The building at 110 South 22nd Avenue is in a residential area about half a block away from beach access. It is surrounded by similar residential properties. Longport Borough is located on the southern tip of Absecon Island and adjacent to Margate City. The borough has a rectilinear street grid in the northern section close to Margate. The older section of the borough is along the narrow Point. Some of which is now underwater but was once part of the borough.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The borough of Longport City is located on the southern tip of Absecon Island and adjacent to Margate City. Developed as a seaside resort by Philadelphia businessman, Simpson McCullough, Longport was incorporated in 1898. The borough is named after McCullough's friend James Long who had owned but not developed the land prior to McCullough (LPL, 2023). Once noteworthy for its collection of late Victorian architecture, the borough has suffered from intense weather events because of its precarious position, losing 1st through 10th avenues to the ocean between 1900 and 1916. While the borough remains primarily residential in nature, its proximity to Atlantic City made it a desirable real estate market starting in the 1980s which saw much of the Victorian-era housing and historic landmarks replaced with high-density housing units (LPL, 2023; NYT, 2023).

Significance: The building at 110 South 22nd Avenue is associated with late-nineteenth-century development in Longport Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 110 South 22nd Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 110 South 22nd Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 109 South 13th Avenue

Street Address: Street #: 109 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: 13th Suffix: N/A Type: AVE

County(s): Atlantic Zip Code: 08403

Municipality(s): Longport Borough Block(s): 6

Local Place Name(s): N/A Lot(s): 5.01

Ownership: Private USGS Quad(s) Ocean City

Description: The building at 109 South 13th Avenue is a heavily altered three-story circa 1895 dwelling.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

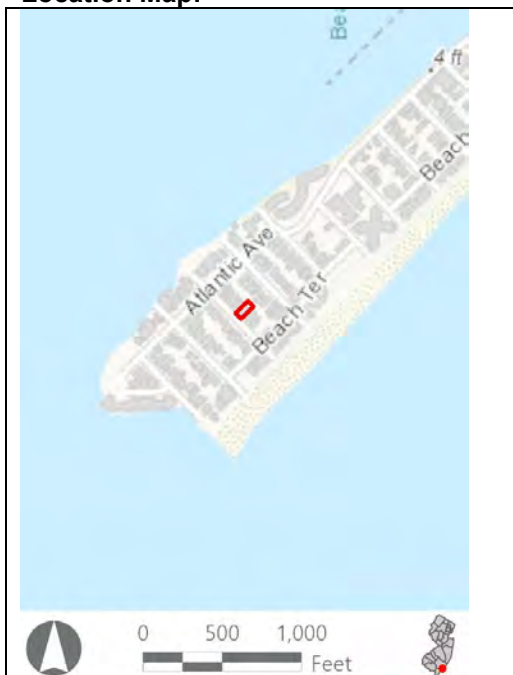


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Longport Public Library (LPL). 2023. "History." Available at <https://www.longportpubliclibrary.org/about-us/history> (Accessed January 2023).

NYTimes.com (NYT). 2023. "LONGPORT JOURNAL; History's Echoes in a Town Changed by Storms and Wealth." Available at <https://www.nytimes.com/1989/12/17/nyregion/longport-journal-history-s-echoes-in-a-town-changed-by-storms-and-wealth.html> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 109 South 13th Avenue

Historic Name: N/A

Present Use: Residential activity, permanent

Historic Use: Residential activity, permanent

Construction Date: 1895 **Source:** Njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Good

Builder: N/A **Remaining Historic Fabric:** Medium

Style: Other

Form: Gable Front **Stories:** 3

Type: N/A **Bays:** 2

Roof Finish Materials: Asphalt Shingle

Exterior Finish Materials Vinyl Siding

Exterior Description: The building at 109 South 13th Avenue is a heavily altered three-story ca. 1895 dwelling. The house has vinyl siding and is capped by a front gable roof covered in asphalt shingles. The roof features three gable roof dormer windows on the southeast (side) elevation. Fenestration consists of replacement vinyl sash 1/1 paired windows and a picture window on the southwest (front) elevation. A one-story replacement porch is attached to the southeast, northwest (side), and southwest elevations. Very little historic-era ornamentation is intact.

Interior Description: N/A

Setting: The building at 109 South 13th Avenue is in a residential area about half a block away from the ocean. It is surrounded by similar residential buildings. Longport Borough is located on the southern tip of Absecon Island and adjacent to Margate City. The borough has a rectilinear street grid in the northern section close to Margate. The older section of the borough is along the narrow Point. Some of which is now underwater but was once part of the borough.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The borough of Longport City is located on the southern tip of Absecon Island and adjacent to Margate City. Developed as a seaside resort by Philadelphia businessman, Simpson McCullough, Longport was incorporated in 1898. The borough is named after McCullough's friend James Long who had owned but not developed the land prior to McCullough (LPL, 2023). Once noteworthy for its collection of late Victorian architecture, the borough has suffered from intense weather events because of its precarious position, losing 1st through 10th avenues to the ocean between 1900 and 1916. While the borough remains primarily residential in nature, its proximity to Atlantic City made it a desirable real estate market starting in the 1980s which saw much of the Victorian-era housing and historic landmarks replaced with high-density housing units (LPL, 2023; NYT, 2023).

Significance: The building at 109 South 13th Avenue is associated with late-nineteenth-century development in Longport Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 109 South 13th Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 109 South 13th Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 115 South 11th Avenue

Street Address: Street #: 115 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: 11th Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08403

Municipality(s): Longport Borough **Block(s):** 2

Local Place Name(s): N/A **Lot(s):** 6

Ownership: Private **USGS Quad(s)** Ocean City

Description: The house at 115 South 11th Avenue is an altered two-and-a-half story circa 1979 gable-front-and-wing dwelling.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

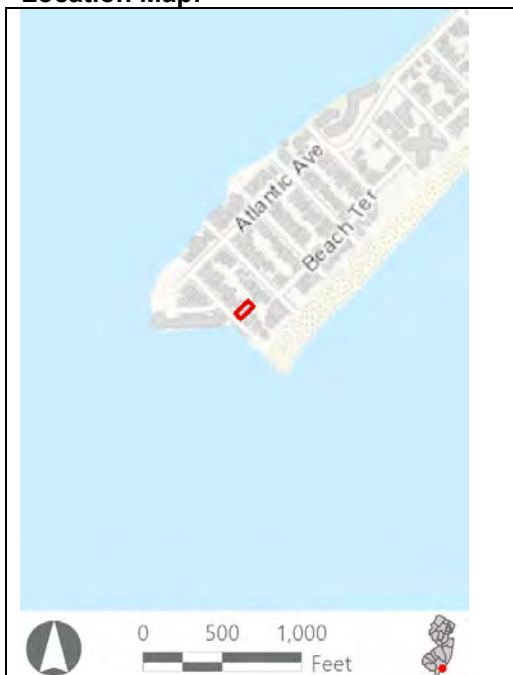


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Longport Public Library (LPL). 2023. "History." Available at <https://www.longportpubliclibrary.org/about-us/history> (Accessed January 2023).

NYTimes.com (NYT). 2023. "LONGPORT JOURNAL; History's Echoes in a Town Changed by Storms and Wealth." Available at <https://www.nytimes.com/1989/12/17/nyregion/longport-journal-history-s-echoes-in-a-town-changed-by-storms-and-wealth.html> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	115 South 11th Avenue		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1979	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Medium
Style:	Other		
Form:	Other		Stories: 3
Type:	N/A		Bays: 3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The house at 115 South 11th Avenue is an altered two-and-a-half story ca. 1979 gable-front-and-wing dwelling. The residence has modest Queen Anne detailing and is clad in vinyl siding. It is surmounted by a flat side-gable roof covered in asphalt shingles. The house includes a two-story projecting gable and gable roof dormer on the southwest (front) elevation. Both include decorative spindle work. The fenestration consists of replacement vinyl sash windows. The offset entrance is decorated with a transom, fanlights, pilasters, and a flush pediment.

Interior Description: N/A

Setting: The house at 115 South 11th Avenue is in a residential area with near immediate beach access and surrounded by similar residential buildings. Longport Borough is located on the southern tip of Absecon Island and adjacent to Margate City. The borough has a rectilinear street grid in the northern section close to Margate. The older section of the borough is along the narrow Point. Some of which is now underwater but was once part of the borough.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The borough of Longport City is located on the southern tip of Absecon Island and adjacent to Margate City. Developed as a seaside resort by Philadelphia businessman, Simpson McCullough, Longport was incorporated in 1898. The borough is named after McCullough's friend James Long who had owned but not developed the land prior to McCullough (LPL, 2023). Once noteworthy for its collection of late Victorian architecture, the borough has suffered from intense weather events because of its precarious position, losing 1st through 10th avenues to the ocean between 1900 and 1916. While the borough remains primarily residential in nature, its proximity to Atlantic City made it a desirable real estate market starting in the 1980s which saw much of the Victorian-era housing and historic landmarks replaced with high-density housing units (LPL, 2023; NYT, 2023).

Significance: 115 South 11th Avenue is associated with late-twentieth-century development in Longport Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 115 South 11th Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 115 South 11th Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 135 Seaview Court

Street Address: Street #: 135 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Seaview Suffix: N/A Type: CT

County(s): Cape May **Zip Code:** 08260

Municipality(s): North Wildwood **Block(s):** 30

Local Place Name(s): N/A **Lot(s):** 4

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 135 Seaview Court is a two-story, brick-faced duplex with a symmetrical façade and a shingled roof parapet. Each of the two units has a rear deck facing Hereford Inlet.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

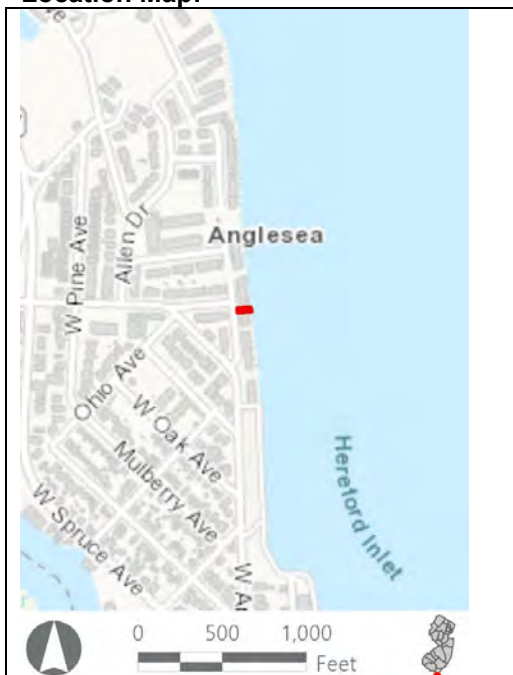


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed January 2023).

Visit NJ Shore. 2022. The History of North Wildwood City, NJ. Available at <https://www.visitnjshore.com/north-wildwood/history/> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	135 Seaview Court		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1970	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Medium
Style:	None		
Form:	Duplex	Stories:	2
Type:	N/A	Bays:	4
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Brick		

Exterior Description: The building at 135 Seaview Court is a two-story duplex townhouse located directly on Hereford Inlet. The building has a flat roof with asphalt shingled parapets on its primary (west) and rear (east) elevations. The brick-clad primary elevation is symmetrically arranged with pairs of sliding windows flanking four entry doors at the center of the façade. Decorative elements are limited to the north unit's wrought iron railings below its second-story windows and shallow brick arches over the primary entries. The rear elevation had brick cladding below the first-floor window sills and vinyl siding above. Each of the two units has a second-story wood deck at the rear accessed by sliding glass doors.

Interior Description: N/A

Setting: The building at 135 Seaview Court is a waterfront property along a residential street where most properties have rear decks facing Hereford Inlet and the Atlantic Ocean beyond a corrugated metal and rubble stone seawall. Access to the inlet side of the properties is private. Nearby properties are generally two-story duplex townhouses of similar scale, form, and vintage with shallow front yards, a concrete sidewalk, and a narrow tree lawn along Seaview Court. These properties are part of a larger area of primarily residential properties at the northern tip of North Wildwood at the inlet connecting the Atlantic Ocean to the sound and salt marshes on the west side of the barrier islands. This area is characterized by a modified grid development pattern, with some blocks exhibiting distinctive, repetitive housing forms and other blocks exhibiting a mix of mid-twentieth- to early-twenty-first-century housing types.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 135 Seaview Court is located in a mid-twentieth-century development. While a railroad connected the northern tip of Five Mile Beach to the mainland in the late nineteenth century, historic aerial photographs show that the building, along with others on its block, were constructed between 1963 and 1970, with additional development continuing piecemeal until the present (NETR, 2023).

North Wildwood City is in Cape May County north of Wildwood City on the Atlantic coast barrier island known as Five Mile Beach. The area was used as a fishing, herding, and whale processing locale during the seventeenth and eighteenth centuries and did not have any permanent settlement until the village of Anglesea was established by Swedish fishermen around 1870. The hazardous conditions at the Hereford Inlet at the north end of the island prompted the construction of the Hereford Lighthouse, completed in 1874. A rail line was established between Cape May Courthouse and Anglesea in 1884, which, along with the Rio Grand bridge, made the island more accessible from the mainland. Shortly after, in 1885, Anglesea was designated a borough. The community was renamed North Wildwood in 1906 to capitalize on the tourist trade that was booming in their neighbor to the south. Within eleven years the municipality grew large enough to be designated as a city. The area's economic base is commercial with an emphasis on tourism, including hotels and boardwalk attractions (History of North Wildwood, NJ, 2022).

Significance: 135 Seaview Court is associated with mid-twentieth-century development in North Wildwood. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 135 Seaview Court is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 135 Seaview Court is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 101 East Walnut Avenue

Street Address: Street #: 101 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: Walnut Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08206

Municipality(s): North Wildwood City **Block(s):** 222

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 101 East Walnut Avenue is a one- to one-and-a-half-story restaurant incorporating multiple gable-roofed, shed-roofed, and flat-roofed volumes, including a large, covered patio.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

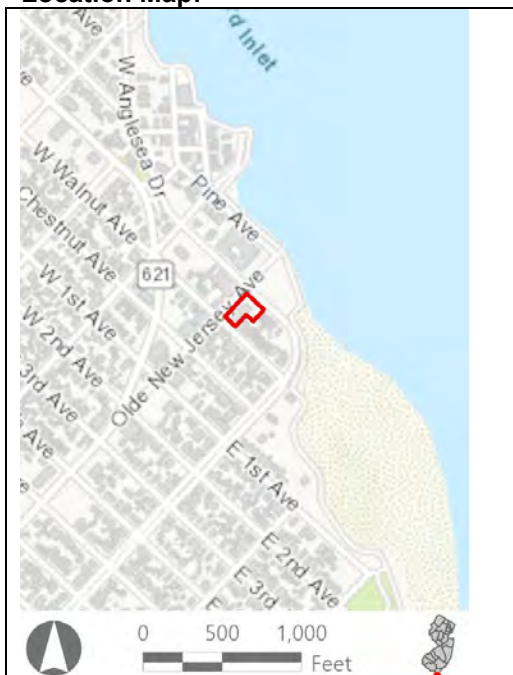


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: "Eddie Suez -- Club Avalon -- Wildwood-by-the-Sea, Spruce & New Jersey Aves., North Wildwood, N. J." The Tichnor Brothers Postcard Collection, Boston Public Library. Available at <https://www.digitalcommonwealth.org/search/commonwealth:0p097199p> (Accessed February 2023). Hoffman, Lori. "Cozy Morley Dies at 87". *Atlantic City Weekly*. Available at https://atlanticcityweekly.com/arts_and_entertainment/cozy-morley-dies-at-87/article_36ab889a-369f-5b5a-b345-10b355450e16.html (Accessed February 2023). NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed January 2023). Visit NJ Shore. 2022. The History of North Wildwood City, NJ. Available at <https://www.visitnjshore.com/north-wildwood/history/> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 101 East Walnut Avenue

Historic Name: N/A

Present Use: Commercial Activity, Eating, Drinking

Historic Use: Commercial Activity, Eating, Drinking

Construction Date: 1968 **Source:** Njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Good

Builder: N/A **Remaining Historic Fabric:** Low

Style: None

Form: Commercial **Stories:** 1

Type: N/A **Bays:** N/A

Roof Finish Materials: Asphalt Shingle

Exterior Finish Materials Wood, Shingles

Exterior Description: The building at 101 East Walnut Avenue is a one- to one-and-a-half-story restaurant located one block west of the mouth of Hereford Inlet. The building consists of multiple gable-roofed, shed-roofed, and flat-roofed volumes with asphalt shingle and rubber membrane roofs. Wall treatments include a brick veneer water table, stucco cladding, and vinyl siding. A large, covered patio is located southwest of the primary entrance on Olde New Jersey Avenue. Windows include a double-hung vinyl sash with applied muntins, a fanlight on the southwest elevation, and large fixed and casement vinyl sash at the northwest elevation. Folding glass doors and a railing along the ocean-facing northeast elevation allow it to be open-air in favorable weather. The building has multiple entrances at grade along the northwest elevation via modern glazed metal doors. A bronze statue of club owner and entertainer Thomas Francis "Cozy" Morley is located on the sidewalk adjacent to the building's northwest elevation.

Interior Description: N/A

Setting: The building at 101 East Walnut Avenue is located one block west of the mouth of Hereford Inlet in a commercial-residential area. A large municipal parking lot occupies the block between the building and the seawall. The immediate surroundings are characterized by single-family and duplex residential development of the late-nineteenth century through the mid-twentieth century and multi-unit development of the early twenty-first century, along with commercial buildings forming a linear business district along Olde New Jersey Avenue.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 101 East Walnut Avenue is in an area near the northern tip of the Five Mile Beach barrier island that developed as a vacation cottage community by the early twentieth century. Historic aerial photographs show the blocks surrounding the location of 101 East Walnut Avenue partially built out with cottages by 1920 (NETR, 2023). By the 1940s, a complex of buildings on the site was occupied by Eddy Suez's Club Avalon, a cocktail bar and entertainment venue with a primary entrance at the corner of Olde New Jersey Avenue and East Spruce Avenue. Entertainer Thomas Francis "Cozy" Morley (c. 1926-2013) bought the club in the 1950s and renamed it Cozy Morley's Club Avalon. The club was demolished between 1987 and 1991 and rebuilt as Westy's Irish Pub. A statue of Morley was erected on the northwest side of the building in 2003 (Hoffman, 2013).

North Wildwood City is in Cape May County north of Wildwood City on the Atlantic coast barrier island known as Five Mile Beach. The area was used as a fishing, herding, and whale processing locale during the seventeenth and eighteenth centuries and did not have any permanent settlement until the village of Anglesea was established by Swedish fishermen around 1870. The hazardous conditions at the Hereford Inlet at the north end of the island prompted the construction of the Hereford Lighthouse, completed in 1874. A rail line was established between Cape May Courthouse and Anglesea in 1884, which, along with the Rio Grand bridge, made the island more accessible from the mainland. Shortly after, in 1885, Anglesea was designated a borough. The community was renamed North Wildwood in 1906 to capitalize on the tourist trade that was booming in their neighbor to the south. Within eleven years the municipality grew large enough to be designated as a city. The area's economic base is commercial with an emphasis on tourism, including hotels and boardwalk attractions (History of North Wildwood, NJ, 2022).

Significance: The building at 101 East Walnut Avenue is associated with late-twentieth-century development in North Wildwood City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Although the well-known Avalon Club operated on the site of 101 East Walnut Avenue from about the 1940s through the late 1908s and was associated with notable entertainer Cozy Morley, the club was demolished and the present building on the site does not have any association with the history of entertainment in North Wildwood City. Therefore, 101 East Walnut Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 101 East Walnut Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 8 North New York Avenue

Street Address: Street #: 8 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: New York Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08260

Municipality(s): North Wildwood City **Block(s):** 6.01

Local Place Name(s): N/A **Lot(s):** 5

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 8 North New York Avenue is a single-story, concrete block bungalow residence with a hipped roof that projects over a full-width front porch. A small detached garage at the rear also has a hipped roof.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

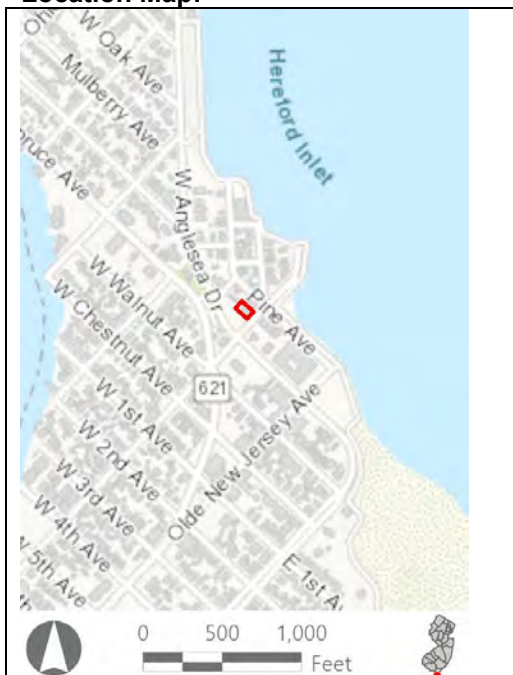


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed January 2023).

Visit NJ Shore. 2022. The History of North Wildwood City, NJ. Available at <https://www.visitnjshore.com/north-wildwood/history/> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 8 North New York Avenue

Historic Name: N/A

Present Use: Residential Activity, Permanent

Historic Use: Residential Activity, Permanent

Construction Date: 1943 **Source:** Njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Good

Builder: N/A **Remaining Historic Fabric:** Low

Style: None

Form: Bungalow **Stories:** 1

Type: N/A **Bays:** 2

Roof Finish Materials: Asphalt Shingle

Exterior Finish Materials Concrete Block, Rusticated

Exterior Description: The building at 8 North New York Avenue is a single-story bungalow-type residence with a hipped roof clad in asphalt shingles, and a rusticated concrete block foundation and exterior walls. A shed-roofed rear addition and infill of a portion of the former wraparound porch are sheathed in T1-11 plywood siding. The roof extends over a full-width entry porch and is supported on simple wood columns atop brick piers and a concrete block plinth. Original window openings in the masonry walls have cast stone sills and lintels. Windows throughout are vinyl 1/1 or casement sash. A small period automobile garage at the rear of the property has a pyramidal roof and wood or composite siding.

Interior Description: N/A

Setting: The building at 8 North New York Avenue occupies a mid-block lot roughly one-half block west of the mouth of Hereford Inlet in a primarily residential area. Public waterfront access is available across Pine Avenue at the North Wildwood Seawall Trail. The blocks immediately surrounding the building are characterized by raised two-story duplex and multi-unit residences of the late twentieth and early twenty-first centuries, interspersed with more modestly scaled surviving single-story and two-story residences of the early- to mid-twentieth century. The surrounding area exhibits a grid pattern of development interrupted by West Anglesea Drive, which follows a former railroad right-of-way.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Historic aerial photographs show that by 1920, scattered residential development had occurred at the northern tip of the Five Mile Beach barrier island, which has been connected to the mainland via a railroad since the late nineteenth century. 8 North New York Avenue was built in 1943. The blocks surrounding 8 North New York Avenue remained sparsely developed until after the Second World War (NETR, 2023). In recent years, many of the early-twentieth-century residences in the vicinity have been replaced with raised two-story duplex and multi-unit residential development.

North Wildwood City is in Cape May County north of Wildwood City on the Atlantic coast barrier island known as Five Mile Beach. The area was used as a fishing, herding, and whale processing locale during the seventeenth and eighteenth centuries and did not have any permanent settlement until the village of Anglesea was established by Swedish fishermen around 1870. The hazardous conditions at the Hereford Inlet at the north end of the island prompted the construction of the Hereford Lighthouse, completed in 1874. A rail line was established between Cape May Courthouse and Anglesea in 1884, which, along with the Rio Grand bridge, made the island more accessible from the mainland. Shortly after, in 1885, Anglesea was designated a borough. The community was renamed North Wildwood in 1906 to capitalize on the tourist trade that was booming in their neighbor to the south. Within eleven years the municipality grew large enough to be designated as a city. The area's economic base is commercial with an emphasis on tourism, including hotels and boardwalk attractions (History of North Wildwood, NJ, 2022).

Significance: 8 North New York Avenue is associated with mid-twentieth-century development in North Wildwood. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 8 North New York Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 8 North New York Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &
Organization: Environmental Services, D.P.C

Date: February 24,
2023

BASE FORM

Historic Sites #:

Property Name: 204 North Central Avenue

Street Address: Street #: 204 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: Central Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08260

Municipality(s): North Wildwood City **Block(s):** 221

Local Place Name(s): N/A **Lot(s):** 11

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 204 North Central Avenue is a single-story, gable ell house with an entry porch and asbestos shingle siding. A one-and-one-half-story guest house is located at the rear of the property.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

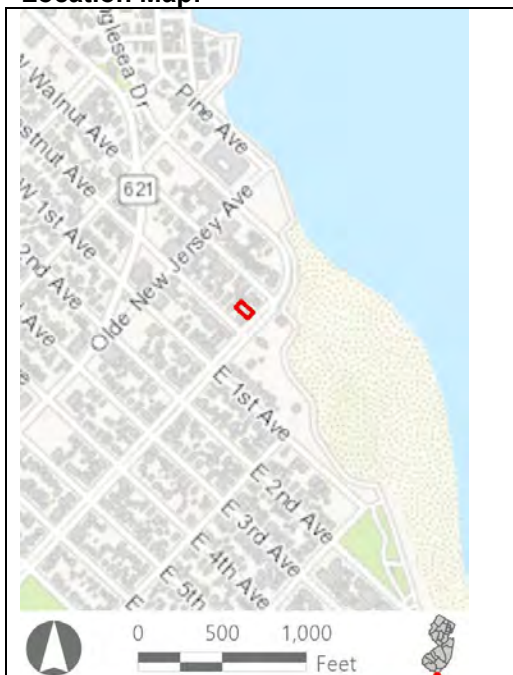


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed January 2023).

Visit NJ Shore. 2022. The History of North Wildwood City, NJ. Available at <https://www.visitnjshore.com/north-wildwood/history/> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>204 North Central Avenue</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>ca. 1960</u>	Source:	<u>Stylistic Evidence</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Medium</u>
Style:	<u>None</u>		
Form:	<u>Gable Ell</u>	Stories:	<u>1</u>
Type:	<u>N/A</u>	Bays:	<u>2</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Asbestos Siding</u>		

Exterior Description: The building at 204 North Central Avenue is a single-story gable ell residence with asbestos shingle siding atop a concrete block foundation, and a low slope cross-gabled roof sheathed in asphalt shingle. A shallow entry porch with turned wood posts and brackets occupies a portion of the primary (southeast elevation). Fenestration consists of vinyl 1/1 sash in singles and in pairs with applied plastic shutters. A one-and-one-half-story gable-roofed guest house with similar fenestration and siding is located at the rear of the property.

Interior Description: N/A

Setting: The building at 204 North Central Avenue occupies a mid-block lot roughly one-half block west of the mouth of Hereford Inlet and across Central Avenue from the Hereford Inlet Lighthouse and the North Wildwood Marine Police Department. Public waterfront access is available across Central Avenue at the North Wildwood Seawall Trail. Buildings on the blocks immediately surrounding 204 North Central Avenue include a mix of one- to two-story residences of the early to mid-twentieth century along with several raised two-story duplex and multi-unit residential buildings of the late twentieth and early twenty-first centuries.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Historic aerial photographs show that 204 North Central Avenue was built as early as the 1930s, although the surrounding area was fairly developed by 1920 as a waterfront cottage community. The blocks surrounding 204 North Central Avenue were completely built out by the 1950s (NETR, 2023). In recent years, several of the early-twentieth-century residences in the vicinity have been replaced with raised two-story duplex and multi-unit residential development.

North Wildwood City is in Cape May County north of Wildwood City on the Atlantic coast barrier island known as Five Mile Beach. The area was used as a fishing, herding, and whale processing locale during the seventeenth and eighteenth centuries and did not have any permanent settlement until the village of Anglesea was established by Swedish fishermen around 1870. The hazardous conditions at the Hereford Inlet at the north end of the island prompted the construction of the Hereford Lighthouse, completed in 1874. A rail line was established between Cape May Courthouse and Anglesea in 1884, which, along with the Rio Grand bridge, made the island more accessible from the mainland. Shortly after, in 1885, Anglesea was designated a borough. The community was renamed North Wildwood in 1906 to capitalize on the tourist trade that was booming in their neighbor to the south. Within eleven years the municipality grew large enough to be designated as a city. The area's economic base is commercial with an emphasis on tourism, including hotels and boardwalk attractions (History of North Wildwood, NJ, 2022).

Significance: 204 North Central Avenue is associated with mid-twentieth-century development in North Wildwood. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 204 North Central Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 204 North Central Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 202 Hereford Avenue

Street Address: Street #: 202 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Hereford Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08260

Municipality(s): North Wildwood City **Block(s):** 6.03

Local Place Name(s): N/A **Lot(s):** 12

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 202 Hereford Avenue is a single-story house with a hipped roof and a center entry sheltered by a bracketed portico and flanked by paired replacement sash and clad in vinyl siding.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

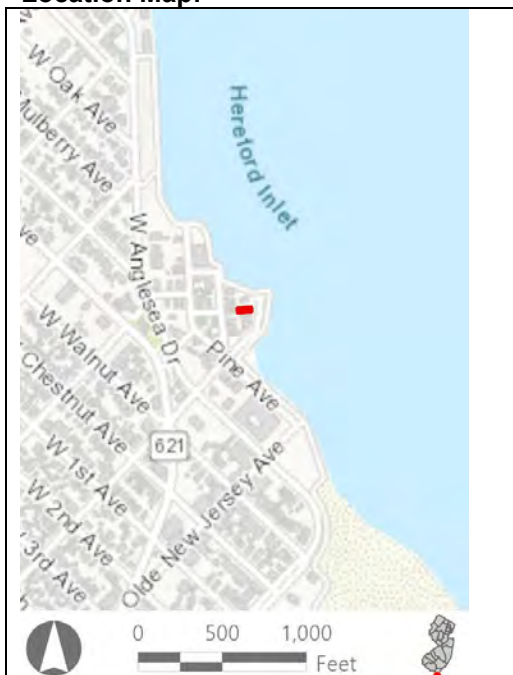
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed January 2023).

Visit NJ Shore. 2022. The History of North Wildwood City, NJ. Available at <https://www.visitnjshore.com/north-wildwood/history/> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>202 Hereford Avenue</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1930</u>	Source:	<u>Njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Other</u>	Stories:	<u>1</u>
Type:	<u>N/A</u>	Bays:	<u>2</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Vinyl Siding</u>		

Exterior Description: The building at 202 Hereford Avenue is a single-story house sited with its primary elevation facing Hereford Inlet. The building has a narrow rectangular footprint, a hipped roof sheathed in asphalt shingle, and exterior walls clad in vinyl siding atop a concrete foundation. The primary elevation consists of a just off-center entry door below a bracketed portico, flanked by pairs of vinyl sash with simulated divided lights.

Interior Description: N/A

Setting: The building at 202 Hereford Avenue occupies a mid-block lot facing Hereford Inlet across Hereford Avenue and a small parking lot adjacent to the seawall. Public waterfront access is available across Hereford Avenue at the North Wildwood Seawall Trail. The blocks immediately surrounding the building are characterized by raised two-story duplex and multi-unit residences of the late twentieth and early twenty-first centuries, interspersed with more modestly scaled surviving single-story and two-story residences of the early- to mid-twentieth century.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 202 Hereford Avenue was constructed in about 1930 and is in an early to mid-twentieth-century development of vacation cottages. Historic aerial photographs show that the area was beginning to be developed by 1920, with most of the available lots built out by the 1950s (NETR, 2023).

North Wildwood City is in Cape May County north of Wildwood City on the Atlantic coast barrier island known as Five Mile Beach. The area was used as a fishing, herding, and whale processing locale during the seventeenth and eighteenth centuries and did not have any permanent settlement until the village of Anglesea was established by Swedish fishermen around 1870. The hazardous conditions at the Hereford Inlet at the north end of the island prompted the construction of the Hereford Lighthouse, completed in 1874. A rail line was established between Cape May Courthouse and Anglesea in 1884, which, along with the Rio Grand bridge, made the island more accessible from the mainland. Shortly after, in 1885, Anglesea was designated a borough. The community was renamed North Wildwood in 1906 to capitalize on the tourist trade that was booming in their neighbor to the south. Within eleven years the municipality grew large enough to be designated as a city. The area's economic base is commercial with an emphasis on tourism, including hotels and boardwalk attractions (History of North Wildwood, NJ, 2022).

Significance: 202 Hereford Avenue is associated with early-twentieth-century development in North Wildwood. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 202 Hereford Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 202 Hereford Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 3305 Pleasure Avenue South

Street Address: Street #: 3305 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Pleasure Suffix: S Type: AVE

County(s): Cape May **Zip Code:** 08243

Municipality(s): Sea Isle City **Block(s):** 33.01

Local Place Name(s): N/A **Lot(s):** 5

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 3305 Pleasure Avenue South is an altered two-story cross-gabled house with vinyl siding, a wraparound porch, and a large rear addition.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

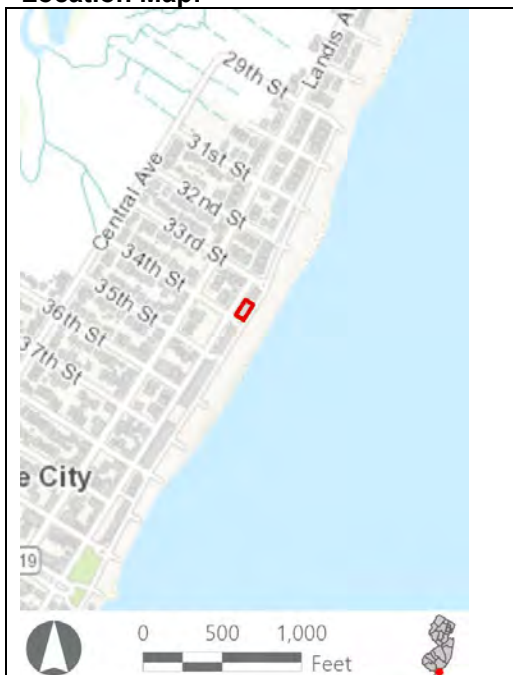


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: SeaisleNews.com. 2023. "A Looking Back at History: Sea Isle 'Borough' Grows From 1885-1900." Available at <https://seaislenews.com/a-look-back-at-history-sea-isle-borough-grows-from-1885-1900/> (Accessed February 2023).

Shore Blog. 2022. "History of Sea Isle City." Available at: <https://theshoreblog.com/history-of-sea-isle-city/> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	3305 Pleasure Avenue South		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1900	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	1
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 3305 Pleasure Avenue South is an altered two-story cross-gabled house. The massing is complex with a central gable front forward of a series of gable-on-hip forms. The façade is a single bay with paired 1/1 sash and a wraparound porch with turned supports and scroll-sawn brackets. The porch bay facing the corner is enclosed. The entire building is elevated an entire story with a flight of steps leading to the porch. The porch is supported by pilings hidden by skirting. The side elevation that faces the street is six bays with a series of projecting bays and dormers and paired or single 1/1 sash fenestration. The foundation is parged with a carport and a pedestrian entrance.

Interior Description: N/A

Setting: The building at 3305 Pleasure Avenue South is in a residential neighborhood with tennis courts and a boardwalk along the beach. Sea Isle City occupies about two-thirds of Ludlam Island. The city is connected to the mainland and the Garden State Parkway via Sea Isle Boulevard which intersects with Landis Avenue, the primary north-south arterial in the city. The rectilinear street grid extends east and west from Landis Avenue with the cross-streets bearing number designations. Pleasure Avenue and Central Avenue run parallel to Landis Avenue.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Sea Isle City is in Cape May County south of Strathmere and north of Avalon on Ludlam Island. Ludlam Island is named after Joseph Ludlam who purchased the island in 1692 and used it to stock cattle and sheep. Residents from the mainland would frequent the island to hunt and fish and enjoy other recreational activities, but no permanent establishments were created. In 1880, Charles Kline Landis, inspired by a trip to Venice, Italy, purchased the island to establish a summer beachside resort. Landis began digging waterways and canals to mimic Venice, some of which are still intact along the Intracoastal. Landis began marketing the area and it quickly became a popular place to fish. In 1882, the West Jersey and Seashore Railroad came to the area, and in 1893 a second railroad was extended to the island. The population continued to grow as more full-time residents moved to the area, and Sea Isle City soon boasted numerous houses, hotels, restaurants, stores, and churches. Sea Isle City was officially incorporated as a city in 1907. The advent of the automobile provided easier access to other areas of the island, and this in turn created a trend for more affordable hotels throughout the area (The Shore Blog, 2021; SealsleNews.com, 2023).

Significance: 3305 Pleasure Avenue South is associated with early-twentieth-century development in Sea Isle City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 3305 Pleasure Avenue South is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 3305 Pleasure Avenue South is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 12 44th Street

Street Address: Street #: 12 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 44th Suffix: N/A Type: ST

County(s): Cape May Zip Code: 08243

Municipality(s): Sea Isle City Block(s): 44.01

Local Place Name(s): N/A Lot(s): 13

Ownership: Private USGS Quad(s) Atlantic City

Description: The building at 12 44th Street is an elevated two-story cross-gambrel roof house with a half-enclosed porch and vinyl siding.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

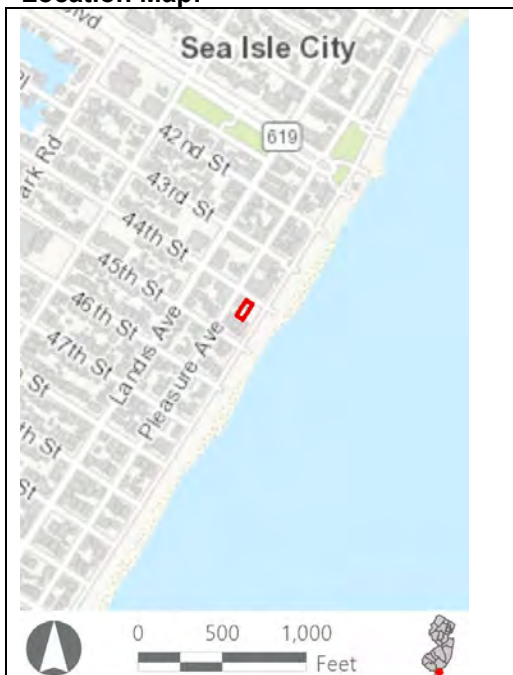


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: SeaisleNews.com. 2023. "A Looking Back at History: Sea Isle 'Borough' Grows From 1885-1900." Available at <https://seaislenews.com/a-look-back-at-history-sea-isle-borough-grows-from-1885-1900/> (Accessed February 2023).

Shore Blog. 2022. "History of Sea Isle City." Available at: <https://theshoreblog.com/history-of-sea-isle-city/> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 12 44th Street
Historic Name: N/A
Present Use: Residential Activity, Permanent
Historic Use: Residential Activity, Permanent
Construction Date: 1922 **Source:** www.njtaxrecords.net
Alteration Date(s): N/A **Source:** N/A
Designer: N/A **Physical Condition:** Fair
Builder: N/A **Remaining Historic Fabric:** Low
Style: Dutch Colonial Revival
Form: Other **Stories:** 2
Type: N/A **Bays:** 2
Roof Finish Materials: Asphalt Shingle
Exterior Finish Materials: Vinyl Siding

Exterior Description: The building at 12 44th Street is an elevated two-story cross-gambrel roof house. The building is clad in vinyl siding which extends over the basement level. The porch on the façade has a hipped roof and is half-enclosed with the primary entrance in the unenclosed right bay. The porch is reached by a flight of steps that runs parallel to the façade. Overall, the fenestration is 1/1 replacement sash either singly, in pairs, or in groups of three.

Interior Description: N/A

Setting: The building at 12 44th Street is at the edge of commercial and residential areas, across the street from a condominium and beside the beach patrol house that separates it from the boardwalk and beach. Sea Isle City occupies about two-thirds of Ludlam Island. The city is connected to the mainland and the Garden State Parkway via Sea Isle Boulevard which intersects with Landis Avenue, the primary north-south arterial in the city. The rectilinear street grid extends east and west from Landis Avenue with the cross-streets bearing number designations. Pleasure Avenue and Central Avenue run parallel to Landis Avenue.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Sea Isle City is in Cape May County south of Strathmere and north of Avalon on Ludlam Island. Ludlam Island is named after Joseph Ludlam who purchased the island in 1692 and used it to stock cattle and sheep. Residents from the mainland would frequent the island to hunt and fish and enjoy other recreational activities, but no permanent establishments were created. In 1880, Charles Kline Landis, inspired by a trip to Venice, Italy, purchased the island to establish a summer beachside resort. Landis began digging waterways and canals to mimic Venice, some of which are still intact along the Intracoastal. Landis began marketing the area and it quickly became a popular place to fish. In 1882, the West Jersey and Seashore Railroad came to the area, and in 1893 a second railroad was extended to the island. The population continued to grow as more full-time residents moved to the area, and Sea Isle City soon boasted numerous houses, hotels, restaurants, stores, and churches. Sea Isle City was officially incorporated as a city in 1907. The advent of the automobile provided easier access to other areas of the island, and this in turn created a trend for more affordable hotels throughout the area (The Shore Blog, 2021; SealsleNews.com, 2023).

Significance: 12 44th Street is associated with early-twentieth-century development in Sea Isle City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 12 44th Street is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 12 44th Street is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 20 53rd Street

Street Address: Street #: 20 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 53rd Suffix: N/A Type: ST

County(s): Cape May Zip Code: 08243

Municipality(s): Sea Isle City Block(s): 53.02

Local Place Name(s): N/A Lot(s): 11.03

Ownership: Private USGS Quad(s) Atlantic City

Description: The building at 20 53rd Street is a two-story gable front house with a fully enclosed two-story porch completely obscuring the façade.

Registration and Status Dates:

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: SeaisleNews.com. 2023. "A Looking Back at History: Sea Isle 'Borough' Grows From 1885-1900." Available at <https://seaislenews.com/a-look-back-at-history-sea-isle-borough-grows-from-1885-1900/> (Accessed February 2023).

Shore Blog. 2022. "History of Sea Isle City." Available at: <https://theshoreblog.com/history-of-sea-isle-city/> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	20 53 rd Street		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1920	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Gable Front	Stories:	2
Type:	N/A	Bays:	2
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 20 53rd Street is a two-story gable front house with a fully enclosed two-story porch completely obscuring the façade. The building is clad in vinyl siding except for the gable which is fish scale. There is a single Craftsman bracket in the gable. The roof of the porch appears to be flat or shallow hipped. The fenestration is 1/1 replacement sash singly, paired, or grouped in threes. The façade is two bays with the entrance in the left bay reached by a flight of steps that run parallel to the façade. The house appears to be resting on wood pilings but skirting obscures them. There is a two-story rear project only a bay deep.

Interior Description: N/A

Setting: The building at 20 53rd Street is in a residential neighborhood near the beachfront with a boardwalk along the shore. Sea Isle City occupies about two-thirds of Ludlam Island. The city is connected to the mainland and the Garden State Parkway via Sea Isle Boulevard which intersects with Landis Avenue, the primary north-south arterial in the city. The rectilinear street grid extends east and west from Landis Avenue with the cross-streets bearing number designations. Pleasure Avenue and Central Avenue run parallel to Landis Avenue.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Sea Isle City is in Cape May County south of Strathmere and north of Avalon on Ludlam Island. Ludlam Island is named after Joseph Ludlam who purchased the island in 1692 and used it to stock cattle and sheep. Residents from the mainland would frequent the island to hunt and fish and enjoy other recreational activities, but no permanent establishments were created. In 1880, Charles Kline Landis, inspired by a trip to Venice, Italy, purchased the island to establish a summer beachside resort. Landis began digging waterways and canals to mimic Venice, some of which are still intact along the Intracoastal. Landis began marketing the area and it quickly became a popular place to fish. In 1882, the West Jersey and Seashore Railroad came to the area, and in 1893 a second railroad was extended to the island. The population continued to grow as more full-time residents moved to the area, and Sea Isle City soon boasted numerous houses, hotels, restaurants, stores, and churches. Sea Isle City was officially incorporated as a city in 1907. The advent of the automobile provided easier access to other areas of the island, and this in turn created a trend for more affordable hotels throughout the area (The Shore Blog, 2021; SealsleNews.com, 2023).

Significance: 20 53rd Street is associated with early-twentieth-century development in Sea Isle City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 20 53rd Street is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 20 53rd Street is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 14 48th Street

Street Address: Street #: 14 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 48th Suffix: N/A Type: ST

County(s): Cape May Zip Code: 08243

Municipality(s): Sea Isle City Block(s): 48.01

Local Place Name(s): N/A Lot(s): 13

Ownership: Private USGS Quad(s) Atlantic City

Description: The building at 14 48th Street is a three-story, cross-gable house with a porch on the first story and stairs leading up to a wraparound balcony on the second story. The siding is wood shingle.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

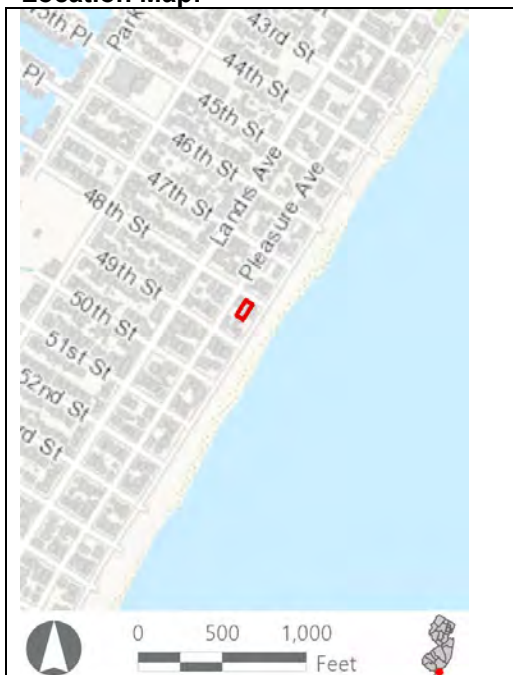


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: SeaisleNews.com. 2023. "A Looking Back at History: Sea Isle 'Borough' Grows From 1885-1900." Available at <https://seaislenews.com/a-look-back-at-history-sea-isle-borough-grows-from-1885-1900/> (Accessed February 2023).

Shore Blog. 2022. "History of Sea Isle City." Available at: <https://theshoreblog.com/history-of-sea-isle-city/> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 14 48th Street
Historic Name: N/A
Present Use: Residential activity, permanent
Historic Use: Residential activity, permanent
Construction Date: 1900 **Source:** www.njtaxrecords.net
Alteration Date(s): N/A **Source:** N/A
Designer: N/A **Physical Condition:** Good
Builder: N/A **Remaining Historic Fabric:** Low
Style: None
Form: Other **Stories:** 3
Type: N/A **Bays:** 2
Roof Finish Materials: Asphalt Shingle
Exterior Finish Materials: Wood, Shingles

Exterior Description: The building at 14 48th Street is a three-story, cross-gable house with a porch on the first story and stairs leading up to a wraparound balcony on the second story. The building appears to be a vernacular home dating to about 1900, but is heavily altered with the first story, likely the result of later elevation, a series of projecting and recessed bays with a variety of fenestration ranging from flat-arch double-hung sash to fixed segmental arch. The second-story balcony was likely originally a porch at the ground level. From the second story up the building takes a recognizable form with a two-bay by two-bay fenestration pattern with 6/6 replacement sash. The original entry is located in the right bay of the second-story façade. The wall cladding is wood shingle, and the porch is wrapped in vinyl.

Interior Description: N/A

Setting: The building at 14 48th Street is in a residential neighborhood with sidewalks and a boardwalk along the shore. Sea Isle City occupies about two-thirds of Ludlam Island. The city is connected to the mainland and the Garden State Parkway via Sea Isle Boulevard which intersects with Landis Avenue, the primary north-south arterial in the city. The rectilinear street grid extends east and west from Landis Avenue with the cross-streets bearing number designations. Pleasure Avenue and Central Avenue run parallel to Landis Avenue.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Sea Isle City is in Cape May County south of Strathmere and north of Avalon on Ludlam Island. Ludlam Island is named after Joseph Ludlam who purchased the island in 1692 and used it to stock cattle and sheep. Residents from the mainland would frequent the island to hunt and fish and enjoy other recreational activities, but no permanent establishments were created. In 1880, Charles Kline Landis, inspired by a trip to Venice, Italy, purchased the island to establish a summer beachside resort. Landis began digging waterways and canals to mimic Venice, some of which are still intact along the Intracoastal. Landis began marketing the area and it quickly became a popular place to fish. In 1882, the West Jersey and Seashore Railroad came to the area, and in 1893 a second railroad was extended to the island. The population continued to grow as more full-time residents moved to the area, and Sea Isle City soon boasted numerous houses, hotels, restaurants, stores, and churches. Sea Isle City was officially incorporated as a city in 1907. The advent of the automobile provided easier access to other areas of the island, and this in turn created a trend for more affordable hotels throughout the area (The Shore Blog, 2021; SealsleNews.com, 2023).

Significance: The building at 14 48th Street is associated with early-twentieth-century development in Sea Isle City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 14 48th Street is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 14 48th Street is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 20 51st Street

Street Address: Street #: 20 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 51st Suffix: N/A Type: ST

County(s): Cape May Zip Code: 08243

Municipality(s): Sea Isle City Block(s): 51.02

Local Place Name(s): N/A Lot(s): 11.02

Ownership: Private USGS Quad(s) Atlantic City

Description: The building at 20 51st Street is a three-story elevated foursquare, with a hipped roof, dormers, and a wraparound porch supported by CMU pillars.

Registration and Status Dates:

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

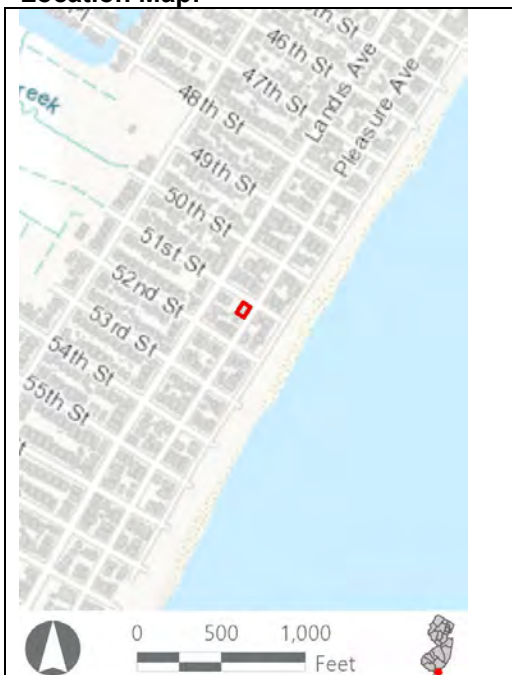
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: SeaisleNews.com. 2023. "A Looking Back at History: Sea Isle 'Borough' Grows From 1885-1900." Available at <https://seaislenews.com/a-look-back-at-history-sea-isle-borough-grows-from-1885-1900/> (Accessed February 2023).

Shore Blog. 2022. "History of Sea Isle City." Available at: <https://theshoreblog.com/history-of-sea-isle-city/> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	20 51 st Street		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1920	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Four Square	Stories:	3
Type:	N/A	Bays:	4
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Wood, Shingles		

Exterior Description: The building at 20 51st Street is a three-story elevated foursquare, with a hipped roof, dormers, and a wraparound porch supported by rusticated CMU pillars. The building has four bays on the façade and three bays on the side elevations. The fenestration is 1/1 replacement sash and the wall cladding is wood shingle. The roof dormers are hipped with the dormer on the street-facing side elevation altered with an oversized tripartite sash with the panes stacked horizontally. The sash extends below the roof eaves which was likely partially removed to accommodate the larger window. The primary entry is in the central bay of the second-story façade. The porch on the second story has a hipped roof and is supported by vinyl-wrapped square posts with a vinyl balustrade. The porch has been extended with a deck on the street-facing side elevation that then wraps around to the rear elevation. The deck is supported by wood posts instead of CMU like the porch. There is a second entry in the right bay of the façade on the first story under the porch.

Interior Description: N/A

Setting: The building at 20 51st Street is in a residential neighborhood with sidewalks located along the shoreline. Sea Isle City occupies about two-thirds of Ludlam Island. The city is connected to the mainland and the Garden State Parkway via Sea Isle Boulevard which intersects with Landis Avenue, the primary north-south arterial in the city. The rectilinear street grid extends east and west from Landis Avenue with the cross-streets bearing number designations. Pleasure Avenue and Central Avenue run parallel to Landis Avenue.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Sea Isle City is in Cape May County south of Strathmere and north of Avalon on Ludlam Island. Ludlam Island is named after Joseph Ludlam who purchased the island in 1692 and used it to stock cattle and sheep. Residents from the mainland would frequent the island to hunt and fish and enjoy other recreational activities, but no permanent establishments were created. In 1880, Charles Kline Landis, inspired by a trip to Venice, Italy, purchased the island to establish a summer beachside resort. Landis began digging waterways and canals to mimic Venice, some of which are still intact along the Intracoastal. Landis began marketing the area and it quickly became a popular place to fish. In 1882, the West Jersey and Seashore Railroad came to the area, and in 1893 a second railroad was extended to the island. The population continued to grow as more full-time residents moved to the area, and Sea Isle City soon boasted numerous houses, hotels, restaurants, stores, and churches. Sea Isle City was officially incorporated as a city in 1907. The advent of the automobile provided easier access to other areas of the island, and this in turn created a trend for more affordable hotels throughout the area (The Shore Blog, 2021; SealsleNews.com, 2023).

Significance: 20 51st Street is associated with early-twentieth-century development in Sea Isle City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 20 51st Street is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 20 51st Street is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 21 36th Street

Street Address: Street #: 21 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 36th Suffix: N/A Type: ST

County(s): Cape May Zip Code: 08243

Municipality(s): Sea Isle City Block(s): 35.02

Local Place Name(s): N/A Lot(s): 4

Ownership: Private USGS Quad(s) Atlantic City

Description: The building at 21 36th Street is a two-story, front gambrel Dutch Colonial with shed roof dormers and an enclosed porch with an outer deck.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

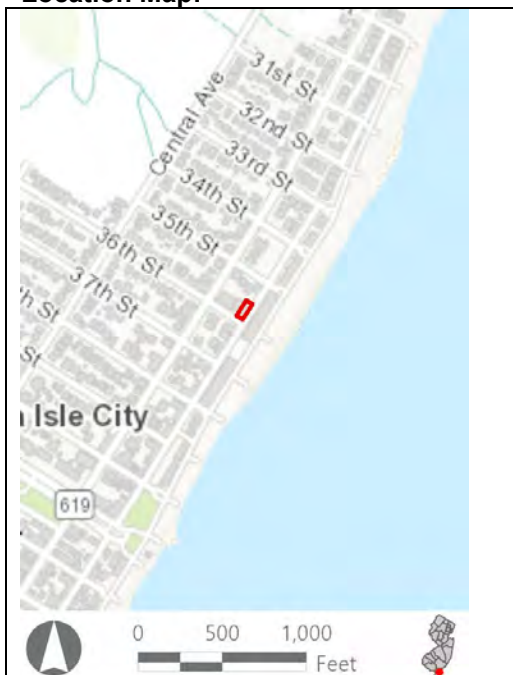


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: SeaisleNews.com. 2023. "A Looking Back at History: Sea Isle 'Borough' Grows From 1885-1900." Available at <https://seaislenews.com/a-look-back-at-history-sea-isle-borough-grows-from-1885-1900/> (Accessed February 2023).

Shore Blog. 2022. "History of Sea Isle City." Available at: <https://theshoreblog.com/history-of-sea-isle-city/> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	21 36 th Street		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1930	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Dutch Colonial Revival		
Form:	Gable Front	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 21 36th Street is a two-story, front gambrel Dutch Colonial with shed roof dormers and an enclosed porch with an outer deck. The dormers on either side of the roof feature cornice returns and together form a complete pediment setback from the gambrel front. The siding of the house is vinyl and the fenestration is 1/1 double-hung sash set in pairs on the first story and singly on the second. The façade is two bays across and the side elevations are three. The enclosed porch has a hipped roof and is three bays with the entrance in the left bay. The entry has a door with a glazed oval and is flanked by sidelights. The deck has a vinyl balustrade.

Interior Description: N/A

Setting: The building at 21 36th Street is in a residential neighborhood with sidewalks located near the shoreline. Sea Isle City occupies about two-thirds of Ludlam Island. The city is connected to the mainland and the Garden State Parkway via Sea Isle Boulevard which intersects with Landis Avenue, the primary north-south arterial in the city. The rectilinear street grid extends east and west from Landis Avenue with the cross-streets bearing number designations. Pleasure Avenue and Central Avenue run parallel to Landis Avenue.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Sea Isle City is in Cape May County south of Strathmere and north of Avalon on Ludlam Island. Ludlam Island is named after Joseph Ludlam who purchased the island in 1692 and used it to stock cattle and sheep. Residents from the mainland would frequent the island to hunt, fish, and enjoy other recreational activities, but no permanent establishments were created. In 1880, Charles Kline Landis, inspired by a trip to Venice, Italy, purchased the island to establish a summer beachside resort. Landis began digging waterways and canals to mimic Venice, some of which are still intact along the Intracoastal. Landis began marketing the area and it quickly became a popular place to fish. In 1882, the West Jersey and Seashore Railroad came to the area, and in 1893 a second railroad was extended to the island. The population continued to grow as more full-time residents moved to the area, and Sea Isle City soon boasted numerous houses, hotels, restaurants, stores, and churches. Sea Isle City was officially incorporated as a city in 1907. The advent of the automobile provided easier access to other areas of the island, creating a trend for more affordable hotels throughout the area (The Shore Blog, 2021; SealsleNews.com, 2023).

Significance: 21 36th Street is associated with early-twentieth-century development in Sea Isle City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 21 36th Street is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 21 36th Street is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BASE FORM

Historic Sites #:

Property Name: 4606 Pleasure Avenue

Street Address: Street #: 4606 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Pleasure Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08243

Municipality(s): Sea Isle City **Block(s):** 46.02

Local Place Name(s): N/A **Lot(s):** 11.01

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 4606 Pleasure Avenue is an elevated two-story gable front house with a split in the angle of the roof, vinyl siding, and shed roof porch.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

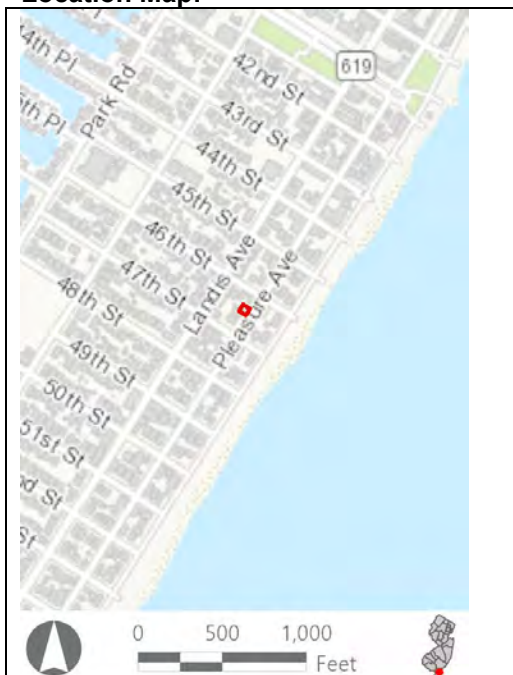
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: SeaisleNews.com. 2023. "A Looking Back at History: Sea Isle 'Borough' Grows From 1885-1900." Available at <https://seaislenews.com/a-look-back-at-history-sea-isle-borough-grows-from-1885-1900/> (Accessed February 2023).

Shore Blog. 2022. "History of Sea Isle City." Available at: <https://theshoreblog.com/history-of-sea-isle-city/> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 4606 Pleasure Avenue
Historic Name: N/A
Present Use: Residential activity, permanent
Historic Use: Residential activity, permanent
Construction Date: 1900 **Source:** www.njtaxrecords.net
Alteration Date(s): N/A **Source:** N/A
Designer: N/A **Physical Condition:** Good
Builder: N/A **Remaining Historic Fabric:** Low
Style: None
Form: Gable Front **Stories:** 2
Type: N/A **Bays:** 2
Roof Finish Materials: Unknown
Exterior Finish Materials: Vinyl Siding

Exterior Description: The building at 4606 Pleasure Avenue is an elevated two-story gable front house with a split in the angle of the roof. The exterior cladding is vinyl siding that extends over the basement to grade. The building has two bays on the façade and a single bay on the public-facing side elevation. The fenestration is 1/1 replacement sash. The shed roof porch is elevated well above grade and is reached by a flight of steps. The porch has turned supports and a synthetic turned balustrade. The foundation of the porch is enclosed with paneling.

Interior Description: N/A

Setting: The building at 4606 Pleasure Avenue is in a residential neighborhood with sidewalks located near the shoreline. Sea Isle City occupies about two-thirds of Ludlam Island. The city is connected to the mainland and the Garden State Parkway via Sea Isle Boulevard which intersects with Landis Avenue, the primary north-south arterial in the city. The rectilinear street grid extends east and west from Landis Avenue with the cross-streets bearing number designations. Pleasure Avenue and Central Avenue run parallel to Landis Avenue.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Sea Isle City is in Cape May County south of Strathmere and north of Avalon on Ludlam Island. Ludlam Island is named after Joseph Ludlam who purchased the island in 1692 and used it to stock cattle and sheep. Residents from the mainland would frequent the island to hunt, fish, and enjoy other recreational activities, but no permanent establishments were created. In 1880, Charles Kline Landis, inspired by a trip to Venice, Italy, purchased the island to establish a summer beachside resort. Landis began digging waterways and canals to mimic Venice, some of which are still intact along the Intracoastal. Landis began marketing the area and it quickly became a popular place to fish. In 1882, the West Jersey and Seashore Railroad came to the area, and in 1893 a second railroad was extended to the island. The population continued to grow as more full-time residents moved to the area, and Sea Isle City soon boasted numerous houses, hotels, restaurants, stores, and churches. Sea Isle City was officially incorporated as a city in 1907. The advent of the automobile provided easier access to other areas of the island, creating a trend for more affordable hotels throughout the area (The Shore Blog, 2021; SeaIsleNews.com, 2023).

Significance: 4606 Pleasure Avenue is associated with early-twentieth-century development in Sea Isle City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 4606 Pleasure Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 4606 Pleasure Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 4 84th Street

Street Address: Street #: 4 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 84th Suffix: N/A Type: ST

County(s): Cape May **Zip Code:** 08243

Municipality(s): Sea Isle City **Block(s):** 85.01

Local Place Name(s): N/A **Lot(s):** 33

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 4 84th Street is a three-and-four-story circa 1978 residence with wood shingle siding and a first-story carport.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

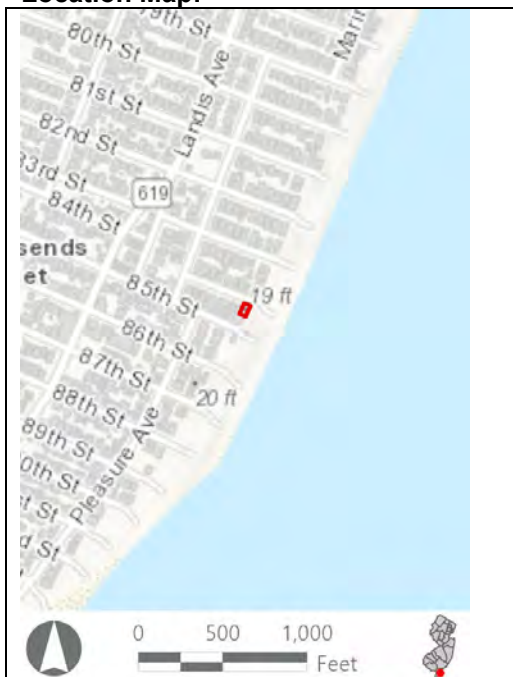
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: SeaisleNews.com. 2023. "A Looking Back at History: Sea Isle 'Borough' Grows From 1885-1900." Available at <https://seaislenews.com/a-look-back-at-history-sea-isle-borough-grows-from-1885-1900/> (Accessed February 2023).

Shore Blog. 2022. "History of Sea Isle City." Available at: <https://theshoreblog.com/history-of-sea-isle-city/> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	4 84 th Street		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1978	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	4
Type:	N/A	Bays:	2
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Wood, Shingles		

Exterior Description: The building at 4 84th Street is a three-and-four-story circa 1978 residence with wood shingle siding and a first-story carport. The building has cubic massing with three bays on the façade and one bay on the street-facing side elevation. The fenestration is square fixed sash in a ribbon of three or a group of six stacked three over three. The roof is flat with the left two bays on the façade stepped back on the third story for a balcony. The left bay of the second-story façade is inset and forms a balcony reached by a flight of stairs parallel to the façade.

Interior Description: N/A

Setting: The building at 4 84th Street is in a residential neighborhood with sidewalks located right along the shore. The house has direct beach access. Sea Isle City occupies about two-thirds of Ludlam Island. The city is connected to the mainland and the Garden State Parkway via Sea Isle Boulevard which intersects with Landis Avenue, the primary north-south arterial in the city. The rectilinear street grid extends east and west from Landis Avenue with the cross-streets bearing number designations. Pleasure Avenue and Central Avenue run parallel to Landis Avenue.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Sea Isle City is in Cape May County south of Strathmere and north of Avalon on Ludlam Island. Ludlam Island is named after Joseph Ludlam who purchased the island in 1692 and used it to stock cattle and sheep. Residents from the mainland would frequent the island to hunt, fish, and enjoy other recreational activities, but no permanent establishments were created. In 1880, Charles Kline Landis, inspired by a trip to Venice, Italy, purchased the island to establish a summer beachside resort. Landis began digging waterways and canals to mimic Venice, some of which are still intact along the Intracoastal. Landis began marketing the area and it quickly became a popular place to fish. In 1882, the West Jersey and Seashore Railroad came to the area, and in 1893 a second railroad was extended to the island. The population continued to grow as more full-time residents moved to the area, and Sea Isle City soon boasted numerous houses, hotels, restaurants, stores, and churches. Sea Isle City was officially incorporated as a city in 1907. The advent of the automobile provided easier access to other areas of the island, creating a trend for more affordable hotels throughout the area (The Shore Blog, 2021; SealsleNews.com, 2023).

Significance: 4 84th Street is associated with late-twentieth-century development in Sea Isle City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 4 84th Street is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 4 84th Street is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

ELIGIBILITY WORKSHEET

Historic Sites #:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BASE FORM

Historic Sites #:

Property Name: 7401 Pleasure Avenue

Street Address: Street #: 7401 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Pleasure Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08243

Municipality(s): Sea Isle City **Block(s):** 74.01

Local Place Name(s): N/A **Lot(s):** 671.02

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 7401 Pleasure Avenue is a one-story circa 1958 ranch. It has a stone exterior in the front and aluminum on the side elevations.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

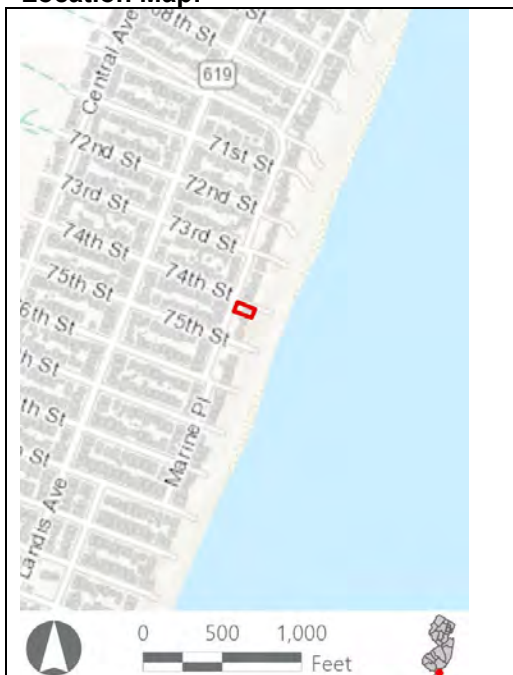


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: SeaisleNews.com. 2023. "A Looking Back at History: Sea Isle 'Borough' Grows From 1885-1900." Available at <https://seaislenews.com/a-look-back-at-history-sea-isle-borough-grows-from-1885-1900/> (Accessed February 2023).

Shore Blog. 2022. "History of Sea Isle City." Available at: <https://theshoreblog.com/history-of-sea-isle-city/> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 7401 Pleasure Avenue
Historic Name: N/A
Present Use: Residential activity, permanent
Historic Use: Residential activity, permanent
Construction Date: 1958 **Source:** njtaxrecords.net
Alteration Date(s): N/A **Source:** N/A
Designer: N/A **Physical Condition:** Good
Builder: N/A **Remaining Historic Fabric:** Low
Style: None
Form: Ranch **Stories:** 1
Type: N/A **Bays:** 2
Roof Finish Materials: Asphalt Shingle
Exterior Finish Materials Stone

Exterior Description: The building at 7401 Pleasure Avenue is a one-story circa 1958 ranch. It has a stone exterior in the front and aluminum on the side elevations. While vegetation obscures much of the building, the façade appears to be three bays with a carport in the left bay and a gabled entry projection in the right bay. The entry bay has a corner inset with the door on the side and a wrought iron support. The windows are obscured by fabric awnings.

Interior Description: N/A

Setting: The building at 7401 Pleasure Avenue is in a residential neighborhood with sidewalks located right along the shore. The house has direct beach access. Sea Isle City occupies about two-thirds of Ludlam Island. The city is connected to the mainland and the Garden State Parkway via Sea Isle Boulevard which intersects with Landis Avenue, the primary north-south arterial in the city. The rectilinear street grid extends east and west from Landis Avenue with the cross-streets bearing number designations. Pleasure Avenue and Central Avenue run parallel to Landis Avenue.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Sea Isle City is in Cape May County south of Strathmere and north of Avalon on Ludlam Island. Ludlam Island is named after Joseph Ludlam who purchased the island in 1692 and used it to stock cattle and sheep. Residents from the mainland would frequent the island to hunt, fish, and enjoy other recreational activities, but no permanent establishments were created. In 1880, Charles Kline Landis, inspired by a trip to Venice, Italy, purchased the island to establish a summer beachside resort. Landis began digging waterways and canals to mimic Venice, some of which are still intact along the Intracoastal. Landis began marketing the area and it quickly became a popular place to fish. In 1882, the West Jersey and Seashore Railroad came to the area, and in 1893 a second railroad was extended to the island. The population continued to grow as more full-time residents moved to the area, and Sea Isle City soon boasted numerous houses, hotels, restaurants, stores, and churches. Sea Isle City was officially incorporated as a city in 1907. The advent of the automobile provided easier access to other areas of the island, creating a trend for more affordable hotels throughout the area (The Shore Blog, 2021; SealsleNews.com, 2023).

Significance: 7401 Pleasure Avenue is associated with mid-twentieth-century development in Sea Isle City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 7401 Pleasure Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 7401 Pleasure Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 7407 Pleasure Avenue

Street Address: Street #: 7407 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Pleasure Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08243

Municipality(s): Sea Isle City **Block(s):** 74.01

Local Place Name(s): N/A **Lot(s):** 670

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 7407 Pleasure Avenue is a heavily altered ca. 1958 two-story front gable dwelling.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

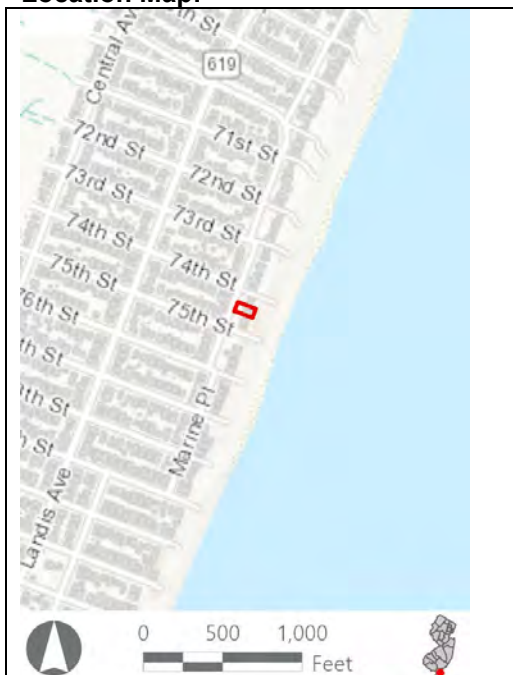


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: SeaisleNews.com. 2023. "A Looking Back at History: Sea Isle 'Borough' Grows From 1885-1900." Available at <https://seaislenews.com/a-look-back-at-history-sea-isle-borough-grows-from-1885-1900/> (Accessed February 2023).

Shore Blog. 2022. "History of Sea Isle City." Available at: <https://theshoreblog.com/history-of-sea-isle-city/> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	7407 Pleasure Avenue		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1958	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Gable Front	Stories:	2
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 7407 Pleasure Avenue is a heavily altered ca. 1958 two-story front gable dwelling. The main block is two bays on the façade with the primary entrance in the left bay and an oriel window in the right bay. The residence has vinyl siding and 1/1 replacement windows. A large full-width porch is attached to the northwest (front) elevation. The porch has an oversized gable roof that extends to the window pier on the second story and is supported by square columns. There is a two-story front gable addition on the southwest (side) elevation with a carport and secondary entrance. A large brick chimney rises from the roof of the addition.

Interior Description: N/A

Setting: The resource is in a residential neighborhood area with sidewalks located along the shore. Sea Isle City occupies about two-thirds of Ludlam Island. The city is connected to the mainland and the Garden State Parkway via Sea Isle Boulevard which intersects with Landis Avenue, the primary north-south arterial in the city. The rectilinear street grid extends east and west from Landis Avenue with the cross-streets bearing number designations. Pleasure Avenue and Central Avenue run parallel to Landis Avenue.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Sea Isle City is in Cape May County south of Strathmere and north of Avalon on Ludlam Island. Ludlam Island is named after Joseph Ludlam who purchased the island in 1692 and used it to stock cattle and sheep. Residents from the mainland would frequent the island to hunt, fish, and enjoy other recreational activities, but no permanent establishments were created. In 1880, Charles Kline Landis, inspired by a trip to Venice, Italy, purchased the island to establish a summer beachside resort. Landis began digging waterways and canals to mimic Venice, some of which are still intact along the Intracoastal. Landis began marketing the area and it quickly became a popular place to fish. In 1882, the West Jersey and Seashore Railroad came to the area, and in 1893 a second railroad was extended to the island. The population continued to grow as more full-time residents moved to the area, and Sea Isle City soon boasted numerous houses, hotels, restaurants, stores, and churches. Sea Isle City was officially incorporated as a city in 1907. The advent of the automobile provided easier access to other areas of the island, creating a trend for more affordable hotels throughout the area (The Shore Blog, 2021; SealsleNews.com, 2023).

Significance: 7407 Pleasure Avenue is associated with mid-twentieth-century development in Sea Isle City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 7407 Pleasure Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 7407 Pleasure Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 7201 Pleasure Avenue

Street Address: Street #: 7201 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Pleasure Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08243

Municipality(s): Sea Isle City **Block(s):** 72.01

Local Place Name(s): N/A **Lot(s):** 2.02

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 7201 Pleasure Avenue is a three-story circa 1970 residence located on the beach. The dwelling is a rectangular box with a rear two-story projection with a shed roof and a carport.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

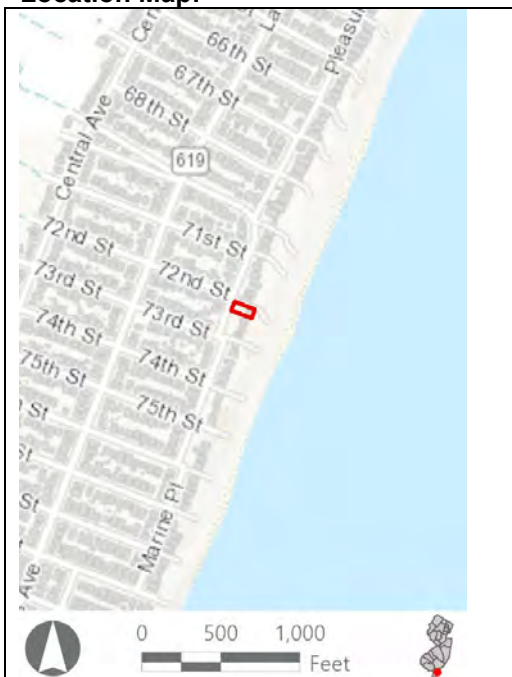


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: SeaisleNews.com. 2023. "A Looking Back at History: Sea Isle 'Borough' Grows From 1885-1900." Available at <https://seaislenews.com/a-look-back-at-history-sea-isle-borough-grows-from-1885-1900/> (Accessed February 2023).

Shore Blog. 2022. "History of Sea Isle City." Available at: <https://theshoreblog.com/history-of-sea-isle-city/> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	7201 Pleasure Avenue		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1970	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	3
Type:	N/A	Bays:	4
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 7201 Pleasure Avenue is a three-story circa 1970 residence located on the beach. The dwelling is a rectangular box with a rear two-story projection with a shed roof and a carport. The first story is parged masonry while the upper stories are clad in vinyl siding. The façade has an inset on the left bay of the second story with a deck. The dunes obscure the first story at this elevation. A wooden open-air staircase on the facade provides access to a rooftop deck. The fenestration on the façade is near continuous across the upper stories with a variety of 1/1 and large fixed sash interspaced with pedestrian doors and patios doors.

Interior Description: N/A

Setting: The resource is in a residential neighborhood area with sidewalks, located right along the shore, with direct beach access. Sea Isle City occupies about two-thirds of Ludlam Island. The city is connected to the mainland and the Garden State Parkway via Sea Isle Boulevard which intersects with Landis Avenue, the primary north-south arterial in the city. The rectilinear street grid extends east and west from Landis Avenue with the cross-streets bearing number designations. Pleasure Avenue and Central Avenue run parallel to Landis Avenue.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Sea Isle City is in Cape May County south of Strathmere and north of Avalon on Ludlam Island. Ludlam Island is named after Joseph Ludlam who purchased the island in 1692 and used it to stock cattle and sheep. Residents from the mainland would frequent the island to hunt, fish, and enjoy other recreational activities, but no permanent establishments were created. In 1880, Charles Kline Landis, inspired by a trip to Venice, Italy, purchased the island to establish a summer beachside resort. Landis began digging waterways and canals to mimic Venice, some of which are still intact along the Intracoastal. Landis began marketing the area and it quickly became a popular place to fish. In 1882, the West Jersey and Seashore Railroad came to the area, and in 1893 a second railroad was extended to the island. The population continued to grow as more full-time residents moved to the area, and Sea Isle City soon boasted numerous houses, hotels, restaurants, stores, and churches. Sea Isle City was officially incorporated as a city in 1907. The advent of the automobile provided easier access to other areas of the island, creating a trend for more affordable hotels throughout the area (The Shore Blog, 2021; SeaIsleNews.com, 2023).

Significance: 7201 Pleasure Avenue is associated with late-twentieth-century development in Sea Isle City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 7201 Pleasure Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 7201 Pleasure Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 20 50th Street

Street Address: Street #: 20 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 50th Suffix: N/A Type: ST

County(s): Cape May **Zip Code:** 08243

Municipality(s): Sea Isle City **Block(s):** 50.02

Local Place Name(s): N/A **Lot(s):** 11

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 20 50th Street is a three-story circa 1965 side gabled residence. The house is two bays on the façade with the left bay two stories and the right bay extending an additional story giving the façade an asymmetrical appearance.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

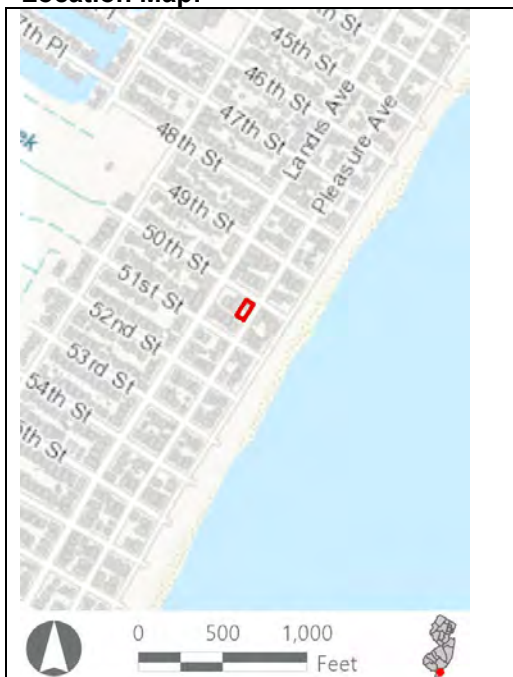


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: SeaisleNews.com. 2023. "A Looking Back at History: Sea Isle 'Borough' Grows From 1885-1900." Available at <https://seaislenews.com/a-look-back-at-history-sea-isle-borough-grows-from-1885-1900/> (Accessed February 2023).

Shore Blog. 2022. "History of Sea Isle City." Available at: <https://theshoreblog.com/history-of-sea-isle-city/> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 20 50th Street
Historic Name: N/A
Present Use: Residential activity, permanent
Historic Use: Residential activity, permanent
Construction Date: 1965 **Source:** njtaxrecords.net
Alteration Date(s): N/A **Source:** N/A
Designer: N/A **Physical Condition:** Good
Builder: N/A **Remaining Historic Fabric:** Low
Style: None
Form: Other **Stories:** 3
Type: N/A **Bays:** 2
Roof Finish Materials: Asphalt Shingle
Exterior Finish Materials Wood, Clapboard

Exterior Description: The building at 20 50th Street is a three-story circa 1965 side gabled residence. The house is two bays on the façade with the left bay two stories and the right bay extending an additional story giving the façade an asymmetrical appearance. There is a full-width porch with a rooftop deck on the façade. The third story has a balcony supported by wood posts that rise from the deck below. There is a one-story enclosed porch with a shed roof on the street-facing side elevation. Overall, the building is clad in unpainted clapboard. The fenestration is largely 1/1 replacement sash and there are multiple patio doors providing deck and balcony access.

Interior Description: N/A

Setting: The resource is in a residential neighborhood with sidewalks located along the shore. The house has direct beach access. Sea Isle City occupies about two-thirds of Ludlam Island. The city is connected to the mainland and the Garden State Parkway via Sea Isle Boulevard which intersects with Landis Avenue, the primary north-south arterial in the city. The rectilinear street grid extends east and west from Landis Avenue with the cross-streets bearing number designations. Pleasure Avenue and Central Avenue run parallel to Landis Avenue.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Sea Isle City is in Cape May County south of Strathmere and north of Avalon on Ludlam Island. Ludlam Island is named after Joseph Ludlam who purchased the island in 1692 and used it to stock cattle and sheep. Residents from the mainland would frequent the island to hunt, fish, and enjoy other recreational activities, but no permanent establishments were created. In 1880, Charles Kline Landis, inspired by a trip to Venice, Italy, purchased the island to establish a summer beachside resort. Landis began digging waterways and canals to mimic Venice, some of which are still intact along the Intracoastal. Landis began marketing the area and it quickly became a popular place to fish. In 1882, the West Jersey and Seashore Railroad came to the area, and in 1893 a second railroad was extended to the island. The population continued to grow as more full-time residents moved to the area, and Sea Isle City soon boasted numerous houses, hotels, restaurants, stores, and churches. Sea Isle City was officially incorporated as a city in 1907. The advent of the automobile provided easier access to other areas of the island, creating a trend for more affordable hotels throughout the area (The Shore Blog, 2021; SeaIsleNews.com, 2023).

Significance: 20 50th Street is associated with mid-twentieth-century development in Sea Isle City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 20 50th Street is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 20 50th Street is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: Beach View Terrace

Street Address: Street #: 3901 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Pleasure Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08243

Municipality(s): Sea Isle City **Block(s):** 39.01

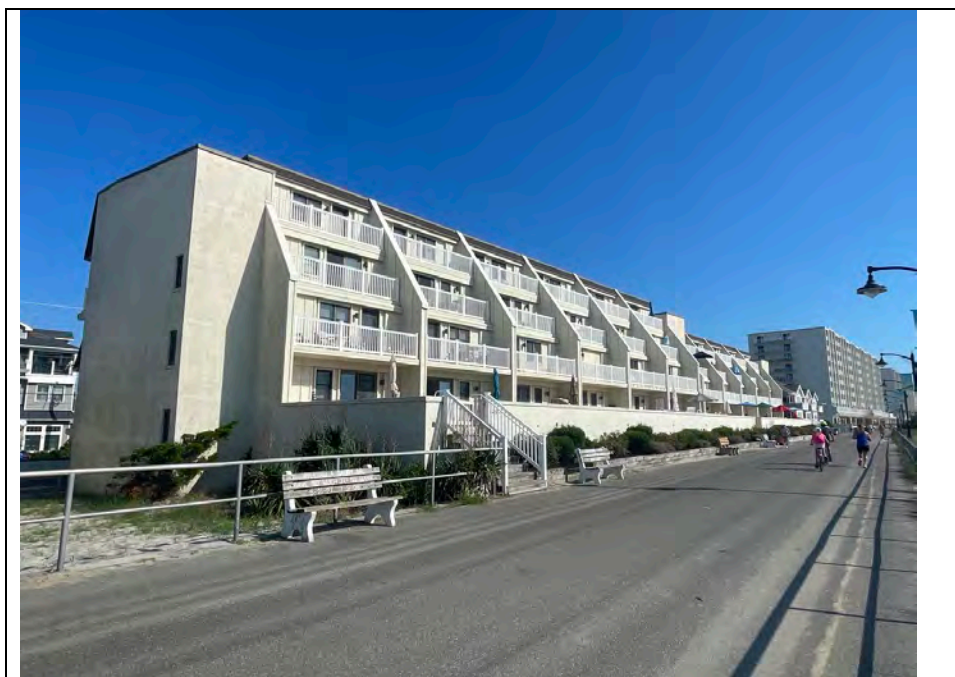
Local Place Name(s): N/A **Lot(s):** 5.02 C-208

Ownership: Private **USGS Quad(s)** Atlantic City

Description: Beach View Terrace is a four-story, circa 1982 condominium with a concrete exterior, a hipped-to-mansard roof, and balconies on each story of the beach-facing elevation.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

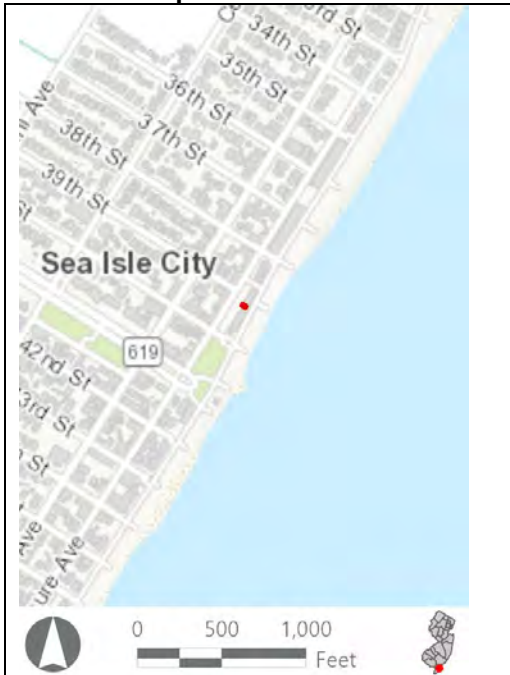


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: SeaisleNews.com. 2023. "A Looking Back at History: Sea Isle 'Borough' Grows From 1885-1900." Available at <https://seaislenews.com/a-look-back-at-history-sea-isle-borough-grows-from-1885-1900/> (Accessed February 2023).

Shore Blog. 2022. "History of Sea Isle City." Available at: <https://theshoreblog.com/history-of-sea-isle-city/> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>Beach View Terrace</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential activity, permanent</u>		
Historic Use:	<u>Residential activity, permanent</u>		
Construction Date:	<u>1982</u>	Source:	<u>njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Apartment</u>	Stories:	<u>4</u>
Type:	<u>N/A</u>	Bays:	<u>11</u>
Roof Finish Materials:	<u>Unknown</u>		
Exterior Finish Materials	<u>Concrete</u>		

Exterior Description: Beach View Terrace is a four-story, circa 1982 condominium with a concrete exterior, a hipped-to-mansard roof, and balconies on each story of the beach-facing elevation. The building is composed of two sections with a triangular footprint, each with six bays on the façade. One section is set back from the other. The bays are divided by concrete piers that angle out from the façade and form the walls of the balcony for each unit. The first story has a walled patio instead of a balcony. The side elevations have a single bay of fenestration but are otherwise presented as a blank wall. Additional balconies appear on the rear elevation overlooking the parking lot.

Interior Description: N/A

Setting: The resource is in a residential neighborhood with sidewalks located along the shore, and with direct beach access. Sea Isle City occupies about two-thirds of Ludlam Island. The city is connected to the mainland and the Garden State Parkway via Sea Isle Boulevard which intersects with Landis Avenue, the primary north-south arterial in the city. The rectilinear street grid extends east and west from Landis Avenue with the cross-streets bearing number designations. Pleasure Avenue and Central Avenue run parallel to Landis Avenue.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Sea Isle City is in Cape May County south of Strathmere and north of Avalon on Ludlam Island. Ludlam Island is named after Joseph Ludlam who purchased the island in 1692 and used it to stock cattle and sheep. Residents from the mainland would frequent the island to hunt, fish, and enjoy other recreational activities, but no permanent establishments were created. In 1880, Charles Kline Landis, inspired by a trip to Venice, Italy, purchased the island to establish a summer beachside resort. Landis began digging waterways and canals to mimic Venice, some of which are still intact along the Intracoastal. Landis began marketing the area and it quickly became a popular place to fish. In 1882, the West Jersey and Seashore Railroad came to the area, and in 1893 a second railroad was extended to the island. The population continued to grow as more full-time residents moved to the area, and Sea Isle City soon boasted numerous houses, hotels, restaurants, stores, and churches. Sea Isle City was officially incorporated as a city in 1907. The advent of the automobile provided easier access to other areas of the island, creating a trend for more affordable hotels throughout the area (The Shore Blog, 2021; SeaIsleNews.com, 2023).

Significance: Beach View Terrace is associated with late-twentieth-century development in Sea Isle City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, Beach View Terrace is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, Beach View Terrace is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &
Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 12 52nd Street

Street Address: Street #: 12 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 52nd Suffix: N/A Type: ST

County(s): Cape May Zip Code: 08243

Municipality(s): Sea Isle City Block(s): 52.01

Local Place Name(s): N/A Lot(s): 14 C-3

Ownership: Private USGS Quad(s) Atlantic City

Description: The building at 12 52nd Street is a two-story circa 1972 residence with a second-story balcony.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

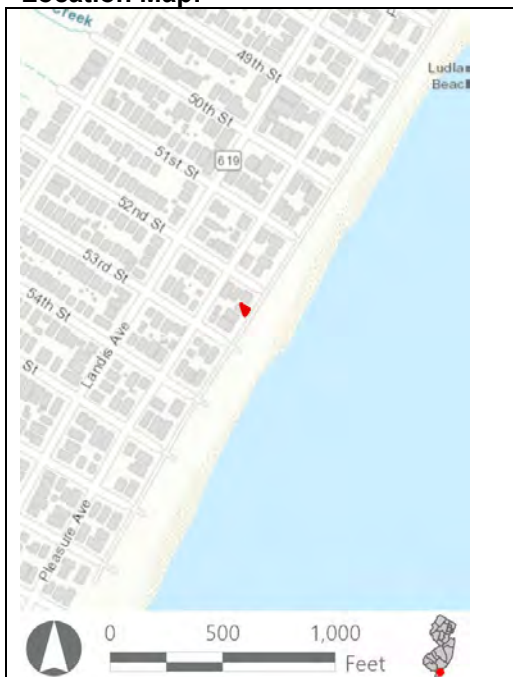


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: SeaisleNews.com. 2023. "A Looking Back at History: Sea Isle 'Borough' Grows From 1885-1900." Available at <https://seaislenews.com/a-look-back-at-history-sea-isle-borough-grows-from-1885-1900/> (Accessed February 2023).

Shore Blog. 2022. "History of Sea Isle City." Available at: <https://theshoreblog.com/history-of-sea-isle-city/> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 12 52nd Street
Historic Name: N/A
Present Use: Residential activity, permanent
Historic Use: Residential activity, permanent
Construction Date: 1972 **Source:** njtaxrecords.net
Alteration Date(s): N/A **Source:** N/A
Designer: N/A **Physical Condition:** Good
Builder: N/A **Remaining Historic Fabric:** Low
Style: None
Form: Other **Stories:** 2
Type: N/A **Bays:** 2
Roof Finish Materials: Asphalt Shingle
Exterior Finish Materials: Vinyl Siding

Exterior Description: The building at 12 52nd Street is a two-story circa 1972 residence with a second-story balcony. The building is constructed on a side-gabled plan with a saltbox roof extending over the balcony. The exterior cladding is vinyl siding. The façade is two bays with patio doors in each bay on both stories.

Interior Description: N/A

Setting: The resource is in a residential neighborhood with sidewalks located along the shore, and with direct beach and boardwalk access. Sea Isle City occupies about two-thirds of Ludlam Island. The city is connected to the mainland and the Garden State Parkway via Sea Isle Boulevard which intersects with Landis Avenue, the primary north-south arterial in the city. The rectilinear street grid extends east and west from Landis Avenue with the cross-streets bearing number designations. Pleasure Avenue and Central Avenue run parallel to Landis Avenue.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Sea Isle City is in Cape May County south of Strathmere and north of Avalon on Ludlam Island. Ludlam Island is named after Joseph Ludlam who purchased the island in 1692 and used it to stock cattle and sheep. Residents from the mainland would frequent the island to hunt, fish, and enjoy other recreational activities, but no permanent establishments were created. In 1880, Charles Kline Landis, inspired by a trip to Venice, Italy, purchased the island to establish a summer beachside resort. Landis began digging waterways and canals to mimic Venice, some of which are still intact along the Intracoastal. Landis began marketing the area and it quickly became a popular place to fish. In 1882, the West Jersey and Seashore Railroad came to the area, and in 1893 a second railroad was extended to the island. The population continued to grow as more full-time residents moved to the area, and Sea Isle City soon boasted numerous houses, hotels, restaurants, stores, and churches. Sea Isle City was officially incorporated as a city in 1907. The advent of the automobile provided easier access to other areas of the island, creating a trend for more affordable hotels throughout the area (The Shore Blog, 2021; SealsleNews.com, 2023).

Significance: 12 52nd Street is associated with late-twentieth-century development in Sea Isle City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 12 52nd Street is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 12 52nd Street is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 819 Boardwalk Center

Street Address: Street #: 819 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Boardwalk Center Suffix: N/A Type: N/A

County(s): Ocean **Zip Code:** 08751

Municipality(s): Seaside Heights Borough **Block(s):** 33.03

Local Place Name(s): N/A **Lot(s):** 2

Ownership: Private **USGS Quad(s)** Seaside Park

Description: The building at 819 Boardwalk Center is a one-story, circa-1960 boardwalk arcade with multiple glass storefront bays, capped by a flat roof with crenellations, and clad in stucco. The resource is in a boardwalk recreation area.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

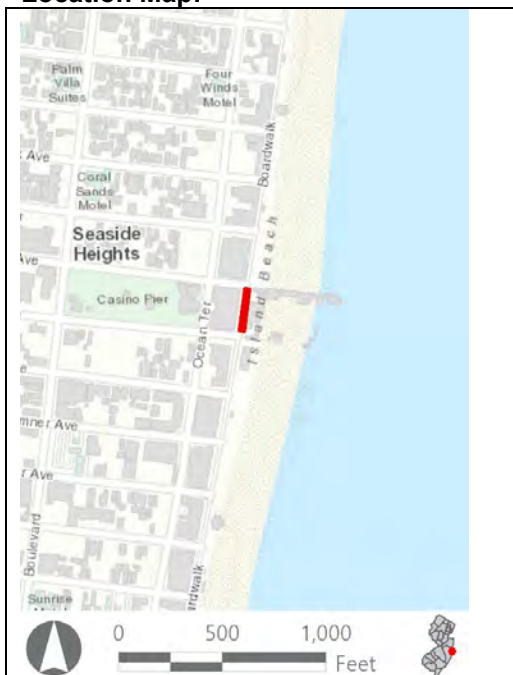


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

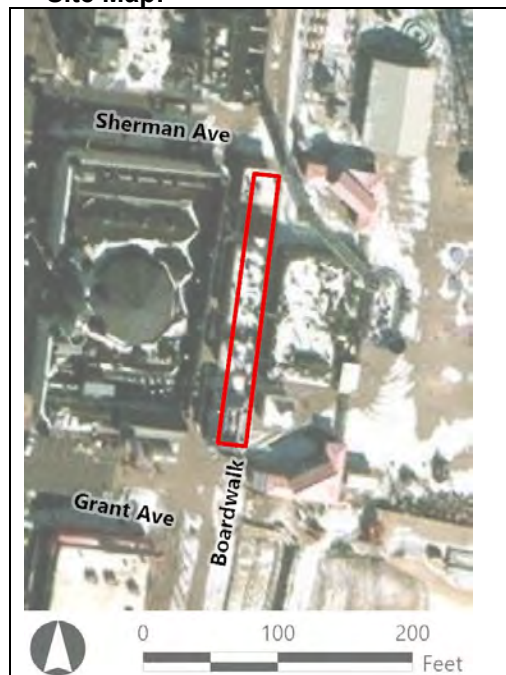
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Discover Seaside Heights. 2011a. All Aboard. Available at <https://www.discoverseasideheights.com/history/all-aboard> (Accessed January 2023).
Discover Seaside Heights. 2011b. Boardwalk History. Available at <http://www.discoverseasideheights.com/history/boardwalk-history> (Accessed January 2023).
Discover Seaside Heights. 2011c. The Tom's River Bridge. Available at <http://www.discoverseasideheights.com/history/toms-river-bridge> (Accessed January 2023).
Vaz, Christopher J. 2010. Postcard History Series: Seaside Heights. Arcadia Publishing, Charleston, SC, Chicago, IL, Portsmouth, NH, and San Francisco, CA. Available at <https://books.google.com/books?id=4yvGtRQm28sC&lpg=PA6&ots=ICjaLBzduD&dq=seaside%20heights&lr&pg=PA4#v=onepage&q&f=false> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	819 Boardwalk Center		
Historic Name:	N/A		
Present Use:	Commercial activity, shopping		
Historic Use:	Commercial activity, shopping		
Construction Date:	1960	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Commercial	Stories:	1
Type:	N/A	Bays:	6
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Stucco		

Exterior Description: The building at 819 Boardwalk Center is a one-story arcade occupying a long, narrow block along the boardwalk. The east elevation features multiple glass storefronts across the full width of the building set beneath a metal marquee that curves at the corners. The storefronts consist of full-height display windows and glass sliding doors separated by wide metal muntins. Each storefront is separated by a narrow pier. Five additional storefronts are located on the south elevation. The west elevation facing Ocean Terrace features oblique recessed entrances of glass double doors and rectangular transoms at each corner, a central entrance featuring hexagonal glass display kiosks with historicist medieval detailing and spires, and symmetrical pairs of similarly designed towers flanking a storefront entrance reached by a staircase. Turrets are located at all except the northeast corner of the building. The building terminates with a crenellated parapet on three sides and a flat parapet on one.

Interior Description: N/A

Setting: The building at 819 Boardwalk Center is surrounded by other businesses along the Seaside Heights boardwalk. Historic aerial imagery shows that the current road grid in Seaside Heights was almost entirely in place by 1920 except for the northern extent of the borough, and the entire borough was completely built out by 1956. Much of the original amusement park, including the original carousel, was destroyed in a fire in 1955 (Discover Seaside Heights, 2011a, 2011b, and 2011c). More recently, much of the boardwalk was damaged by Hurricane Sandy in 2012 and was repaired over the next year. Today, Seaside Heights remains a popular tourist destination, attracting many thousands of visitors each year with its well-known boardwalk and beachside attractions.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Seaside Heights is a borough in Ocean County, New Jersey, located on the Barnegat Peninsula. The area remained a relatively undeveloped fishing community until the twentieth century when it was developed into a booming tourist destination. In 1881, the Philadelphia and Long Branch Railroad connected from the mainland to Seaside Park and went north through present-day Seaside Heights, then called North Seaside Park. The railroad was used for the burgeoning tourism industry in the area, as well as for exporting fish and importing lumber and coal. In 1909, the Manhasset Realty Company sparked rapid development of the area when they purchased tracts of land in present-day Seaside Heights to develop a beachfront resort. They quickly built roads, infrastructure, homes, and hotels in the area, hosting train trips to attract visitors and potential buyers of beachfront vacation homes. In 1915, the Tom's River Bridge opened to automobile traffic from the mainland into Seaside Heights. That same year, the Dupont Avenue Carousel was constructed on a pier in Seaside Heights, which was then followed by a boardwalk completed in 1921 (Vaz, 2010; Discover, 2011a; Discover, 2011c; Discover, 2011b).

Significance: 819 Boardwalk Center is associated with entertainment and recreation in Seaside Heights. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 819 Boardwalk Center is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 819 Boardwalk Center is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 1103 Ocean Terrace

Street Address: Street #: 1103 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Suffix: N/A Type: TER

County(s): Ocean **Zip Code:** 08751

Municipality(s): Seaside Heights Borough **Block(s):** 59

Local Place Name(s): N/A **Lot(s):** 8

Ownership: Private **USGS Quad(s)** Seaside Park

Description: The building at 1103 Ocean Terrace is a one-story, circa-1950, boardwalk commercial building featuring open storefront bays and a wide, vinyl-sided cornice exhibiting signage.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

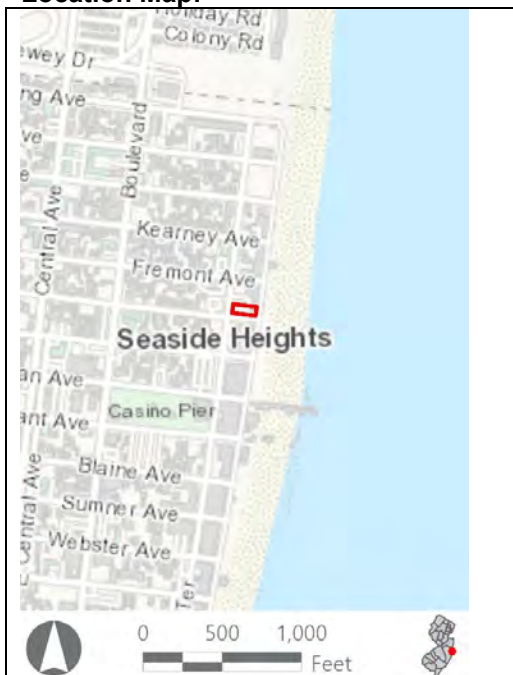


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Discover Seaside Heights. 2011a. All Aboard. Available at <https://www.discoverseasideheights.com/history/all-aboard> (Accessed January 2023).
Discover Seaside Heights. 2011b. Boardwalk History. Available at <http://www.discoverseasideheights.com/history/boardwalk-history> (Accessed January 2023).
Discover Seaside Heights. 2011c. The Tom's River Bridge. Available at <http://www.discoverseasideheights.com/history/toms-river-bridge> (Accessed January 2023).
Vaz, Christopher J. 2010. Postcard History Series: Seaside Heights. Arcadia Publishing, Charleston, SC, Chicago, IL, Portsmouth, NH, and San Francisco, CA. Available at <https://books.google.com/books?id=4yvGtRQm28sC&lpg=PA6&ots=ICjaLBzduD&dq=seaside%20heights&lr&pg=PA4#v=onepage&q&f=false> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	1103 Ocean Terrace		
Historic Name:	N/A		
Present Use:	Commercial activity, shopping		
Historic Use:	Commercial activity, shopping		
Construction Date:	1950	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Commercial	Stories:	1
Type:	N/A	Bays:	3
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 1103 Ocean Terrace is a one-story concrete block commercial building. The building features open storefront bays and a wide, vinyl-clad cornice on the east and south elevations. The west elevation consists of a concrete block wall with two doors in simple surrounds and five, small, asymmetrical in-filled windows with concrete sills. The building shares a wall with its neighbor to the north. There is a flat cornice at this elevation topped by a flat roof with a metal railing.

Interior Description: N/A

Setting: The building at 1103 Ocean Terrace is surrounded by other businesses along the Seaside Heights boardwalk. Historic aerial imagery shows that the current road grid in Seaside Heights was almost entirely in place by 1920 except for the northern extent of the borough, and the entire borough was completely built out by 1956. Much of the original amusement park, including the original carousel, was destroyed in a fire in 1955 (Discover Seaside Heights, 2011a, 2011b, and 2011c). More recently, much of the boardwalk was damaged by Hurricane Sandy in 2012 and was repaired over the next year. Today, Seaside Heights remains a popular tourist destination, attracting many thousands of visitors each year with its well-known boardwalk and beachside attractions.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Seaside Heights is a borough in Ocean County, New Jersey, located on the Barnegat Peninsula. The area remained a relatively undeveloped fishing community until the twentieth century when it was developed into a booming tourist destination. In 1881, the Philadelphia and Long Branch Railroad connected from the mainland to Seaside Park and went north through present-day Seaside Heights, then called North Seaside Park. The railroad was used for the burgeoning tourism industry in the area, as well as for exporting fish and importing lumber and coal. In 1909, the Manhasset Realty Company sparked rapid development of the area when they purchased tracts of land in present-day Seaside Heights to develop a beachfront resort. They quickly built roads, infrastructure, homes, and hotels in the area, hosting train trips to attract visitors and potential buyers of beachfront vacation homes. In 1915, the Tom's River Bridge opened to automobile traffic from the mainland into Seaside Heights. That same year, the Dupont Avenue Carousel was constructed on a pier in Seaside Heights, which was then followed by a boardwalk completed in 1921 (Vaz, 2010; Discover, 2011a; Discover, 2011c; Discover, 2011b).

Significance: 1103 Ocean Terrace is associated with entertainment and recreation in Seaside Heights. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1103 Ocean Terrace is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 1103 Ocean Terrace is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BASE FORM

Historic Sites #:

Property Name: 1005-07 Ocean Terrance

Street Address: Street #: 1005 1007 Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Suffix: N/A Type: TER

County(s): Ocean **Zip Code:** 08751

Municipality(s): Seaside Heights Borough **Block(s):** 60

Local Place Name(s): N/A **Lot(s):** 7

Ownership: Private **USGS Quad(s)** Seaside Park

Description: The building at 1005-07 Ocean Terrance is a one-story, circa 1950, boardwalk commercial building with a cornice featuring prominent signage.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Discover Seaside Heights. 2011a. All Aboard. Available at <https://www.discoverseasideheights.com/history/all-aboard> (Accessed January 2023).
Discover Seaside Heights. 2011b. Boardwalk History. Available at <http://www.discoverseasideheights.com/history/boardwalk-history> (Accessed January 2023).
Discover Seaside Heights. 2011c. The Tom's River Bridge. Available at <http://www.discoverseasideheights.com/history/toms-river-bridge> (Accessed January 2023).
Vaz, Christopher J. 2010. Postcard History Series: Seaside Heights. Arcadia Publishing, Charleston, SC, Chicago, IL, Portsmouth, NH, and San Francisco, CA. Available at <https://books.google.com/books?id=4yvGtRQm28sC&lpg=PA6&ots=ICjaLBzduD&dq=seaside%20heights&lr&pg=PA4#v=onepage&q&f=false> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	1005-07 Ocean Terrance		
Historic Name:	N/A		
Present Use:	Commercial Activity, Shopping		
Historic Use:	Commercial Activity, Shopping		
Construction Date:	1950	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Commercial	Stories:	1
Type:	N/A	Bays:	3
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Stucco		

Exterior Description: The building at 1005-07 Ocean Terrance is a one-story concrete block commercial building. The building shares its north and south walls with neighboring buildings. The east elevation features three open storefront bays and a vinyl cornice. The building terminates with a flat roof.

Interior Description: N/A

Setting: The building at 1005-07 Ocean Terrance is surrounded by other businesses along the Seaside Heights boardwalk. Historic aerial imagery shows that the current road grid in Seaside Heights was almost entirely in place by 1920 except for the northern extent of the borough, and the entire borough was completely built out by 1956. Much of the original amusement park, including the original carousel, was destroyed in a fire in 1955 (Discover Seaside Heights, 2011a, 2011b, and 2011c). More recently, much of the boardwalk was damaged by Hurricane Sandy in 2012 and was repaired over the next year. Today, Seaside Heights remains a popular tourist destination, attracting many thousands of visitors each year with its well-known boardwalk and beachside attractions.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Seaside Heights is a borough in Ocean County, New Jersey, located on the Barnegat Peninsula. The area remained a relatively undeveloped fishing community until the twentieth century when it was developed into a booming tourist destination. In 1881, the Philadelphia and Long Branch Railroad connected from the mainland to Seaside Park and went north through present-day Seaside Heights, then called North Seaside Park. The railroad was used for the burgeoning tourism industry in the area, as well as for exporting fish and importing lumber and coal. In 1909, the Manhasset Realty Company sparked rapid development of the area when they purchased tracts of land in present-day Seaside Heights to develop a beachfront resort. They quickly built roads, infrastructure, homes, and hotels in the area, hosting train trips to attract visitors and potential buyers of beachfront vacation homes. In 1915, the Tom's River Bridge opened to automobile traffic from the mainland into Seaside Heights. That same year, the Dupont Avenue Carousel was constructed on a pier in Seaside Heights, which was then followed by a boardwalk completed in 1921 (Vaz, 2010; Discover, 2011a; Discover, 2011c; Discover, 2011b).

Significance: 1005-07 Ocean Terrance is associated with entertainment and recreation in Seaside Heights. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1005-07 Ocean Terrance is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 1005-07 Ocean Terrance is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: Midway Steakhouse

Street Address: Street #: 405 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Boardwalk Suffix: N/A Type: N/A

County(s): Ocean **Zip Code:** 08751

Municipality(s): Seaside Heights Borough **Block(s):** 6.02

Local Place Name(s): N/A **Lot(s):** 1.02

Ownership: Private **USGS Quad(s)** Seaside Park

Description: The Midway Steakhouse is a one-story, circa 1940 boardwalk commercial building with a hip roof displaying prominent signage, and open commercial bays.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

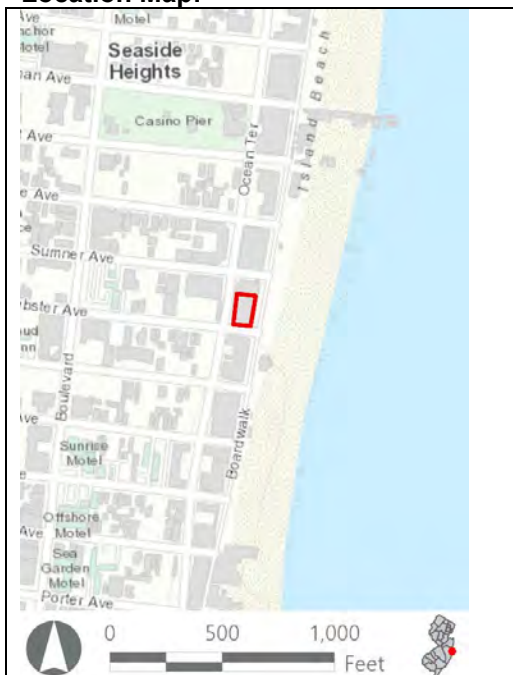


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Discover Seaside Heights. 2011a. All Aboard. Available at <https://www.discoverseasideheights.com/history/all-aboard> (Accessed January 2023).
Discover Seaside Heights. 2011b. Boardwalk History. Available at <http://www.discoverseasideheights.com/history/boardwalk-history> (Accessed January 2023).
Discover Seaside Heights. 2011c. The Tom's River Bridge. Available at <http://www.discoverseasideheights.com/history/toms-river-bridge> (Accessed January 2023).
Vaz, Christopher J. 2010. Postcard History Series: Seaside Heights. Arcadia Publishing, Charleston, SC, Chicago, IL, Portsmouth, NH, and San Francisco, CA. Available at <https://books.google.com/books?id=4yvGtRQm28sC&lpg=PA6&ots=ICjaLBzduD&dq=seaside%20heights&lr&pg=PA4#v=onepage&q&f=false> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>Midway Steakhouse</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Commercial activity, eating, drinking</u>		
Historic Use:	<u>Commercial activity, eating, drinking</u>		
Construction Date:	<u>1940</u>	Source:	<u>www.njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Fair</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Commercial</u>	Stories:	<u>1</u>
Type:	<u>N/A</u>	Bays:	<u>2</u>
Roof Finish Materials:	<u>Unknown</u>		
Exterior Finish Materials	<u>Unknown</u>		

Exterior Description: The property at 405 Boardwalk (Midway Steakhouse) is a one-story, free-standing building. The building features two wide open storefront bays on the east and west elevations and single bays on the north and south elevations. Bays are separated by flat narrow divisions. The building is topped with a hipped roof, clad in metal sheeting, and has wide eaves and a flat cornice. The roof is adorned by curved modular signage at each cornice, two ventilation units, and a rotating metal sign at the ridge line.

Interior Description: N/A

Setting: The Midway Steakhouse is surrounded by other businesses along the Seaside Heights boardwalk. Historic aerial imagery shows that the current road grid in Seaside Heights was almost entirely in place by 1920 except for the northern extent of the borough, and the entire borough was completely built out by 1956. Much of the original amusement park, including the original carousel, was destroyed in a fire in 1955 (Discover Seaside Heights, 2011a, 2011b, and 2011c). More recently, much of the boardwalk was damaged by Hurricane Sandy in 2012 and was repaired over the next year. Today, Seaside Heights remains a popular tourist destination, attracting many thousands of visitors each year with its well-known boardwalk and beachside attractions.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Seaside Heights is a borough in Ocean County, New Jersey, located on the Barnegat Peninsula. The area remained a relatively undeveloped fishing community until the twentieth century when it was developed into a booming tourist destination. In 1881, the Philadelphia and Long Branch Railroad connected from the mainland to Seaside Park and went north through present-day Seaside Heights, then called North Seaside Park. The railroad was used for the burgeoning tourism industry in the area, as well as for exporting fish and importing lumber and coal. In 1909, the Manhasset Realty Company sparked rapid development of the area when they purchased tracts of land in present-day Seaside Heights to develop a beachfront resort. They quickly built roads, infrastructure, homes, and hotels in the area, hosting train trips to attract visitors and potential buyers of beachfront vacation homes. In 1915, the Tom's River Bridge opened to automobile traffic from the mainland into Seaside Heights. That same year, the Dupont Avenue Carousel was constructed on a pier in Seaside Heights, which was then followed by a boardwalk completed in 1921 (Vaz, 2010; Discover, 2011a; Discover, 2011c; Discover, 2011b).

Significance: 405 Boardwalk (Midway Steakhouse) is associated with entertainment and recreation in Seaside Heights. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, Midway Steakhouse is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, Midway Steakhouse is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 1107 Ocean Terrace

Street Address: Street #: 1107 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Suffix: N/A Type: TER

County(s): Ocean **Zip Code:** 08751

Municipality(s): Seaside Heights Borough **Block(s):** 59

Local Place Name(s): N/A **Lot(s):** 5

Ownership: Private **USGS Quad(s)** Seaside Park

Description: The building at 1107 Ocean Terrace is a one-story, circa 1960 boardwalk commercial building with a flat roof, plate glass storefronts, and a vinyl-sided cornice featuring signage.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

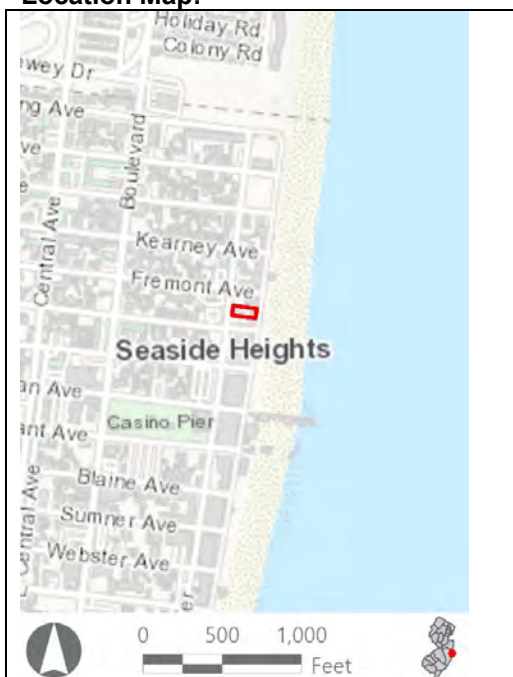


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

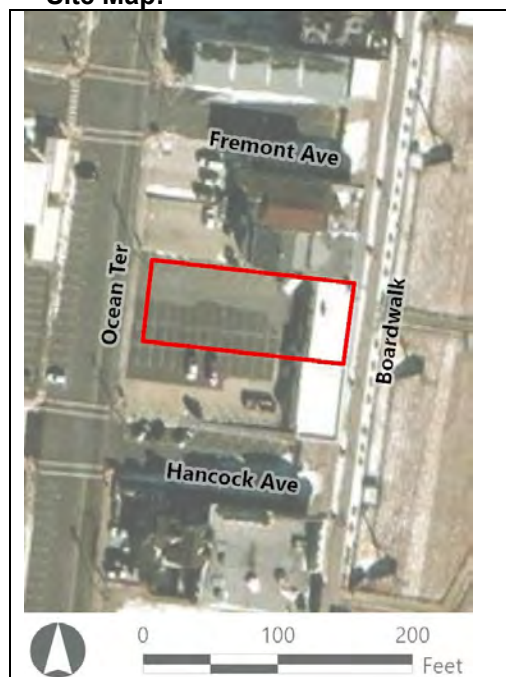
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Discover Seaside Heights. 2011a. All Aboard. Available at <https://www.discoverseasideheights.com/history/all-aboard> (Accessed January 2023).
Discover Seaside Heights. 2011b. Boardwalk History. Available at <http://www.discoverseasideheights.com/history/boardwalk-history> (Accessed January 2023).
Discover Seaside Heights. 2011c. The Tom's River Bridge. Available at <http://www.discoverseasideheights.com/history/toms-river-bridge> (Accessed January 2023).
Vaz, Christopher J. 2010. Postcard History Series: Seaside Heights. Arcadia Publishing, Charleston, SC, Chicago, IL, Portsmouth, NH, and San Francisco, CA. Available at <https://books.google.com/books?id=4yvGtRQm28sC&lpg=PA6&ots=ICjaLBzduD&dq=seaside%20heights&lr&pg=PA4#v=onepage&q&f=false> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	1107 Ocean Terrace		
Historic Name:	N/A		
Present Use:	Commercial activity, shopping		
Historic Use:	Commercial activity, shopping		
Construction Date:	1960	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Commercial	Stories:	1
Type:	N/A	Bays:	4
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 1107 Ocean Terrace is a one-story concrete block commercial building. The building shares its north and south walls with neighboring buildings. The west elevation features four open storefront bays and a wide vinyl-clad cornice. The building terminates with a flat roof.

Interior Description: N/A

Setting: The building at 1107 Ocean Terrace is surrounded by other businesses along the Seaside Heights boardwalk. Historic aerial imagery shows that the current road grid in Seaside Heights was almost entirely in place by 1920 except for the northern extent of the borough, and the entire borough was completely built out by 1956. Much of the original amusement park, including the original carousel, was destroyed in a fire in 1955 (Discover Seaside Heights, 2011a, 2011b, and 2011c). More recently, much of the boardwalk was damaged by Hurricane Sandy in 2012 and was repaired over the next year. Today, Seaside Heights remains a popular tourist destination, attracting many thousands of visitors each year with its well-known boardwalk and beachside attractions.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Seaside Heights is a borough in Ocean County, New Jersey, located on the Barnegat Peninsula. The area remained a relatively undeveloped fishing community until the twentieth century when it was developed into a booming tourist destination. In 1881, the Philadelphia and Long Branch Railroad connected from the mainland to Seaside Park and went north through present-day Seaside Heights, then called North Seaside Park. The railroad was used for the burgeoning tourism industry in the area, as well as for exporting fish and importing lumber and coal. In 1909, the Manhasset Realty Company sparked rapid development of the area when they purchased tracts of land in present-day Seaside Heights to develop a beachfront resort. They quickly built roads, infrastructure, homes, and hotels in the area, hosting train trips to attract visitors and potential buyers of beachfront vacation homes. In 1915, the Tom's River Bridge opened to automobile traffic from the mainland into Seaside Heights. That same year, the Dupont Avenue Carousel was constructed on a pier in Seaside Heights, which was then followed by a boardwalk completed in 1921 (Vaz, 2010; Discover, 2011a; Discover, 2011c; Discover, 2011b).

Significance: 1107 Ocean Terrace is associated with entertainment and recreation in Seaside Heights. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1107 Ocean Terrace is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 1107 Ocean Terrace is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

Date: February 24,
2023

BASE FORM

Historic Sites #:

Property Name: TLC's Polish Water Ice

Street Address: Street #: 201 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Suffix: N/A Type: TER

County(s): Ocean **Zip Code:** 08751

Municipality(s): Seaside Heights Borough **Block(s):** 3.02

Local Place Name(s): N/A **Lot(s):** 7

Ownership: Private **USGS Quad(s)** Seaside Park

Description: TLC's Polish Water Ice is a one-story circa 1920 commercial boardwalk building capped by a flat roof, clad in stucco, and featuring plate glass storefront windows.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

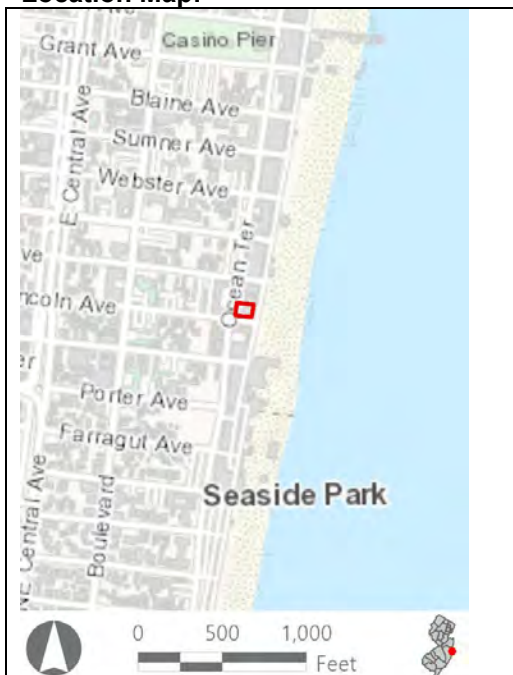


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

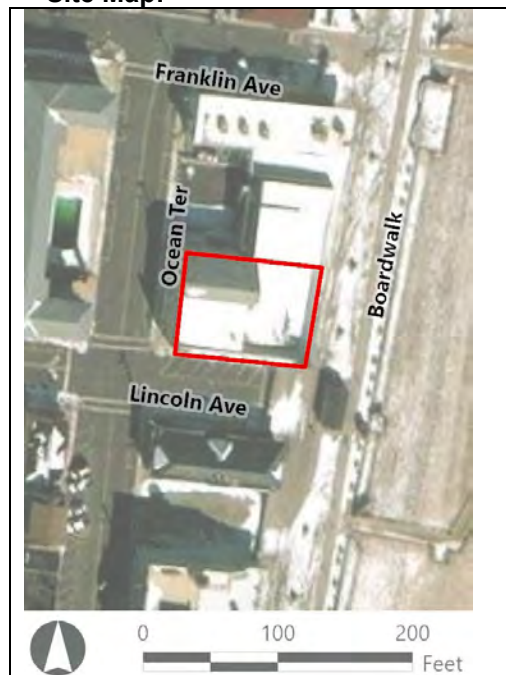
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Discover Seaside Heights. 2011a. All Aboard. Available at <https://www.discoverseasideheights.com/history/all-aboard> (Accessed January 2023).
Discover Seaside Heights. 2011b. Boardwalk History. Available at <http://www.discoverseasideheights.com/history/boardwalk-history> (Accessed January 2023).
Discover Seaside Heights. 2011c. The Tom's River Bridge. Available at <http://www.discoverseasideheights.com/history/toms-river-bridge> (Accessed January 2023).
Vaz, Christopher J. 2010. Postcard History Series: Seaside Heights. Arcadia Publishing, Charleston, SC, Chicago, IL, Portsmouth, NH, and San Francisco, CA. Available at <https://books.google.com/books?id=4yvGtRQm28sC&lpg=PA6&ots=ICjaLBzduD&dq=seaside%20heights&lr&pg=PA4#v=onepage&q&f=false> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: TLC's Polish Water Ice

Historic Name: N/A

Present Use: Commercial activity, eating, drinking

Historic Use: Commercial activity, eating, drinking

Construction Date: 1940 **Source:** www.njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Fair

Builder: N/A **Remaining Historic Fabric:** Low

Style: None

Form: Commercial **Stories:** 1

Type: N/A **Bays:** 2

Roof Finish Materials: Unknown

Exterior Finish Materials Stucco

Exterior Description: The property at 201 Ocean Terrace (TLC's Polish Water Ice) is a one-story commercial boardwalk building. The east elevation features two open storefront bays. The south elevation features four open storefront bays and a glass double-door entrance at the west corner. The storefronts on both elevations are covered by a pent roof clad in asphalt shingles, metal and vinyl awnings, and a wide stucco cornice. The west elevation is double in height due to the lower street-level grade. It features flat unadorned stucco walls, two small sliding-sash vinyl windows, a tripartite fixed display window, and three recessed entrances. The roof line features a gable that has been engaged with the flat roof of the building. A triple-arched parapet decorates the southwest corner of the building. The north wall is featureless and partially shared by the neighboring building.

Interior Description: N/A

Setting: TLC's Polish Water Ice is surrounded by other businesses along the Seaside Heights boardwalk. Historic aerial imagery shows that the current road grid in Seaside Heights was almost entirely in place by 1920 except for the northern extent of the borough, and the entire borough was completely built out by 1956. Much of the original amusement park, including the original carousel, was destroyed in a fire in 1955 (Discover Seaside Heights, 2011a, 2011b, and 2011c). More recently, much of the boardwalk was damaged by Hurricane Sandy in 2012 and was repaired over the next year. Today, Seaside Heights remains a popular tourist destination, attracting many thousands of visitors each year with its well-known boardwalk and beachside attractions.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Seaside Heights is a borough in Ocean County, New Jersey, located on the Barnegat Peninsula. The area remained a relatively undeveloped fishing community until the twentieth century when it was developed into a booming tourist destination. In 1881, the Philadelphia and Long Branch Railroad connected from the mainland to Seaside Park and went north through present-day Seaside Heights, then called North Seaside Park. The railroad was used for the burgeoning tourism industry in the area, as well as for exporting fish and importing lumber and coal. In 1909, the Manhasset Realty Company sparked rapid development of the area when they purchased tracts of land in present-day Seaside Heights to develop a beachfront resort. They quickly built roads, infrastructure, homes, and hotels in the area, hosting train trips to attract visitors and potential buyers of beachfront vacation homes. In 1915, the Tom's River Bridge opened to automobile traffic from the mainland into Seaside Heights. That same year, the Dupont Avenue Carousel was constructed on a pier in Seaside Heights, which was then followed by a boardwalk completed in 1921 (Vaz, 2010; Discover, 2011a; Discover, 2011c; Discover, 2011b).

Significance: 201 Ocean Terrace (TLC's Polish Water Ice) is associated with entertainment and recreation in Seaside Heights. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, TLC's Polish Water Ice is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, TLC's Polish Water Ice is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BASE FORM

Historic Sites #:

Property Name: EJ's Tap House

Street Address: Street #: 919 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Suffix: N/A Type: TER

County(s): Ocean **Zip Code:** 08751

Municipality(s): Seaside Heights Borough **Block(s):** 61

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Seaside Park

Description: EJ's Tap House is a one-story circa 1970 commercial boardwalk building with a flat roof. It is clad in stucco with plate glass windows and a clipped corner entrance sheltered by a large overhanging eave.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

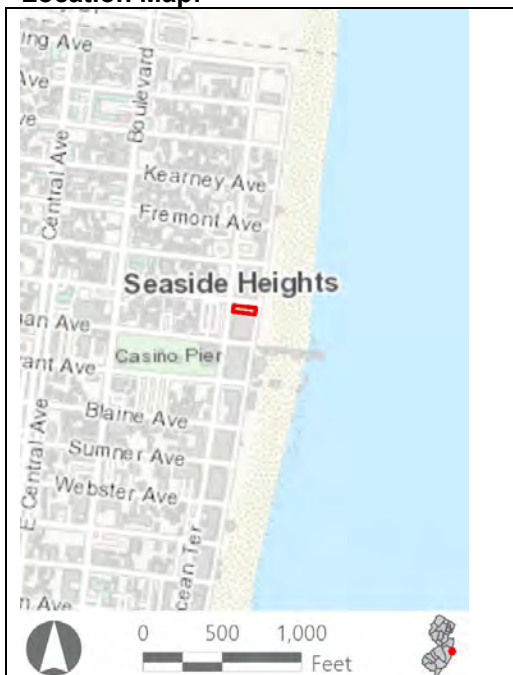


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Discover Seaside Heights. 2011a. All Aboard. Available at <https://www.discoverseasideheights.com/history/all-aboard> (Accessed January 2023).
Discover Seaside Heights. 2011b. Boardwalk History. Available at <http://www.discoverseasideheights.com/history/boardwalk-history> (Accessed January 2023).
Discover Seaside Heights. 2011c. The Tom's River Bridge. Available at <http://www.discoverseasideheights.com/history/toms-river-bridge> (Accessed January 2023).
Vaz, Christopher J. 2010. Postcard History Series: Seaside Heights. Arcadia Publishing, Charleston, SC, Chicago, IL, Portsmouth, NH, and San Francisco, CA. Available at <https://books.google.com/books?id=4yvGtRQm28sC&lpg=PA6&ots=ICjaLBzduD&dq=seaside%20heights&lr&pg=PA4#v=onepage&q&f=false> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>EJ's Tap House</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Commercial Activity, Eating, Drinking</u>		
Historic Use:	<u>Commercial Activity, Eating, Drinking</u>		
Construction Date:	<u>1970</u>	Source:	<u>Njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Commercial</u>	Stories:	<u>1</u>
Type:	<u>N/A</u>	Bays:	<u>23</u>
Roof Finish Materials:	<u>Unknown</u>		
Exterior Finish Materials	<u>Glass</u>		

Exterior Description: The property at 919 Ocean Terrace (EJ's Tap House) is a one-story commercial boardwalk building. The building features a long, continuous storefront consisting of large, fixed display windows, metal kickplates, and a clipped corner entrance flanked by rounded concrete pillars. The storefront portion is sheltered by a wide overhanging cornice. The northwest corner is clad in stucco and features a deeply recessed parking area below grade. The south wall is shared with the neighboring building.

Interior Description: N/A

Setting: EJ's Tap House is surrounded by other businesses along the Seaside Heights boardwalk. Historic aerial imagery shows that the current road grid in Seaside Heights was almost entirely in place by 1920 except for the northern extent of the borough, and the entire borough was completely built out by 1956. Much of the original amusement park, including the original carousel, was destroyed in a fire in 1955 (Discover Seaside Heights, 2011a, 2011b, and 2011c). More recently, much of the boardwalk was damaged by Hurricane Sandy in 2012 and was repaired over the next year. Today, Seaside Heights remains a popular tourist destination, attracting many thousands of visitors each year with its well-known boardwalk and beachside attractions.

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Seaside Heights is a borough in Ocean County, New Jersey, located on the Barnegat Peninsula. The area remained a relatively undeveloped fishing community until the twentieth century when it was developed into a booming tourist destination. In 1881, the Philadelphia and Long Branch Railroad connected from the mainland to Seaside Park and went north through present-day Seaside Heights, then called North Seaside Park. The railroad was used for the burgeoning tourism industry in the area, as well as for exporting fish and importing lumber and coal. In 1909, the Manhasset Realty Company sparked rapid development of the area when they purchased tracts of land in present-day Seaside Heights to develop a beachfront resort. They quickly built roads, infrastructure, homes, and hotels in the area, hosting train trips to attract visitors and potential buyers of beachfront vacation homes. In 1915, the Tom's River Bridge opened to automobile traffic from the mainland into Seaside Heights. That same year, the Dupont Avenue Carousel was constructed on a pier in Seaside Heights, which was then followed by a boardwalk completed in 1921 (Vaz, 2010; Discover, 2011a; Discover, 2011c; Discover, 2011b).

Significance: 919 Ocean Terrace (EJ's Tap House) is associated with entertainment and recreation in Seaside Heights. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, EJ's Tap House is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, EJ's Tap House is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 211 Ocean Terrace

Street Address: Street #: 211 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Suffix: N/A Type: TER

County(s): Ocean **Zip Code:** 08751

Municipality(s): Seaside Heights Borough **Block(s):** 3.02

Local Place Name(s): N/A **Lot(s):** 5

Ownership: Private **USGS Quad(s)** Seaside Park

Description: The building at 211 Ocean Terrace is a one-story circa 1920 commercial boardwalk building, with a flat roof. The building is clad in stucco.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

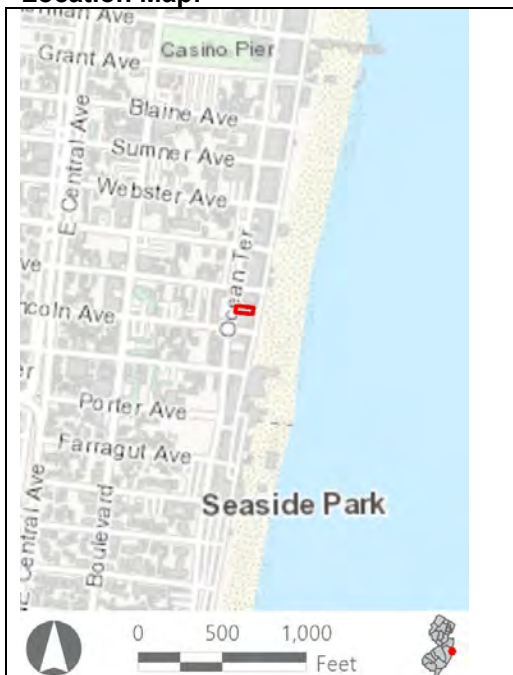


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Discover Seaside Heights. 2011a. All Aboard. Available at <https://www.discoverseasideheights.com/history/all-aboard> (Accessed January 2023).
Discover Seaside Heights. 2011b. Boardwalk History. Available at <http://www.discoverseasideheights.com/history/boardwalk-history> (Accessed January 2023).
Discover Seaside Heights. 2011c. The Tom's River Bridge. Available at <http://www.discoverseasideheights.com/history/toms-river-bridge> (Accessed January 2023).
Vaz, Christopher J. 2010. Postcard History Series: Seaside Heights. Arcadia Publishing, Charleston, SC, Chicago, IL, Portsmouth, NH, and San Francisco, CA. Available at <https://books.google.com/books?id=4yvGtRQm28sC&lpg=PA6&ots=ICjaLBzduD&dq=seaside%20heights&lr&pg=PA4#v=onepage&q&f=false> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 211 Ocean Terrace

Historic Name: N/A

Present Use: Commercial activity, shopping

Historic Use: Commercial activity, shopping

Construction Date: 1920 **Source:** www.njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Fair

Builder: N/A **Remaining Historic Fabric:** Low

Style: None

Form: Commercial **Stories:** 1

Type: N/A **Bays:** 1

Roof Finish Materials: Unknown

Exterior Finish Materials: Stucco

Exterior Description: The property at 211 Ocean Terrace is a one-story commercial boardwalk building. It is engaged on three sides with neighboring buildings. The east elevation features a single open storefront, covered by a semicircular metal awning. The building is clad in stucco.

Interior Description: N/A

Setting: The building at 211 Ocean Terrace is surrounded by other businesses along the Seaside Heights boardwalk. Historic aerial imagery shows that the current road grid in Seaside Heights was almost entirely in place by 1920 except for the northern extent of the borough, and the entire borough was completely built out by 1956. Much of the original amusement park, including the original carousel, was destroyed in a fire in 1955 (Discover Seaside Heights, 2011a, 2011b, and 2011c). More recently, much of the boardwalk was damaged by Hurricane Sandy in 2012 and was repaired over the next year. Today, Seaside Heights remains a popular tourist destination, attracting many thousands of visitors each year with its well-known boardwalk and beachside attractions.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Seaside Heights is a borough in Ocean County, New Jersey, located on the Barnegat Peninsula. The area remained a relatively undeveloped fishing community until the twentieth century when it was developed into a booming tourist destination. In 1881, the Philadelphia and Long Branch Railroad connected from the mainland to Seaside Park and went north through present-day Seaside Heights, then called North Seaside Park. The railroad was used for the burgeoning tourism industry in the area, as well as for exporting fish and importing lumber and coal. In 1909, the Manhasset Realty Company sparked rapid development of the area when they purchased tracts of land in present-day Seaside Heights to develop a beachfront resort. They quickly built roads, infrastructure, homes, and hotels in the area, hosting train trips to attract visitors and potential buyers of beachfront vacation homes. In 1915, the Tom's River Bridge opened to automobile traffic from the mainland into Seaside Heights. That same year, the Dupont Avenue Carousel was constructed on a pier in Seaside Heights, which was then followed by a boardwalk completed in 1921 (Vaz, 2010; Discover, 2011a; Discover, 2011c; Discover, 2011b).

Significance: 211 Ocean Terrace is associated with entertainment and recreation in Seaside Heights. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 211 Ocean Terrace is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 211 Ocean Terrace is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: Steaks Unlimited

Street Address: Street #: 14 16 Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Dupont Suffix: N/A Type: AVE

County(s): Ocean **Zip Code:** 08751

Municipality(s): Seaside Heights Borough **Block(s):** 2.01

Local Place Name(s): N/A **Lot(s):** 14

Ownership: Private **USGS Quad(s)** Seaside Park

Description: Steaks Unlimited is a one-story circa 1960 commercial building with a two-story wing. The one-story commercial building features a clipped corner, plate-glass windows, and a flat roof. The two-story wing is clad in stucco on the ground floor and vinyl siding on the second floor and is capped by a flat roof.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

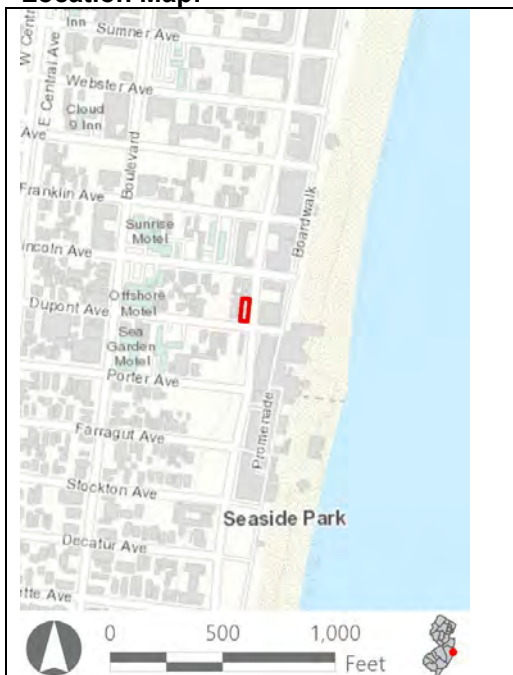
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Discover Seaside Heights. 2011a. All Aboard. Available at <https://www.discoverseasideheights.com/history/all-aboard> (Accessed January 2023).
Discover Seaside Heights. 2011b. Boardwalk History. Available at <http://www.discoverseasideheights.com/history/boardwalk-history> (Accessed January 2023).
Discover Seaside Heights. 2011c. The Tom's River Bridge. Available at <http://www.discoverseasideheights.com/history/toms-river-bridge> (Accessed January 2023).
Vaz, Christopher J. 2010. Postcard History Series: Seaside Heights. Arcadia Publishing, Charleston, SC, Chicago, IL, Portsmouth, NH, and San Francisco, CA. Available at <https://books.google.com/books?id=4yvGtRQm28sC&lpg=PA6&ots=ICjaLBzduD&dq=seaside%20heights&lr&pg=PA4#v=onepage&q&f=false> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: Steaks Unlimited

Historic Name: N/A

Present Use: Commercial activity, eating, drinking

Historic Use: Commercial activity, eating, drinking

Construction Date: 1960 **Source:** www.njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Good

Builder: N/A **Remaining Historic Fabric:** Low

Style: None

Form: Commercial **Stories:** 2

Type: N/A **Bays:** 3

Roof Finish Materials: Unknown

Exterior Finish Materials: Stucco

Exterior Description: The property at 16 Dupont Avenue (Steaks Unlimited) is a one-story brick commercial building. The building exterior is characterized by storefront bays. The east elevation features three bays, including a central recessed entrance with fixed glass walls flanked by bays of full-height retractable sliding glass walls. A single storefront bay is on the south elevation. A clipped corner features a walk-up sliding-sash service window. The flat cornice and roof are mounted by full-width rows of metal signage and an electronic marquee sign above the clipped corner. The west elevation is blank, and the north wall is shared with the neighboring building.

Interior Description: N/A

Setting: Steaks Unlimited is a commercial building in a residential and tourism area. Historic aerial imagery shows that the current road grid in Seaside Heights was almost entirely in place by 1920 except for the northern extent of the borough, and the entire borough was completely built out by 1956. Much of the original amusement park, including the original carousel, was destroyed in a fire in 1955 (Discover Seaside Heights, 2011a, 2011b, and 2011c). More recently, much of the boardwalk was damaged by Hurricane Sandy in 2012 and was repaired over the next year. Today, Seaside Heights remains a popular tourist destination, attracting many thousands of visitors each year with its well-known boardwalk and beachside attractions.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Seaside Heights is a borough in Ocean County, New Jersey, located on the Barnegat Peninsula. The area remained a relatively undeveloped fishing community until the twentieth century when it was developed into a booming tourist destination. In 1881, the Philadelphia and Long Branch Railroad connected from the mainland to Seaside Park and went north through present-day Seaside Heights, then called North Seaside Park. The railroad was used for the burgeoning tourism industry in the area, as well as for exporting fish and importing lumber and coal. In 1909, the Manhasset Realty Company sparked rapid development of the area when they purchased tracts of land in present-day Seaside Heights to develop a beachfront resort. They quickly built roads, infrastructure, homes, and hotels in the area, hosting train trips to attract visitors and potential buyers of beachfront vacation homes. In 1915, the Tom's River Bridge opened to automobile traffic from the mainland into Seaside Heights. That same year, the Dupont Avenue Carousel was constructed on a pier in Seaside Heights, which was then followed by a boardwalk completed in 1921 (Vaz, 2010; Discover, 2011a; Discover, 2011c; Discover, 2011b).

Significance: 16 Dupont Avenue (Steaks Unlimited) is associated with entertainment and recreation in Seaside Heights. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, Steaks Unlimited is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, Steaks Unlimited is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: Regent and Co.

Street Address: Street #: 401 407 Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Suffix: N/A Type: TER

County(s): Ocean **Zip Code:** 08751

Municipality(s): Seaside Heights Borough **Block(s):** 5.02

Local Place Name(s): N/A **Lot(s):** 7

Ownership: Private **USGS Quad(s)** Seaside Park

Description: Regent and Co. is a one-story circa 1930 boardwalk commercial building with a pent roof covered in asphalt shingles. The building has stucco-clad walls and five open-bay storefronts.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

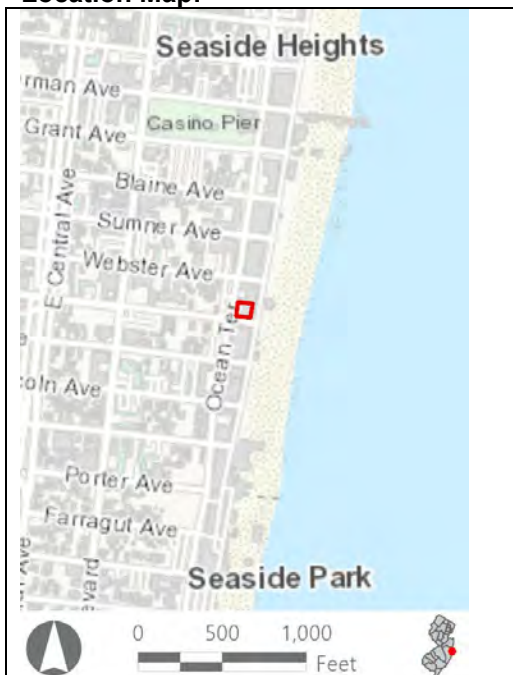


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Discover Seaside Heights. 2011a. All Aboard. Available at <https://www.discoverseasideheights.com/history/all-aboard> (Accessed January 2023).
Discover Seaside Heights. 2011b. Boardwalk History. Available at <http://www.discoverseasideheights.com/history/boardwalk-history> (Accessed January 2023).
Discover Seaside Heights. 2011c. The Tom's River Bridge. Available at <http://www.discoverseasideheights.com/history/toms-river-bridge> (Accessed January 2023).
Vaz, Christopher J. 2010. Postcard History Series: Seaside Heights. Arcadia Publishing, Charleston, SC, Chicago, IL, Portsmouth, NH, and San Francisco, CA. Available at <https://books.google.com/books?id=4yvGtRQm28sC&lpg=PA6&ots=ICjaLBzduD&dq=seaside%20heights&lr&pg=PA4#v=onepage&q&f=false> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: Regent and Co.
Historic Name: N/A
Present Use: Commercial activity, shopping
Historic Use: Commercial activity, shopping
Construction Date: 1930 **Source:** www.njtaxrecords.net
Alteration Date(s): N/A **Source:** N/A
Designer: N/A **Physical Condition:** Fair
Builder: N/A **Remaining Historic Fabric:** Low
Style: None
Form: Commercial **Stories:** 1
Type: N/A **Bays:** 5
Roof Finish Materials: Unknown
Exterior Finish Materials Stucco

Exterior Description: The property at 401-407 Ocean Terrace (Regent and Co.) is a one-story boardwalk commercial building. The building features five open storefront bays on the east elevation and two on the south. The storefronts of both elevations are separated by flat piers, topped with sign bands, and are covered by a pent roof clad in asphalt shingles. A metal sign blade is attached to the flat roof on the east elevation. The rear (west) portion of the building is double height due to the low street-level grade and features a glass double door entrance at the southwest end of the south elevation topped by large plate glass windows. A metal sign blade is affixed to the southwest corner. The west elevation is largely blank and clad in stucco, but also features a concrete block foundation, a tripartite fixed metal window, and in-filled basement windows. The corners of the building features stucco quoins and the building terminates with a flat roof.

Interior Description: N/A

Setting: Regent and Co. is surrounded by other businesses along the Seaside Heights boardwalk. Historic aerial imagery shows that the current road grid in Seaside Heights was almost entirely in place by 1920 except for the northern extent of the borough, and the entire borough was completely built out by 1956. Much of the original amusement park, including the original carousel, was destroyed in a fire in 1955 (Discover Seaside Heights, 2011a, 2011b, and 2011c). More recently, much of the boardwalk was damaged by Hurricane Sandy in 2012 and was repaired over the next year. Today, Seaside Heights remains a popular tourist destination, attracting many thousands of visitors each year with its well-known boardwalk and beachside attractions.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Seaside Heights is a borough in Ocean County, New Jersey, located on the Barnegat Peninsula. The area remained a relatively undeveloped fishing community until the twentieth century when it was developed into a booming tourist destination. In 1881, the Philadelphia and Long Branch Railroad connected from the mainland to Seaside Park and went north through present-day Seaside Heights, then called North Seaside Park. The railroad was used for the burgeoning tourism industry in the area, as well as for exporting fish and importing lumber and coal. In 1909, the Manhasset Realty Company sparked rapid development of the area when they purchased tracts of land in present-day Seaside Heights to develop a beachfront resort. They quickly built roads, infrastructure, homes, and hotels in the area, hosting train trips to attract visitors and potential buyers of beachfront vacation homes. In 1915, the Tom's River Bridge opened to automobile traffic from the mainland into Seaside Heights. That same year, the Dupont Avenue Carousel was constructed on a pier in Seaside Heights, which was then followed by a boardwalk completed in 1921 (Vaz, 2010; Discover, 2011a; Discover, 2011c; Discover, 2011b).

Significance: 401-407 Ocean Terrace (Regent and Co.) is associated with entertainment and recreation in Seaside Heights. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, Regent and Co. is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, Regent and Co. is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 2609 Ocean Avenue

Street Address: Street #: 2609 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Suffix: N/A Type: AVE

County(s): Ocean **Zip Code:** 08008

Municipality(s): Ship Bottom Borough **Block(s):** 23

Local Place Name(s): N/A **Lot(s):** 2.01

Ownership: Private **USGS Quad(s)** Hammonton

Description: The building at 2609 Ocean Avenue is a two-story residence constructed on an L-shaped plan. It has a flat roof with overhanging eaves.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

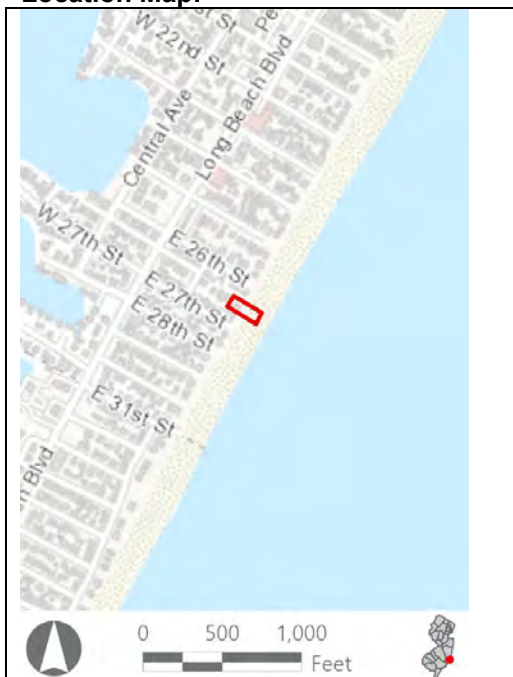


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Borough of Ship Bottom, New Jersey. 2023. History of Ship Bottom. Available at <https://shipbottom.org/history-2/> (Accessed January 2023).

Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).

Spicer-McGarry, Susan. 2018. "Steam and Steel." Echoes of LBI Magazine. Available at <https://echoesoflbi.com/steam-steel/> (Accessed January 2023).

U.S. Life Saving Service Heritage Association. 2023. Ship Bottom Station Site. Available at <https://uslife-savingservice.org/station-sites/ship-bottom/> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 2609 Ocean Avenue

Historic Name: N/A

Present Use: Residential Activity, Permanent

Historic Use: Residential Activity, Permanent

Construction Date: 1965 **Source:** Njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Good

Builder: N/A **Remaining Historic Fabric:** Low

Style: None

Form: Other **Stories:** 2

Type: N/A **Bays:** N/A

Roof Finish Materials: Unknown

Exterior Finish Materials Aluminum Siding

Exterior Description: The building at 2609 Ocean Avenue is a two-story residence constructed on an L-shaped plan. It has a flat roof with overhanging eaves. There is a two-tiered wraparound deck with a balustrade. Sliding patio doors open onto each deck from multiple points. The fenestration is largely 1/1 sash and the siding appears to be aluminum. The entire house is elevated on wood posts or pilings.

Interior Description: N/A

Setting: The building at 2609 Ocean Avenue is a beachfront property. Adjacent to the property is direct beach access over the dunes. Within the neighborhood is the headquarters building of the Ship Bottom Beach Patrol. Historic aerial imagery shows development in Ship Bottom throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with the entire area completely built-out by the 1970s. Today, Ship Bottom remains a popular summer destination, with a year-round population of 1,156 counted in the 2010 census and a summer population of approximately 20,000 (Ship Bottom, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ship Bottom is a borough in Ocean County, NJ, located on the barrier island of Long Beach Island. As early as 1690, Euro-American settlers used Long Beach Island seasonally for fishing, whaling, gathering plants, and harvesting sea salt, but present-day Ship Bottom remained relatively undeveloped until the late nineteenth century. According to local history, Ship Bottom got its name in 1817 after a woman was rescued from the overturned hull of a wrecked ship. Starting in 1886 with the construction of the Long Beach Railroad, Ship Bottom served as the main access from the mainland to Long Beach Island. The Life Saving Station (originally established in 1855) and railroad brought increased development to Ship Bottom. In 1898, the home of Captain Wesley Treux became the first permanent dwelling in Ship Bottom, and in the following decades, additional cottages and resorts popped up (Long Beach Island, 2023; Ship Bottom, 2023).

In 1914, a wooden automobile causeway was built connecting the island to the mainland, which was met with great excitement and sparked rapid development in Ship Bottom and the rest of Long Beach Island in the subsequent decades. In 1925, Ship Bottom incorporated with the nearby towns of Bonnie Beach, Bonnet Beach, Edgewater Beach, and Beach Arlington into the borough of Ship Bottom-Arlington, later renamed Ship Bottom in 1947. Although the railroad bridge was washed out by a nor'easter in 1935 and subsequently abandoned, and the Life Saving Station was closed in 1949 or 1950, development in Ship Bottom continued to accelerate in the mid-twentieth century. In 1941, New Jersey Route S40 was extended from Manahawkin to Ship Bottom using the existing causeway, and in the 1950s the route was improved and renamed Route 72 (Spicer-McGarry, 2018; Ship Bottom, 2023; U.S. Life Saving Service, 2023; Long Beach Island, 2023).

Significance: The residence at 2609 Ocean Avenue is associated with mid-twentieth-century development in Ship Bottom Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey and

National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 2609 Ocean Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 2609 Ocean Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 305 Ocean Avenue

Street Address: Street #: 305 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Suffix: N/A Type: AVE

County(s): Ocean Zip Code: 08008

Municipality(s): Ship Bottom Borough Block(s): 131

Local Place Name(s): N/A Lot(s): 3

Ownership: Private USGS Quad(s) Hammonton

Description: The building at 305 Ocean Ave is a two-and-one-half-story house clad in vinyl on a raised concrete basement.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Borough of Ship Bottom, New Jersey. 2023. History of Ship Bottom. Available at <https://shipbottom.org/history-2/> (Accessed January 2023).
Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).
Spicer-McGarry, Susan. 2018. "Steam and Steel." Echoes of LBI Magazine. Available at <https://echoesoflbi.com/steam-steel/> (Accessed January 2023).
U.S. Life Saving Service Heritage Association. 2023. Ship Bottom Station Site. Available at <https://uslife-savingservice.org/station-sites/ship-bottom/> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	305 Ocean Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1973	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2.5
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 305 Ocean Ave is a two-and-one-half-story house clad in vinyl on a raised concrete basement. The basement level is bare concrete and has two overhead garage doors on the southwest elevation. On the first story, a large patio supported by heavy wood posts extends from the façade to the adjacent sand dune and has vinyl railings. The southeastern elevation, partially obscured by sand dunes, features a nearly full-width flat dormer on a shed roof. The side elevations (northeast and southwest) feature two asymmetrical bays of one-over-one, double-hung windows. The dormer features paired 1/1 sash windows.

Interior Description: N/A

Setting: The building at 305 Ocean Ave is a beachfront property in a residential area, with a few commercial businesses located nearby. Adjacent to the property is direct beach access over the dunes. Historic aerial imagery shows development in Ship Bottom throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with the entire area completely built-out by the 1970s. Today, Ship Bottom remains a popular summer destination, with a year-round population of 1,156 counted in the 2010 census and a summer population of approximately 20,000 (Ship Bottom, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ship Bottom is a borough in Ocean County, NJ, located on the barrier island of Long Beach Island. As early as 1690, Euro-American settlers used Long Beach Island seasonally for fishing, whaling, gathering plants, and harvesting sea salt, but present-day Ship Bottom remained relatively undeveloped until the late nineteenth century. According to local history, Ship Bottom got its name in 1817 after a woman was rescued from the overturned hull of a wrecked ship. Starting in 1886 with the construction of the Long Beach Railroad, Ship Bottom served as the main access from the mainland to Long Beach Island. The Life Saving Station (originally established in 1855) and railroad brought increased development to Ship Bottom. In 1898, the home of Captain Wesley Treux became the first permanent dwelling in Ship Bottom, and in the following decades, additional cottages and resorts popped up (Long Beach Island, 2023; Ship Bottom, 2023).

In 1914, a wooden automobile causeway was built connecting the island to the mainland, which was met with great excitement and sparked rapid development in Ship Bottom and the rest of Long Beach Island in the subsequent decades. In 1925, Ship Bottom incorporated with the nearby towns of Bonnie Beach, Bonnet Beach, Edgewater Beach, and Beach Arlington into the borough of Ship Bottom-Arlington, later renamed Ship Bottom in 1947. Although the railroad bridge was washed out by a nor'easter in 1935 and subsequently abandoned, and the Life Saving Station was closed in 1949 or 1950, development in Ship Bottom continued to accelerate in the mid-twentieth century. In 1941, New Jersey Route S40 was extended from Manahawkin to Ship Bottom using the existing causeway, and in the 1950s the route was improved and renumbered Route 72 (Spicer-McGarry, 2018; Ship Bottom, 2023; U.S. Life Saving Service, 2023; Long Beach Island, 2023).

Significance: The residence at 305 Ocean Avenue is associated with late-twentieth-century development in Ship Bottom Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 305 Ocean Ave is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 305 Ocean Ave is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 135 East 27th Street

Street Address: Street #: 135 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: 27th Suffix: N/A Type: ST

County(s): Ocean Zip Code: 08008

Municipality(s): Ship Bottom Borough Block(s): 23

Local Place Name(s): N/A Lot(s): 1

Ownership: Private USGS Quad(s) Hammonton

Description: The building at 135 East 27th Street is a one-and-one-half-story circa 1940 Craftsman-style residence with asphalt shingle roofing, wood clapboard and shingle siding, metal windows, and an integral porch entrance.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

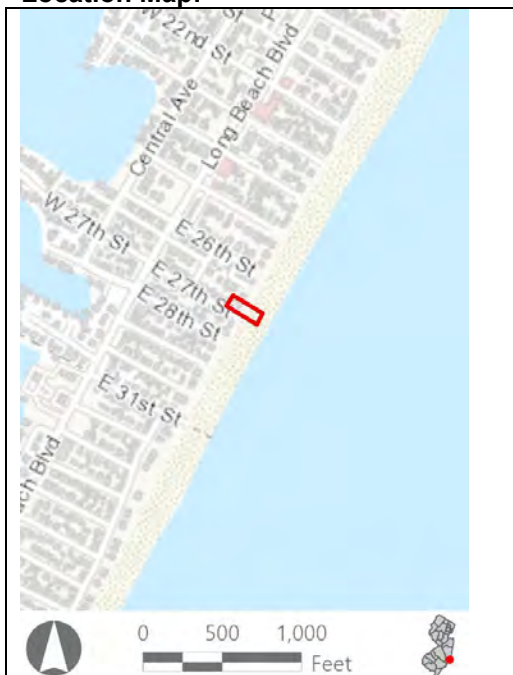


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Borough of Ship Bottom, New Jersey. 2023. History of Ship Bottom. Available at <https://shipbottom.org/history-2/> (Accessed January 2023).

Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).

Spicer-McGarry, Susan. 2018. "Steam and Steel." Echoes of LBI Magazine. Available at <https://echoesoflbi.com/steam-steel/> (Accessed January 2023).

U.S. Life Saving Service Heritage Association. 2023. Ship Bottom Station Site. Available at <https://uslife-savingservice.org/station-sites/ship-bottom/> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: <u>135 East 27th Street</u>	
Historic Name: <u>N/A</u>	
Present Use: <u>Residential Activity, Permanent</u>	
Historic Use: <u>Residential Activity, Permanent</u>	
Construction Date: <u>1940</u>	Source: <u>Njtaxrecords.net</u>
Alteration Date(s): <u>N/A</u>	Source: <u>N/A</u>
Designer: <u>N/A</u>	Physical Condition: <u>Good</u>
Builder: <u>N/A</u>	Remaining Historic Fabric: <u>Low</u>
Style: <u>Craftsman</u>	
Form: <u>Bungalow</u>	Stories: <u>2</u>
Type: <u>N/A</u>	Bays: <u>3</u>
Roof Finish Materials: <u>Asphalt Shingle</u>	
Exterior Finish Materials <u>Wood, Shingles</u>	

Exterior Description: The building at 135 East 27th Street is a one-and-one-half-story modified Craftsman-style bungalow resting on a raised concrete basement. The (southwest) façade features an integral porch with vinyl banisters accessed by wood steps. The porch is sheltered by the upper half story supported by square wood piers. The porch wall features a door set in a square wood surround and a window with wood shutters. The porch and northwest elevation features cedar shake siding and fenestration consisting of 6/6, double-hung metal windows that appear to have false muntins set in simple wood surrounds. A pair of tall casement windows are located on the facade south of the porch where the house has clapboard siding. The upper half-story is characterized by a rambling Dutch gable roof with clipped gables, flat walls, and a flat dormer on the northwest slope. The gables and dormer are clad in scalloped shingles and feature small, side-by-side, sliding windows. A pair of casement windows on the upper story match those on the first. The roof is clad in asphalt shingles.

Interior Description: N/A

Setting: The building 135 East 27th Street is a beachfront property. Adjacent to the property is direct beach access. It is located down a narrow street in a residential area. Within this neighborhood is the headquarters building for the Ship Bottom Beach Patrol. Historic aerial imagery shows development in Ship Bottom throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with the entire area completely built-out by the 1970s. Today, Ship Bottom remains a popular summer destination, with a year-round population of 1,156 counted in the 2010 census and a summer population of approximately 20,000 (Ship Bottom, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ship Bottom is a borough in Ocean County, NJ, located on the barrier island of Long Beach Island. As early as 1690, Euro-American settlers used Long Beach Island seasonally for fishing, whaling, gathering plants, and harvesting sea salt, but present-day Ship Bottom remained relatively undeveloped until the late nineteenth century. According to local history, Ship Bottom got its name in 1817 after a woman was rescued from the overturned hull of a wrecked ship. Starting in 1886 with the construction of the Long Beach Railroad, Ship Bottom served as the main access from the mainland to Long Beach Island. The Life Saving Station (originally established in 1855) and railroad brought increased development to Ship Bottom. In 1898, the home of Captain Wesley Treux became the first permanent dwelling in Ship Bottom, and in the following decades, additional cottages and resorts popped up (Long Beach Island, 2023; Ship Bottom, 2023).

In 1914, a wooden automobile causeway was built connecting the island to the mainland, which was met with great excitement and sparked rapid development in Ship Bottom and the rest of Long Beach Island in the subsequent decades. In 1925, Ship Bottom incorporated with the nearby towns of Bonnie Beach, Bonnet Beach, Edgewater Beach, and Beach Arlington into the borough of Ship Bottom-Arlington, later renamed Ship Bottom in 1947. Although the railroad bridge was washed out by a nor'easter in 1935 and subsequently abandoned, and the Life Saving Station was closed in 1949 or 1950, development in Ship Bottom continued to accelerate in the mid-twentieth century. In 1941, New Jersey Route S40 was extended from Manahawkin to Ship Bottom using the existing causeway, and in the 1950s the route was improved and renumbered Route 72 (Spicer-McGarry, 2018; Ship Bottom, 2023; U.S. Life Saving Service, 2023; Long Beach Island, 2023).

Significance: The residence at 135 East 27th Street is associated with mid-twentieth-century development in Ship Bottom Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 135 East 27th Street is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 135 East 27th Street is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 2601 Ocean Avenue

Street Address: Street #: 2601 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Suffix: N/A Type: AVE

County(s): Ocean **Zip Code:** 08008

Municipality(s): Ship Bottom Borough **Block(s):** 24

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Hammonton

Description: The building at 2601 Ocean Avenue is a two-story circa 1981 Modern residence with a flat roof, wood shake shingles, vinyl windows, an inset entrance porch and deck, and a rounded bay located on the beachfront.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

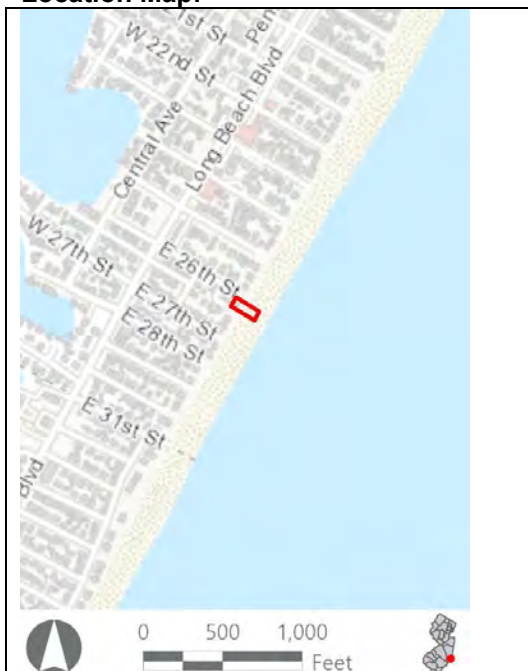


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Borough of Ship Bottom, New Jersey. 2023. History of Ship Bottom. Available at <https://shipbottom.org/history-2/> (Accessed January 2023).

Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).

Spicer-McGarry, Susan. 2018. "Steam and Steel." Echoes of LBI Magazine. Available at <https://echoesoflbi.com/steam-steel/> (Accessed January 2023).

U.S. Life Saving Service Heritage Association. 2023. Ship Bottom Station Site. Available at <https://uslife-savingservice.org/station-sites/ship-bottom/> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	2601 Ocean Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1981	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Other		
Form:	Other	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 2601 Ocean Avenue is a two-story house clad in cedar shakes featuring a split-level façade with a rounded projection and set upon a raised concrete basement. Fenestration consists primarily of pairs of vinyl 1/1, double-hung windows, with some fixed-sash and side-by-side, sliding-sash windows. The basement level features an overhead garage door on the southwest elevation. The first story of the façade features a patio constructed of vinyl planks with faux wood grain and a vinyl railing. There are two pairs of French doors and windows wrap the south corner of the house. The first story is rounded at the north corner and is accessed by a set of stairs beneath a cantilevered portion of the second story. The second story of the façade projects slightly over the first as a split-level, and features windows that wrap the south corner and a pair of small side-by-side, sliding-sash windows. The building terminates with a patio roof with a vinyl railing. The eastern corner of the house is characterized by a rounded bay with rows of seven vinyl windows in a wood surround.

Interior Description: N/A

Setting: The building 2601 Ocean Avenue is a beachfront property. Adjacent to the property is direct beach access over the dunes. Within the neighborhood is the headquarters building of the Ship Bottom Beach Patrol. Historic aerial imagery shows development in Ship Bottom throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with the entire area completely built-out by the 1970s. Today, Ship Bottom remains a popular summer destination, with a year-round population of 1,156 counted in the 2010 census and a summer population of approximately 20,000 (Ship Bottom, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ship Bottom is a borough in Ocean County, NJ, located on the barrier island of Long Beach Island. As early as 1690, Euro-American settlers used Long Beach Island seasonally for fishing, whaling, gathering plants, and harvesting sea salt, but present-day Ship Bottom remained relatively undeveloped until the late nineteenth century. According to local history, Ship Bottom got its name in 1817 after a woman was rescued from the overturned hull of a wrecked ship. Starting in 1886 with the construction of the Long Beach Railroad, Ship Bottom served as the main access from the mainland to Long Beach Island. The Life Saving Station (originally established in 1855) and railroad brought increased development to Ship Bottom. In 1898, the home of Captain Wesley Treux became the first permanent dwelling in Ship Bottom, and in the following decades, additional cottages and resorts popped up (Long Beach Island, 2023; Ship Bottom, 2023).

In 1914, a wooden automobile causeway was built connecting the island to the mainland, which was met with great excitement and sparked rapid development in Ship Bottom and the rest of Long Beach Island in the subsequent decades. In 1925, Ship Bottom incorporated with the nearby towns of Bonnie Beach, Bonnet Beach, Edgewater Beach, and Beach Arlington into the borough of Ship Bottom-Arlington, later renamed Ship Bottom in 1947. Although the railroad bridge was washed out by a nor'easter in 1935 and subsequently abandoned, and the Life Saving Station was closed in 1949 or 1950, development in Ship Bottom continued to accelerate in the mid-twentieth century. In 1941, New Jersey Route S40 was extended from Manahawkin to Ship Bottom using the existing causeway, and in the 1950s the route was improved and renumbered Route 72 (Spicer-McGarry, 2018; Ship Bottom, 2023; U.S. Life Saving Service, 2023; Long Beach Island, 2023).

Significance: The building at 2601 Ocean Avenue is associated with late-twentieth-century development in Ship Bottom Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

**National
Register Criteria:**

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 2601 Ocean Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 2601 Ocean Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: East 130 7th Street

Street Address: Street #: 130 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: 7th Suffix: N/A Type: ST

County(s): Ocean **Zip Code:** 08008

Municipality(s): Ship Bottom Borough **Block(s):** 107

Local Place Name(s): N/A **Lot(s):** 5

Ownership: Private **USGS Quad(s)** Hammonton

Description: The building at East 130 7th Street is a two-story circa 1970 vernacular residence with a gable front asphalt shingled roof, vinyl siding, vinyl windows, and a two-story wrap-around porch.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

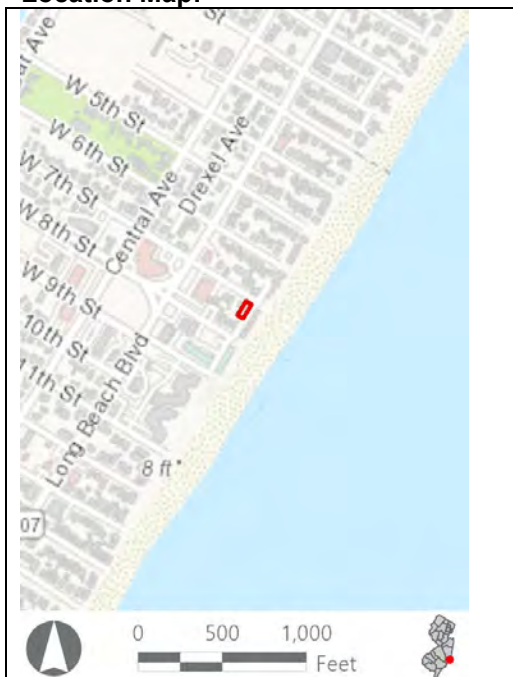


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Borough of Ship Bottom, New Jersey. 2023. History of Ship Bottom. Available at <https://shipbottom.org/history-2/> (Accessed January 2023).

Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).

Spicer-McGarry, Susan. 2018. "Steam and Steel." Echoes of LBI Magazine. Available at <https://echoesoflbi.com/steam-steel/> (Accessed January 2023).

U.S. Life Saving Service Heritage Association. 2023. Ship Bottom Station Site. Available at <https://uslife-savingservice.org/station-sites/ship-bottom/> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	130 East 7 th Street		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1970	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Gable front	Stories:	2
Type:	N/A	Bays:	4
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 130 East 7th Street is a two-story side-gabled house clad in vinyl siding. The building has a two-tier wraparound porch. The (southeast) façade features identical fenestration on the first and second stories consisting of a door set in a simple vinyl surround flanked by a picture window and a pair of short, 1/1, double-hung windows. The northeast elevation features one picture window on the first story, with the remaining fenestration consisting of single 1/1, double-hung windows. All windows are vinyl and have wood trim surrounds. The two-story wraparound porch is constructed of wood support piers and beams, portions of which are clad in vinyl, composite steps and deck flooring, and vinyl railings. The gabled roof is clad in asphalt shingles.

Interior Description: N/A

Setting: The building at 130 East 7th Street is a residential property located adjacent to the beachfront and beach access over the dunes. It is located on the street corner at the intersection of East 7th Street and Ocean Terrace which is a brief and narrow, one-way stretch of road. Historic aerial imagery shows development in Ship Bottom throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with the entire area completely built-out by the 1970s. Today, Ship Bottom remains a popular summer destination, with a year-round population of 1,156 counted in the 2010 census and a summer population of approximately 20,000 (Ship Bottom, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ship Bottom is a borough in Ocean County, NJ, located on the barrier island of Long Beach Island. As early as 1690, Euro-American settlers used Long Beach Island seasonally for fishing, whaling, gathering plants, and harvesting sea salt, but present-day Ship Bottom remained relatively undeveloped until the late nineteenth century. According to local history, Ship Bottom got its name in 1817 after a woman was rescued from the overturned hull of a wrecked ship. Starting in 1886 with the construction of the Long Beach Railroad, Ship Bottom served as the main access from the mainland to Long Beach Island. The Life Saving Station (originally established in 1855) and railroad brought increased development to Ship Bottom. In 1898, the home of Captain Wesley Treux became the first permanent dwelling in Ship Bottom, and in the following decades, additional cottages and resorts popped up (Long Beach Island, 2023; Ship Bottom, 2023).

In 1914, a wooden automobile causeway was built connecting the island to the mainland, which was met with great excitement and sparked rapid development in Ship Bottom and the rest of Long Beach Island in the subsequent decades. In 1925, Ship Bottom incorporated with the nearby towns of Bonnie Beach, Bonnet Beach, Edgewater Beach, and Beach Arlington into the borough of Ship Bottom-Arlington, later renamed Ship Bottom in 1947. Although the railroad bridge was washed out by a nor'easter in 1935 and subsequently abandoned, and the Life Saving Station was closed in 1949 or 1950, development in Ship Bottom continued to accelerate in the mid-twentieth century. In 1941, New Jersey Route S40 was extended from Manahawkin to Ship Bottom using the existing causeway, and in the 1950s the route was improved and renumbered Route 72 (Spicer-McGarry, 2018; Ship Bottom, 2023; U.S. Life Saving Service, 2023; Long Beach Island, 2023).

Significance: The building at 130 East 7th Street is associated with late-twentieth-century development in Ship Bottom Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 130 East 7th Street is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 130 East 7th Street is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 126 East 7th Street

Street Address: Street #: 126 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: 7th Suffix: N/A Type: ST

County(s): Ocean **Zip Code:** 08008

Municipality(s): Ship Bottom Borough **Block(s):** 107

Local Place Name(s): N/A **Lot(s):** 6

Ownership: Private **USGS Quad(s)** Hammonton

Description: The building at 126 East 7th Street is a two-story circa 1950 vernacular residence with an asphalt shingled roof, vinyl siding, vinyl windows, and a two-story full-width front porch.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

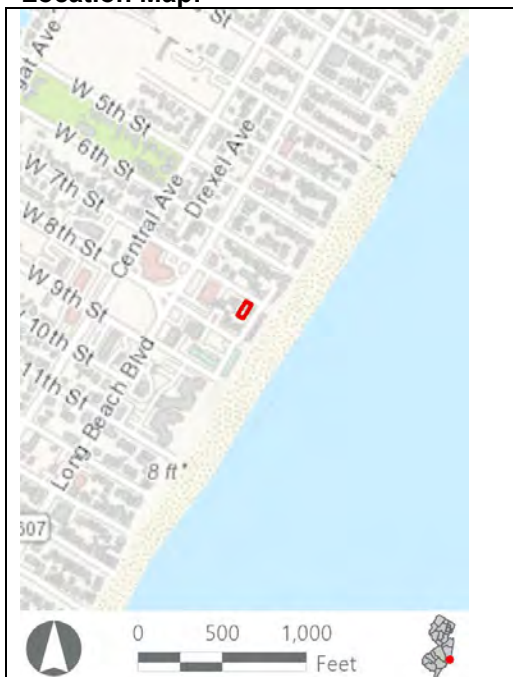


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Borough of Ship Bottom, New Jersey. 2023. History of Ship Bottom. Available at <https://shipbottom.org/history-2/> (Accessed January 2023).

Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).

Spicer-McGarry, Susan. 2018. "Steam and Steel." Echoes of LBI Magazine. Available at <https://echoesoflbi.com/steam-steel/> (Accessed January 2023).

U.S. Life Saving Service Heritage Association. 2023. Ship Bottom Station Site. Available at <https://uslife-savingservice.org/station-sites/ship-bottom/> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	126 East 7 th Street		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1950	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 126 East 7th Street is a two-story side-gabled house clad in wood shingles with a two-tier wraparound porch. The (northeast) façade features a central door in a slightly projected wood surround flanked by single 1/1, double-hung vinyl windows with vinyl faux shutters. The side elevations feature similar windows of varying sizes, either single or paired. Two first-story windows on the northwest elevation have canvas awnings. The second story of the façade features a central door in a slightly projected wood surround flanked by fixed windows divided into quadrants by vinyl muntins, set in vinyl surrounds, and with vinyl faux shutters. These windows are on the side elevations as well, in addition to single 1/1, double-hung vinyl windows. Vinyl octagonal vents are located at the tops of the gables. The two-story full-width porch is wrapped in vinyl and features composite decking. The gabled roof is clad in asphalt shingles.

Interior Description: N/A

Setting: The building at 126 East 7th Street is a residential property located adjacent to the beachfront and beach access over the dunes. It is in a residential neighborhood, just off Long Beach Boulevard. There are commercial businesses nearby, located mainly along Long Beach Boulevard. Historic aerial imagery shows development in Ship Bottom throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with the entire area completely built-out by the 1970s. Today, Ship Bottom remains a popular summer destination, with a year-round population of 1,156 counted in the 2010 census and a summer population of approximately 20,000 (Ship Bottom, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ship Bottom is a borough in Ocean County, NJ, located on the barrier island of Long Beach Island. As early as 1690, Euro-American settlers used Long Beach Island seasonally for fishing, whaling, gathering plants, and harvesting sea salt, but present-day Ship Bottom remained relatively undeveloped until the late nineteenth century. According to local history, Ship Bottom got its name in 1817 after a woman was rescued from the overturned hull of a wrecked ship. Starting in 1886 with the construction of the Long Beach Railroad, Ship Bottom served as the main access from the mainland to Long Beach Island. The Life Saving Station (originally established in 1855) and railroad brought increased development to Ship Bottom. In 1898, the home of Captain Wesley Treux became the first permanent dwelling in Ship Bottom, and in the following decades, additional cottages and resorts popped up (Long Beach Island, 2023; Ship Bottom, 2023).

In 1914, a wooden automobile causeway was built connecting the island to the mainland, which was met with great excitement and sparked rapid development in Ship Bottom and the rest of Long Beach Island in the subsequent decades. In 1925, Ship Bottom incorporated with the nearby towns of Bonnie Beach, Bonnet Beach, Edgewater Beach, and Beach Arlington into the borough of Ship Bottom-Arlington, later renamed Ship Bottom in 1947. Although the railroad bridge was washed out by a nor'easter in 1935 and subsequently abandoned, and the Life Saving Station was closed in 1949 or 1950, development in Ship Bottom continued to accelerate in the mid-twentieth century. In 1941, New Jersey Route S40 was extended from Manahawkin to Ship Bottom using the existing causeway, and in the 1950s the route was improved and renumbered Route 72 (Spicer-McGarry, 2018; Ship Bottom, 2023; U.S. Life Saving Service, 2023; Long Beach Island, 2023).

Significance: The building at 126 East 7th Street is associated with mid-twentieth-century development in Ship Bottom Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 126 East 7th Street is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 126 East 7th Street is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 131 East 19th Street

Street Address: Street #: 131 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: 19th Suffix: N/A Type: ST

County(s): Ocean **Zip Code:** 08008

Municipality(s): Ship Bottom Borough **Block(s):** 56

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Hammonton

Description: The building at 131 East 19th Street is a two-story gable front residence with a wraparound two-tier porch and scalloped shingles in the gable. Sliding patio doors open onto the porch.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

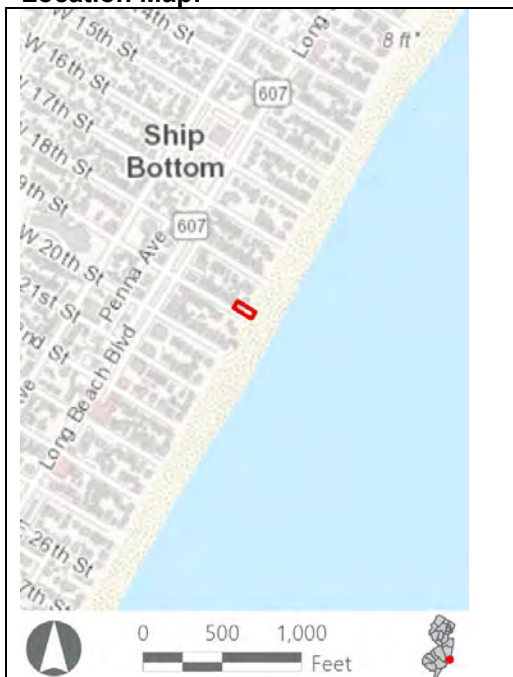


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Borough of Ship Bottom, New Jersey. 2023. History of Ship Bottom. Available at <https://shipbottom.org/history-2/> (Accessed January 2023).

Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).

Spicer-McGarry, Susan. 2018. "Steam and Steel." Echoes of LBI Magazine. Available at <https://echoesoflbi.com/steam-steel/> (Accessed January 2023).

U.S. Life Saving Service Heritage Association. 2023. Ship Bottom Station Site. Available at <https://uslife-savingservice.org/station-sites/ship-bottom/> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	131 East 19 th Street		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1965	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Gable Front	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 131 East 19th Street is a two-story duplex with a two-story full-width porch. The building is clad in vinyl which mimics wood shingles. The fenestration is identical on both stories and features large fixed-pane metal picture windows and one-over-one, double-hung windows. The porch is constructed of vinyl-clad posts, vinyl railings, and composite flooring material, and wraps the south corner and extends partially across the southwest elevation. The gable features a rectangular window beneath a semicircular light, both fixed and set within a field of vinyl scalloped shingles. The front-gabled roof is clad in asphalt shingles.

Interior Description: N/A

Setting: The building at 131 East 19th Street is a beachfront residential property. Adjacent to the property is direct beach access via a ramp over the dunes. It is in a residential neighborhood, and as you move towards the main roads away from the ocean there are several commercial businesses nearby as well. Historic aerial imagery shows development in Ship Bottom throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with the entire area completely built-out by the 1970s. Today, Ship Bottom remains a popular summer destination, with a year-round population of 1,156 counted in the 2010 census and a summer population of approximately 20,000 (Ship Bottom, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ship Bottom is a borough in Ocean County, NJ, located on the barrier island of Long Beach Island. As early as 1690, Euro-American settlers used Long Beach Island seasonally for fishing, whaling, gathering plants, and harvesting sea salt, but present-day Ship Bottom remained relatively undeveloped until the late nineteenth century. According to local history, Ship Bottom got its name in 1817 after a woman was rescued from the overturned hull of a wrecked ship. Starting in 1886 with the construction of the Long Beach Railroad, Ship Bottom served as the main access from the mainland to Long Beach Island. The Life Saving Station (originally established in 1855) and railroad brought increased development to Ship Bottom. In 1898, the home of Captain Wesley Treux became the first permanent dwelling in Ship Bottom, and in the following decades, additional cottages and resorts popped up (Long Beach Island, 2023; Ship Bottom, 2023).

In 1914, a wooden automobile causeway was built connecting the island to the mainland, which was met with great excitement and sparked rapid development in Ship Bottom and the rest of Long Beach Island in the subsequent decades. In 1925, Ship Bottom incorporated with the nearby towns of Bonnie Beach, Bonnet Beach, Edgewater Beach, and Beach Arlington into the borough of Ship Bottom-Arlington, later renamed Ship Bottom in 1947. Although the railroad bridge was washed out by a nor'easter in 1935 and subsequently abandoned, and the Life Saving Station was closed in 1949 or 1950, development in Ship Bottom continued to accelerate in the mid-twentieth century. In 1941, New Jersey Route S40 was extended from Manahawkin to Ship Bottom using the existing causeway, and in the 1950s the route was improved and renumbered Route 72 (Spicer-McGarry, 2018; Ship Bottom, 2023; U.S. Life Saving Service, 2023; Long Beach Island, 2023).

Significance: The building at 131 East 19th Street is associated with mid-twentieth-century development in Ship Bottom Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

**National
Register Criteria:**

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 131 East 19th Street is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 131 East 19th Street is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 1817 Ocean Avenue

Street Address: Street #: 1817 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Suffix: N/A Type: AVE

County(s): Ocean **Zip Code:** 08008

Municipality(s): Ship Bottom Borough **Block(s):** 56

Local Place Name(s): N/A **Lot(s):** 1.01

Ownership: Private **USGS Quad(s)** Hammonton

Description: The building at 1817 Ocean Avenue is a Two-story circa 1975 residence with asphalt shingle Mansard roof, vinyl siding, and a full-width front porch on the beachfront side.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

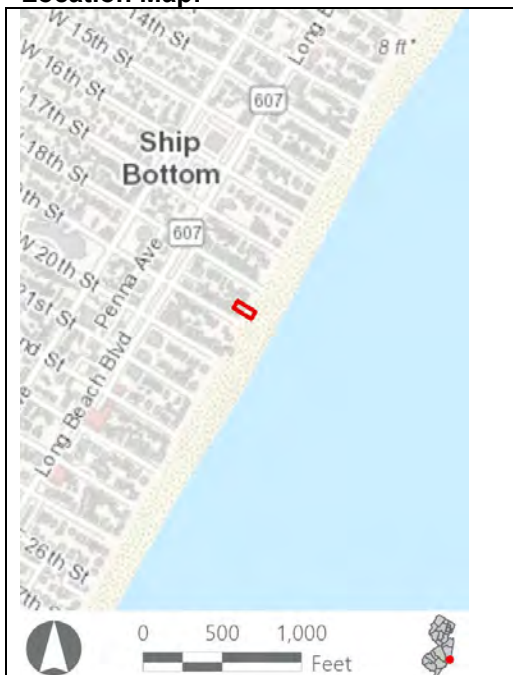


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Borough of Ship Bottom, New Jersey. 2023. History of Ship Bottom. Available at <https://shipbottom.org/history-2/> (Accessed January 2023).

Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).

Spicer-McGarry, Susan. 2018. "Steam and Steel." Echoes of LBI Magazine. Available at <https://echoesoflbi.com/steam-steel/> (Accessed January 2023).

U.S. Life Saving Service Heritage Association. 2023. Ship Bottom Station Site. Available at <https://uslife-savingservice.org/station-sites/ship-bottom/> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	1817 Ocean Avenue		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1975	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 1817 Ocean Avenue is a two-story modified split-level house with a slightly sloped second story vaguely resembling a Mansard roof. The building rests on a raised basement level and is entirely clad in vinyl which mimics wood shingles. The (southeast) façade features an off-centered pair of sliding doors with a picture window to the northeast and around the corner on the northeast elevation. The remaining fenestration consists of side-by-side, sliding sash, and 1/1, double-hung metal windows. The façade's second story projects above the first story. It features deeply recessed windows and gently slopes back and meets with a saltbox-type asphalt shingle roof.

Interior Description: N/A

Setting: The building at 1817 Ocean Avenue is a residential beachfront property. Adjacent to the property is direct beach access over the dunes on a sand path. The property is located on a narrow road in a residential neighborhood. Historic aerial imagery shows development in Ship Bottom throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with the entire area completely built-out by the 1970s. Today, Ship Bottom remains a popular summer destination, with a year-round population of 1,156 counted in the 2010 census and a summer population of approximately 20,000 (Ship Bottom, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ship Bottom is a borough in Ocean County, NJ, located on the barrier island of Long Beach Island. As early as 1690, Euro-American settlers used Long Beach Island seasonally for fishing, whaling, gathering plants, and harvesting sea salt, but present-day Ship Bottom remained relatively undeveloped until the late nineteenth century. According to local history, Ship Bottom got its name in 1817 after a woman was rescued from the overturned hull of a wrecked ship. Starting in 1886 with the construction of the Long Beach Railroad, Ship Bottom served as the main access from the mainland to Long Beach Island. The Life Saving Station (originally established in 1855) and railroad brought increased development to Ship Bottom. In 1898, the home of Captain Wesley Treux became the first permanent dwelling in Ship Bottom, and in the following decades, additional cottages and resorts popped up (Long Beach Island, 2023; Ship Bottom, 2023).

In 1914, a wooden automobile causeway was built connecting the island to the mainland, which was met with great excitement and sparked rapid development in Ship Bottom and the rest of Long Beach Island in the subsequent decades. In 1925, Ship Bottom incorporated with the nearby towns of Bonnie Beach, Bonnet Beach, Edgewater Beach, and Beach Arlington into the borough of Ship Bottom-Arlington, later renamed Ship Bottom in 1947. Although the railroad bridge was washed out by a nor'easter in 1935 and subsequently abandoned, and the Life Saving Station was closed in 1949 or 1950, development in Ship Bottom continued to accelerate in the mid-twentieth century. In 1941, New Jersey Route S40 was extended from Manahawkin to Ship Bottom using the existing causeway, and in the 1950s the route was improved and renumbered Route 72 (Spicer-McGarry, 2018; Ship Bottom, 2023; U.S. Life Saving Service, 2023; Long Beach Island, 2023).

Significance: The building at 1817 Ocean Avenue is associated with late-twentieth-century development in Ship Bottom Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1817 Ocean Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 1817 Ocean Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey: _____
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &
Organization: Environmental Services, D.P.C

Date: February 24,
2023

BASE FORM

Historic Sites #:

Property Name: 2113 Ocean Avenue

Street Address: Street #: 2113 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Suffix: N/A Type: AVE

County(s): Ocean **Zip Code:** 08008

Municipality(s): Ship Bottom Borough **Block(s):** 38

Local Place Name(s): N/A **Lot(s):** 1.01

Ownership: Private **USGS Quad(s)** Hammonton

Description: The residence at 2113 Ocean Avenue is a two-story circa 1954 vernacular residence with an asphalt shingled roof, wood shake siding, and an enclosed rooftop area located on the beachfront.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

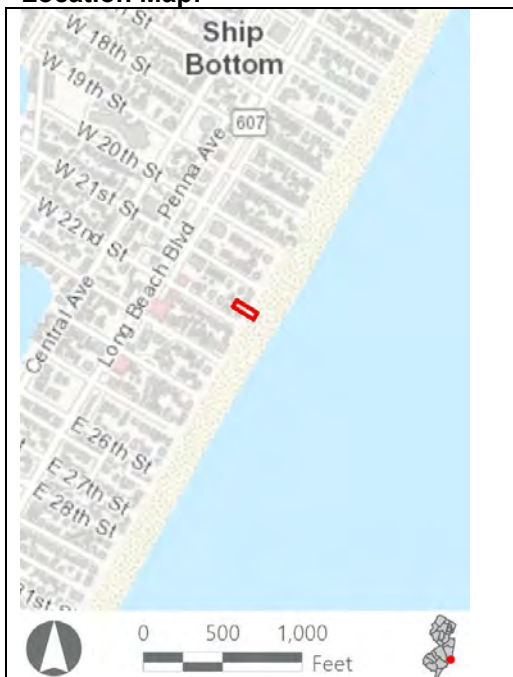


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Borough of Ship Bottom, New Jersey. 2023. History of Ship Bottom. Available at <https://shipbottom.org/history-2/> (Accessed January 2023).

Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).

Spicer-McGarry, Susan. 2018. "Steam and Steel." Echoes of LBI Magazine. Available at <https://echoesoflbi.com/steam-steel/> (Accessed January 2023).

U.S. Life Saving Service Heritage Association. 2023. Ship Bottom Station Site. Available at <https://uslife-savingservice.org/station-sites/ship-bottom/> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>2113 Ocean Avenue</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1954</u>	Source:	<u>Njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Other</u>	Stories:	<u>2</u>
Type:	<u>N/A</u>	Bays:	<u>3</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Wood, Shingles</u>		

Exterior Description: The building at 2113 Ocean Avenue is a two-story house clad in cedar shakes. The (southeast) façade presents as a large, flat, two-story addition and features two large fixed-pane windows with rectangular sliding-sash transoms near the south corner, and one on the southwest elevation. At the northeast corner a one-story gable projects slightly from the façade wall and features a side-by-side, sliding-sash window. The flat roof has a vinyl railing around the perimeter. A hipped-roof volume is at the rear of the building.

Interior Description: N/A

Setting: The building at 2113 Ocean Avenue is a residential beachfront property. Just down the street from the property is direct beach access over the dunes on a sandy path. It is located down a narrow street in a residential neighborhood. Historic aerial imagery shows development in Ship Bottom throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with the entire area completely built-out by the 1970s. Today, Ship Bottom remains a popular summer destination, with a year-round population of 1,156 counted in the 2010 census and a summer population of approximately 20,000 (Ship Bottom, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ship Bottom is a borough in Ocean County, NJ, located on the barrier island of Long Beach Island. As early as 1690, Euro-American settlers used Long Beach Island seasonally for fishing, whaling, gathering plants, and harvesting sea salt, but present-day Ship Bottom remained relatively undeveloped until the late nineteenth century. According to local history, Ship Bottom got its name in 1817 after a woman was rescued from the overturned hull of a wrecked ship. Starting in 1886 with the construction of the Long Beach Railroad, Ship Bottom served as the main access from the mainland to Long Beach Island. The Life Saving Station (originally established in 1855) and railroad brought increased development to Ship Bottom. In 1898, the home of Captain Wesley Treux became the first permanent dwelling in Ship Bottom, and in the following decades, additional cottages and resorts popped up (Long Beach Island, 2023; Ship Bottom, 2023).

In 1914, a wooden automobile causeway was built connecting the island to the mainland, which was met with great excitement and sparked rapid development in Ship Bottom and the rest of Long Beach Island in the subsequent decades. In 1925, Ship Bottom incorporated with the nearby towns of Bonnie Beach, Bonnet Beach, Edgewater Beach, and Beach Arlington into the borough of Ship Bottom-Arlington, later renamed Ship Bottom in 1947. Although the railroad bridge was washed out by a nor'easter in 1935 and subsequently abandoned, and the Life Saving Station was closed in 1949 or 1950, development in Ship Bottom continued to accelerate in the mid-twentieth century. In 1941, New Jersey Route S40 was extended from Manahawkin to Ship Bottom using the existing causeway, and in the 1950s the route was improved and renumbered Route 72 (Spicer-McGarry, 2018; Ship Bottom, 2023; U.S. Life Saving Service, 2023; Long Beach Island, 2023).

Significance: The residence at 2113 Ocean Avenue is associated with mid-twentieth-century development in Ship Bottom Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 2113 Ocean Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 2113 Ocean Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 1307 Ocean Avenue

Street Address: *Street #:* 1307 *N/A* *Apartment #:* N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A *Street Name:* Ocean *Suffix:* N/A *Type:* AVE

County(s): Ocean **Zip Code:** 08008

Municipality(s): Ship Bottom Borough **Block(s):** 77

Local Place Name(s): N/A **Lot(s):** 3

Ownership: Private **USGS Quad(s)** Hammonton

Description: The building at 1307 Ocean Avenue is a two-story circa 1974 vernacular residence with asphalt shingle roofing, vinyl siding, a two-story front porch, and roof level observation deck.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____

National Register: _____ Local Designation: _____

New Jersey Register: _____ Other Designation: _____

Determination of Eligibility: _____ Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023

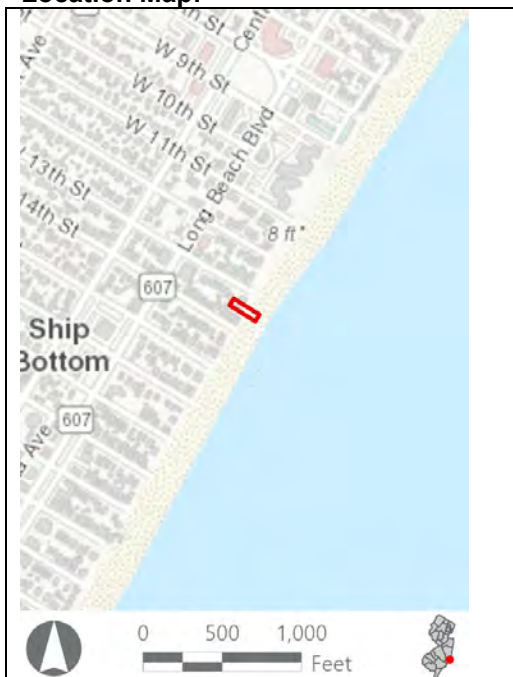
Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Borough of Ship Bottom, New Jersey. 2023. History of Ship Bottom. Available at <https://shipbottom.org/history-2/> (Accessed January 2023).

Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).

Spicer-McGarry, Susan. 2018. "Steam and Steel." Echoes of LBI Magazine. Available at <https://echoesoflbi.com/steam-steel/> (Accessed January 2023).

U.S. Life Saving Service Heritage Association. 2023. Ship Bottom Station Site. Available at <https://uslife-savingservice.org/station-sites/ship-bottom/> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name: <u>1307 Ocean Avenue</u>	
Historic Name: <u>N/A</u>	
Present Use: <u>Residential Activity, Permanent</u>	
Historic Use: <u>Residential Activity, Permanent</u>	
Construction Date: <u>1974</u>	Source: <u>Njtaxrecords.net</u>
Alteration Date(s): <u>N/A</u>	Source: <u>N/A</u>
Designer: <u>N/A</u>	Physical Condition: <u>Good</u>
Builder: <u>N/A</u>	Remaining Historic Fabric: <u>Low</u>
Style: <u>None</u>	
Form: <u>Other</u>	Stories: <u>2</u>
Type: <u>N/A</u>	Bays: <u>3</u>
Roof Finish Materials: <u>Asphalt Shingle</u>	
Exterior Finish Materials <u>Vinyl Siding</u>	

Exterior Description: The property at 1307 Ocean Avenue is a two-story split-level house clad in vinyl. The (southeast) façade has a two-story full-width porch. The fenestration is nearly identical on both stories. The façade features three pairs of sliding doors, and pairs of vinyl 1/1, double-hung windows on the side elevations. A small circular window is located between entrances on the first story. The two-story porch is constructed of wood planks, posts, and railings. A metal spiral staircase provides access from the second-story porch to a rooftop patio with wood railings. The side-gabled roof is clad in asphalt shingles.

Interior Description: N/A

Setting: The property at 1307 Ocean Avenue is a residential beachfront property. Just down the street from the property is direct beach access over the dunes on a sandy path. It is located on a narrow street in a residential neighborhood. Historic aerial imagery shows development in Ship Bottom throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with the entire area completely built-out by the 1970s. Today, Ship Bottom remains a popular summer destination, with a year-round population of 1,156 counted in the 2010 census and a summer population of approximately 20,000 (Ship Bottom, 2023).

Survey Name: <u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date: <u>February 24, 2023</u>
Surveyor: <u>Grant Johnson and Laura Mancuso</u>	
Organization: <u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>	

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ship Bottom is a borough in Ocean County, NJ, located on the barrier island of Long Beach Island. As early as 1690, Euro-American settlers used Long Beach Island seasonally for fishing, whaling, gathering plants, and harvesting sea salt, but present-day Ship Bottom remained relatively undeveloped until the late nineteenth century. According to local history, Ship Bottom got its name in 1817 after a woman was rescued from the overturned hull of a wrecked ship. Starting in 1886 with the construction of the Long Beach Railroad, Ship Bottom served as the main access from the mainland to Long Beach Island. The Life Saving Station (originally established in 1855) and railroad brought increased development to Ship Bottom. In 1898, the home of Captain Wesley Treux became the first permanent dwelling in Ship Bottom, and in the following decades, additional cottages and resorts popped up (Long Beach Island, 2023; Ship Bottom, 2023).

In 1914, a wooden automobile causeway was built connecting the island to the mainland, which was met with great excitement and sparked rapid development in Ship Bottom and the rest of Long Beach Island in the subsequent decades. In 1925, Ship Bottom incorporated with the nearby towns of Bonnie Beach, Bonnet Beach, Edgewater Beach, and Beach Arlington into the borough of Ship Bottom-Arlington, later renamed Ship Bottom in 1947. Although the railroad bridge was washed out by a nor'easter in 1935 and subsequently abandoned, and the Life Saving Station was closed in 1949 or 1950, development in Ship Bottom continued to accelerate in the mid-twentieth century. In 1941, New Jersey Route S40 was extended from Manahawkin to Ship Bottom using the existing causeway, and in the 1950s the route was improved and renumbered Route 72 (Spicer-McGarry, 2018; Ship Bottom, 2023; U.S. Life Saving Service, 2023; Long Beach Island, 2023).

Significance: The property at 1307 Ocean Avenue is associated with late-twentieth-century development in Ship Bottom Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1307 Ocean Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 1307 Ocean Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

Date: February 24,
2023

BASE FORM

Historic Sites #:

Property Name: 148 East 24th Street

Street Address: Street #: 148 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: 24th Suffix: N/A Type: ST

County(s): Ocean **Zip Code:** 08008

Municipality(s): Ship Bottom Borough **Block(s):** 29

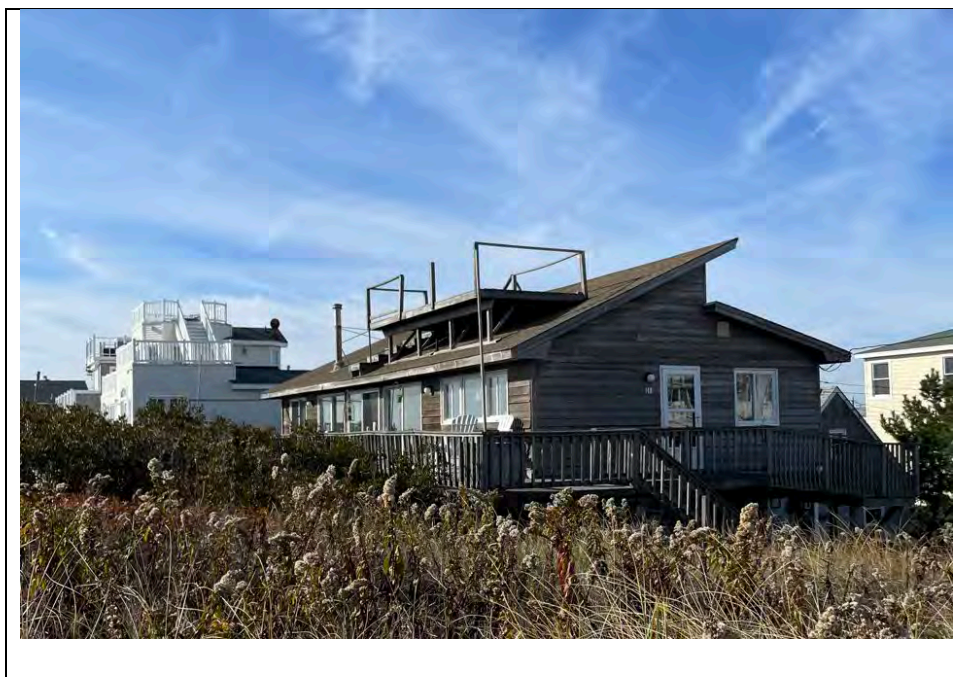
Local Place Name(s): N/A **Lot(s):** 2

Ownership: Private **USGS Quad(s)** Hammonton

Description: The building at 148 East 24th Street is a one-and-a-half-story circa 1975 Shed-style frame dwelling with an irregular shed roof and wood clapboard exterior cladding.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

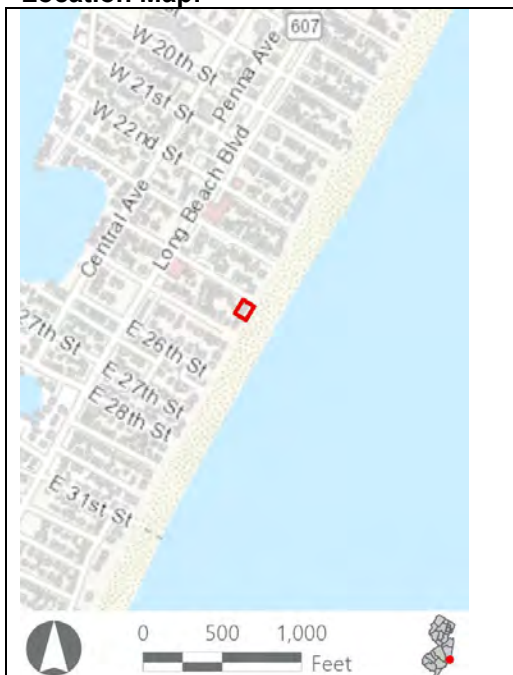


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Borough of Ship Bottom, New Jersey. 2023. History of Ship Bottom. Available at <https://shipbottom.org/history-2/> (Accessed January 2023).

Long Beach Island Chamber of Commerce. 2023. History of LBI. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).

Spicer-McGarry, Susan. 2018. "Steam and Steel." Echoes of LBI Magazine. Available at <https://echoesoflbi.com/steam-steel/> (Accessed January 2023).

U.S. Life Saving Service Heritage Association. 2023. Ship Bottom Station Site. Available at <https://uslife-savingservice.org/station-sites/ship-bottom/> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	148 East 24 th Street		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1975	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Medium
Style:	Other		
Form:	Irregular	Stories:	1.5
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Wood, Clapboard		

Exterior Description: The building at 148 East 24th Street is a one-story beachfront cottage with a shed roof. The building rests on wood pilings and features a wood wraparound porch. The (southeast) façade features three sets of sliding doors, a shortened vinyl picture window at the north corner, and a side-by-side, sliding-sash vinyl window at the southern corner. The rest of the house features side-by-side, sliding-sash vinyl windows. A metal door is on the northeast elevation. The façade-side roof slope has a flat wood rooftop patio accessed by a set of steps. The asphalt roof steps down at the ridgeline and the resulting half-story features small sliding-sash windows.

Interior Description: N/A

Setting: The building at 148 East 24th Street is a residential beachfront property. Adjacent to the property is direct beach access via stairs onto a wooden walkway over the dunes. It is located in a residential neighborhood, just off Long Beach Boulevard with commercial businesses nearby. Historic aerial imagery shows development in Ship Bottom throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with the entire area completely built-out by the 1970s. Today, Ship Bottom remains a popular summer destination, with a year-round population of 1,156 counted in the 2010 census and a summer population of approximately 20,000 (Ship Bottom, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ship Bottom is a borough in Ocean County, NJ, located on the barrier island of Long Beach Island. As early as 1690, Euro-American settlers used Long Beach Island seasonally for fishing, whaling, gathering plants, and harvesting sea salt, but present-day Ship Bottom remained relatively undeveloped until the late nineteenth century. According to local history, Ship Bottom got its name in 1817 after a woman was rescued from the overturned hull of a wrecked ship. Starting in 1886 with the construction of the Long Beach Railroad, Ship Bottom served as the main access from the mainland to Long Beach Island. The Life Saving Station (originally established in 1855) and railroad brought increased development to Ship Bottom. In 1898, the home of Captain Wesley Treux became the first permanent dwelling in Ship Bottom, and in the following decades, additional cottages and resorts popped up (Long Beach Island, 2023; Ship Bottom, 2023).

In 1914, a wooden automobile causeway was built connecting the island to the mainland, which was met with great excitement and sparked rapid development in Ship Bottom and the rest of Long Beach Island in the subsequent decades. In 1925, Ship Bottom incorporated with the nearby towns of Bonnie Beach, Bonnet Beach, Edgewater Beach, and Beach Arlington into the borough of Ship Bottom-Arlington, later renamed Ship Bottom in 1947. Although the railroad bridge was washed out by a nor'easter in 1935 and subsequently abandoned, and the Life Saving Station was closed in 1949 or 1950, development in Ship Bottom continued to accelerate in the mid-twentieth century. In 1941, New Jersey Route S40 was extended from Manahawkin to Ship Bottom using the existing causeway, and in the 1950s the route was improved and renumbered Route 72 (Spicer-McGarry, 2018; Ship Bottom, 2023; U.S. Life Saving Service, 2023; Long Beach Island, 2023).

Significance: The building at 148 East 24th Street is associated with late-twentieth-century development in Ship Bottom Borough. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 148 East 24th Street is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 128 East 24th Street is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24,
2023

BASE FORM

Historic Sites #:

Property Name: Women's Civic Club of Stone Harbor

Street Address: Street #: 12 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 96th Suffix: N/A Type: ST

County(s): Cape May **Zip Code:** 08247

Municipality(s): Stone Harbor Borough **Block(s):** 95.01

Local Place Name(s): N/A **Lot(s):** 9

Ownership: Non-profit **USGS Quad(s)** Atlantic City

Description: Women's Civic Club of Stone Harbor is a one-story gable roof building with a flat roof rectangular entry bay and pedimented gable porch. The building is surrounded by a parking lot.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

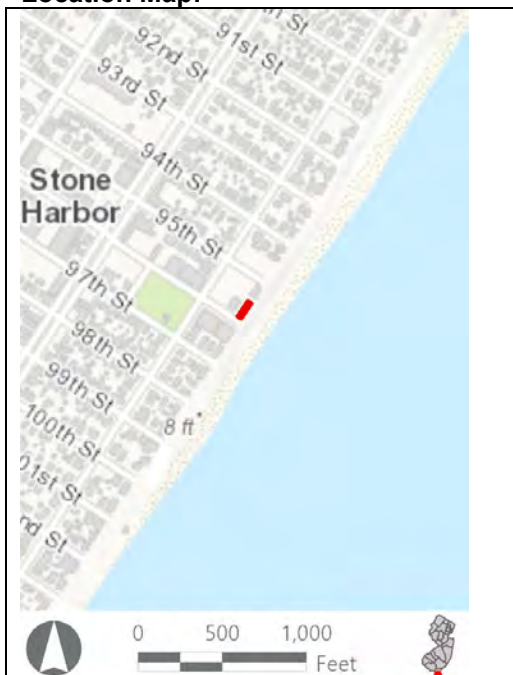
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: NETROnline (NETR). 2023. "Historic Aerials." Available at: <https://www.historicaerials.com/viewer> (Accessed February 2023).

Sanborn Map Company. 1890. *Sanborn Fire Insurance Map from New Jersey Coast, New Jersey Coast, New Jersey*. Sanborn Map Company, Vol. 4. Available at https://www.loc.gov/item/sanborn05568_003/.

The Shore Blog. 2021. "History of Stone Harbor." Available at: <https://theshoreblog.com/history-of-stone-harbor/#:~:text=In%201891%20a%20development%20company,was%20located%20near%2080th%20Street.> (Accessed February 2023).

VisitNJShore.com. 2023. "History of Avalon, NJ." Available at: <https://www.visitnjshore.com/avalon/history/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	12 96 th Street		
Historic Name:	N/A		
Present Use:	Commercial activity, office activity - private business		
Historic Use:	Commercial activity, office activity - private business		
Construction Date:	1963	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	1
Type:	N/A	Bays:	5
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Concrete		

Exterior Description: Women's Civic Club of Stone Harbor is a one-story gable roof building with a flat roof rectangular entry bay and pedimented gable porch. The façade is five bays with the outer bays extending beyond the wall surface of the side elevations. The center bay is recessed with the primary entrance. The porch is supported by turned posts and the pediment above is clad in wood shingles. The gable of the main block is clad in wood clapboard. The fenestration is 1/1 replacement sash and small horizontal slider sash. The building is surrounded by a parking lot.

Interior Description: N/A

Setting: The resource is in a residential neighborhood with sidewalks located along the shore. There are basketball courts nearby. Historic aerial photography shows Stone Harbor developing primarily within the grid of streets between 111th Street and 83rd Street in 1920, and dense development similar to today's configuration in place by 1956. By 1970, development between Avalon and Stone Harbor was complete, with the grid of streets appearing to be in the same configuration as today (NETR 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The borough of Stone Harbor is in the extreme southern section of Seven Mile Island in Cape May County. The first Euro-American settlement dates to 1722 when the barrier island was purchased by Aaron Leaming who used it for logging juniper and housing livestock. The island was purchased by the Seven Mile Beach Company in 1887 with the intention of creating a beach resort. In 1892, the Abbotsford Inn was constructed. The five-story hotel was the first residential building constructed in Stone Harbor and was quickly followed by the construction of seven individual “cottages” between present-day 80th and 83rd Streets. In 1907 the dunes surrounding the nascent settlement of Stone Harbor were graded, marshes were filled in, and a network of streets were paved to accommodate more development. Rapid development was spurred further by the arrival of a rail line connecting Cape May Courthouse to Stone Harbor in 1912, and shortly after a roadway and bridge at present-day 96th Street opened, allowing vehicular traffic from the mainland. Stone Harbor was officially incorporated in 1914 and a boardwalk, theatre, and fishing pier were constructed (VisitNJShore.com, 2023; Sanborn, 1909; Shore Blog, 2021).

Significance: Women’s Civic Club of Stone Harbor is associated with mid-twentieth-century development in Stone Harbor. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, Women’s Civic Club of Stone Harbor is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, Women’s Civic Club of Stone Harbor is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property’s significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 100 114th Street

Street Address: Street #: 100 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 114th Suffix: N/A Type: ST

County(s): Cape May **Zip Code:** 08247

Municipality(s): Stone Harbor Borough **Block(s):** 113.02

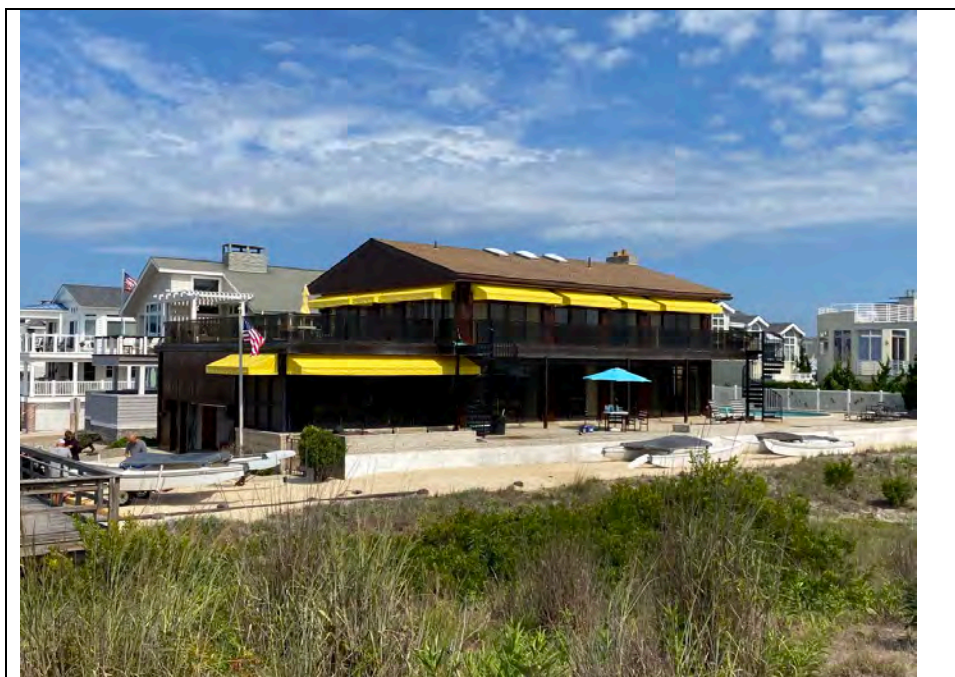
Local Place Name(s): N/A **Lot(s):** 19

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 100 114th Street is a two-story gable front house with large banks of windows on all sides and a large garage with a second-floor balcony facing the street. The building is partially obstructed by awnings.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

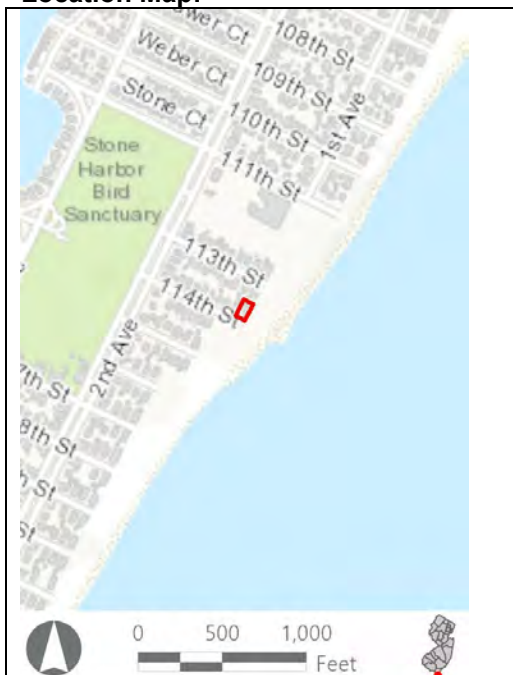


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: NETROnline (NETR). 2023. "Historic Aerials." Available at: <https://www.historicaerials.com/viewer> (Accessed February 2023).

Sanborn Map Company. 1890. *Sanborn Fire Insurance Map from New Jersey Coast, New Jersey Coast, New Jersey*. Sanborn Map Company, Vol. 4. Available at https://www.loc.gov/item/sanborn05568_003/.

The Shore Blog. 2021. "History of Stone Harbor." Available at: <https://theshoreblog.com/history-of-stone-harbor/#:~:text=In%201891%20a%20development%20company,was%20located%20near%2080th%20Street.> (Accessed February 2023).

VisitNJShore.com. 2023. "History of Avalon, NJ." Available at: <https://www.visitnjshore.com/avalon/history/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 100 114th Street
Historic Name: N/A
Present Use: Residential activity, permanent
Historic Use: Residential activity, permanent
Construction Date: 1979 **Source:** www.njtaxrecords.net
Alteration Date(s): N/A **Source:** N/A
Designer: N/A **Physical Condition:** Fair
Builder: N/A **Remaining Historic Fabric:** Low
Style: None
Form: Other **Stories:** 2
Type: N/A **Bays:** 4
Roof Finish Materials: Unknown
Exterior Finish Materials: Wood, Flushboard

Exterior Description: The building at 100 114th Street is a two-story gable front house with large banks of windows on all sides and a large, attached garage with a rooftop deck facing the street. The building is partially obstructed by awnings. The fenestration is symmetrical with three bays on the façade and four bays on the side elevations with floor-to-ceiling windows between structural piers. The exterior wall cladding appears to be vertical flushboard and the foundation is faced with rusticated blond brick on the street-facing side elevation. The foundation projects beyond the wall and forms a patio, above which is a second-story balcony supported by posts. A metal spiral staircase provides access to the balcony and to the deck over the garage.

Interior Description: N/A

Setting: The resource is in a residential neighborhood with sidewalks located along the shore. Historic aerial photography shows Stone Harbor developing primarily within the grid of streets between 111th Street and 83rd Street in 1920, and dense development similar to today's configuration in place by 1956. By 1970, development between Avalon and Stone Harbor was complete, with the grid of streets appearing to be in the same configuration as today (NETR 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The borough of Stone Harbor is in the extreme southern section of Seven Mile Island in Cape May County. The first Euro-American settlement dates to 1722 when the barrier island was purchased by Aaron Leaming who used it for logging juniper and housing livestock. The island was purchased by the Seven Mile Beach Company in 1887 with the intention of creating a beach resort. In 1892, the Abbotsford Inn was constructed. The five-story hotel was the first residential building constructed in Stone Harbor and was quickly followed by the construction of seven individual “cottages” between present-day 80th and 83rd Streets. In 1907 the dunes surrounding the nascent settlement of Stone Harbor were graded, marshes were filled in, and a network of streets were paved to accommodate more development. Rapid development was spurred further by the arrival of a rail line connecting Cape May Courthouse to Stone Harbor in 1912, and shortly after a roadway and bridge at present-day 96th Street opened, allowing vehicular traffic from the mainland. Stone Harbor was officially incorporated in 1914 and a boardwalk, theatre, and fishing pier were constructed (VisitNJShore.com, 2023; Sanborn, 1909; Shore Blog, 2021).

Significance: 100 114th Street is associated with late-twentieth-century development in Stone Harbor. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 100 114th Street is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 100 114th Street is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 2 102nd Street

Street Address: Street #: 2 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 102nd Suffix: N/A Type: ST

County(s): Cape May Zip Code: 08247

Municipality(s): Stone Harbor Borough Block(s): 101.01

Local Place Name(s): N/A Lot(s): 9.01

Ownership: Private USGS Quad(s) Atlantic City

Description: The building at 2 102nd Street is a two-story flat-roof house, with three-part picture windows, integrated awning, asbestos shingle siding, a second-floor balcony, and a detached garage.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: NETROnline (NETR). 2023. "Historic Aerials." Available at: <https://www.historicaerials.com/viewer> (Accessed February 2023).

Sanborn Map Company. 1890. *Sanborn Fire Insurance Map from New Jersey Coast, New Jersey Coast, New Jersey*. Sanborn Map Company, Vol. 4. Available at https://www.loc.gov/item/sanborn05568_003/.

The Shore Blog. 2021. "History of Stone Harbor." Available at: <https://theshoreblog.com/history-of-stone-harbor/#:~:text=In%201891%20a%20development%20company,was%20located%20near%2080th%20Street.> (Accessed February 2023).

VisitNJShore.com. 2023. "History of Avalon, NJ." Available at: <https://www.visitnjshore.com/avalon/history/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	2 102 nd Street		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1958	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	2
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Asbestos Siding		

Exterior Description: The building at 2 102nd Street is a two-story flat-roof house one-to-two bays wide and four-to-five bays deep. The fenestration is 1/1 replacement sash and picture windows with three-part horizontal divisions. An integrated awning projects from the façade and extends to the side elevations. The exterior wall cladding is asbestos shingle siding. There is a second-floor balcony on one side elevation. The detached garage is two stories with a flat roof, asbestos siding, and a single 1/1 sash.

Interior Description: N/A

Setting: The resource is in a residential neighborhood adjacent to Stone Harbor Beach. Historic aerial photography shows Stone Harbor developing primarily within the grid of streets between 111th Street and 83rd Street in 1920, and dense development similar to today's configuration in place by 1956. By 1970, development between Avalon and Stone Harbor was complete, with the grid of streets appearing to be in the same configuration as today (NETR 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The borough of Stone Harbor is in the extreme southern section of Seven Mile Island in Cape May County. The first Euro-American settlement dates to 1722 when the barrier island was purchased by Aaron Leaming who used it for logging juniper and housing livestock. The island was purchased by the Seven Mile Beach Company in 1887 with the intention of creating a beach resort. In 1892, the Abbotsford Inn was constructed. The five-story hotel was the first residential building constructed in Stone Harbor and was quickly followed by the construction of seven individual “cottages” between present-day 80th and 83rd Streets. In 1907 the dunes surrounding the nascent settlement of Stone Harbor were graded, marshes were filled in, and a network of streets were paved to accommodate more development. Rapid development was spurred further by the arrival of a rail line connecting Cape May Courthouse to Stone Harbor in 1912, and shortly after a roadway and bridge at present-day 96th Street opened, allowing vehicular traffic from the mainland. Stone Harbor was officially incorporated in 1914 and a boardwalk, theatre, and fishing pier were constructed (VisitNJShore.com, 2023; Sanborn, 1909; Shore Blog, 2021).

Significance: 2 102nd Street is associated with mid-twentieth-century development in Stone Harbor. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 2 102nd Street is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 2 102nd Street is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 5 98th Street

Street Address: Street #: 5 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 98th Suffix: N/A Type: ST

County(s): Cape May Zip Code: 08247

Municipality(s): Stone Harbor Borough Block(s): 98.01

Local Place Name(s): N/A Lot(s): 10.02

Ownership: Private USGS Quad(s) Atlantic City

Description: The building at 5 98th Street is a two-story side-gabled residence located on the beachfront with an overhanging second story and a front porch with a rooftop balcony.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

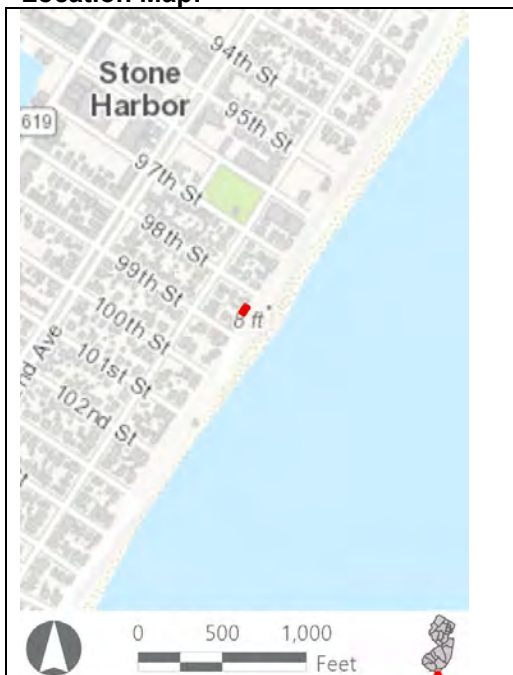


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: NETROnline (NETR). 2023. "Historic Aerials." Available at: <https://www.historicaerials.com/viewer> (Accessed February 2023).

Sanborn Map Company. 1890. *Sanborn Fire Insurance Map from New Jersey Coast, New Jersey Coast, New Jersey*. Sanborn Map Company, Vol. 4. Available at https://www.loc.gov/item/sanborn05568_003/.

The Shore Blog. 2021. "History of Stone Harbor." Available at: <https://theshoreblog.com/history-of-stone-harbor/#:~:text=In%201891%20a%20development%20company,was%20located%20near%2080th%20Street>. (Accessed February 2023).

VisitNJShore.com. 2023. "History of Avalon, NJ." Available at: <https://www.visitnjshore.com/avalon/history/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	5 98 th Street		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1962	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingles		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 5 98th Street is a two-story side-gabled residence located on the beachfront with an overhanging second story and a front porch with a rooftop balcony. The exterior walls are clad with wood clapboard. There are three bays with patio doors on the first-story façade and a single bay with patio doors on the second story. A fabric awning extends over the second-story bay. The porch has square supports and there is a simple balustrade on the balcony. A brick end chimney extends above the roofline. The fenestration on the side elevations is irregular with 1/1 replacement sash.

Interior Description: N/A

Setting: The resource is in a residential neighborhood with sidewalks located along the shore. Historic aerial photography shows Stone Harbor developing primarily within the grid of streets between 111th Street and 83rd Street in 1920, and dense development similar to today's configuration in place by 1956. By 1970, development between Avalon and Stone Harbor was complete, with the grid of streets appearing to be in the same configuration as today (NETR 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The borough of Stone Harbor is in the extreme southern section of Seven Mile Island in Cape May County. The first Euro-American settlement dates to 1722 when the barrier island was purchased by Aaron Leaming who used it for logging juniper and housing livestock. The island was purchased by the Seven Mile Beach Company in 1887 with the intention of creating a beach resort. In 1892, the Abbotsford Inn was constructed. The five-story hotel was the first residential building constructed in Stone Harbor and was quickly followed by the construction of seven individual “cottages” between present-day 80th and 83rd Streets. In 1907 the dunes surrounding the nascent settlement of Stone Harbor were graded, marshes were filled in, and a network of streets were paved to accommodate more development. Rapid development was spurred further by the arrival of a rail line connecting Cape May Courthouse to Stone Harbor in 1912, and shortly after a roadway and bridge at present-day 96th Street opened, allowing vehicular traffic from the mainland. Stone Harbor was officially incorporated in 1914 and a boardwalk, theatre, and fishing pier were constructed (VisitNJShore.com, 2023; Sanborn, 1909; Shore Blog, 2021).

Significance: 5 98th Street is associated with mid-twentieth-century development in Stone Harbor. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 5 98th Street is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 5 98th Street is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 1 92nd Street

Street Address: Street #: 1 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 92nd Suffix: N/A Type: ST

County(s): Cape May Zip Code: 08247

Municipality(s): Stone Harbor Borough Block(s): 92.01

Local Place Name(s): N/A Lot(s): 10

Ownership: Private USGS Quad(s) Atlantic City

Description: The building at 1 92nd Street is a two-story house divided into two sections. The main block has a shed roof and a second-story balcony. A secondary block, with a shallow-hipped roof, projects forward of the main block on the north elevation. There is a two-story recessed entry bay facing the street. There is also a rear ell not visible from the beach.

Registration and Status Dates:

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

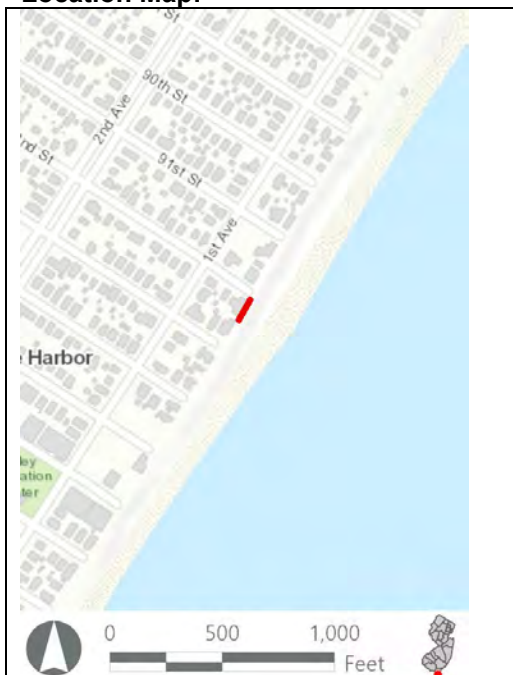
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: NETROnline (NETR). 2023. "Historic Aerials." Available at: <https://www.historicaerials.com/viewer> (Accessed February 2023).

Sanborn Map Company. 1890. *Sanborn Fire Insurance Map from New Jersey Coast, New Jersey Coast, New Jersey*. Sanborn Map Company, Vol. 4. Available at https://www.loc.gov/item/sanborn05568_003/.

The Shore Blog. 2021. "History of Stone Harbor." Available at: <https://theshoreblog.com/history-of-stone-harbor/#:~:text=In%201891%20a%20development%20company,was%20located%20near%2080th%20Street.> (Accessed February 2023).

VisitNJShore.com. 2023. "History of Avalon, NJ." Available at: <https://www.visitnjshore.com/avalon/history/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	1 92 nd Street		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1953	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	12
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 1 92nd Street is a two-story house divided into two sections. The main block has a shed roof and a second-story balcony. It has 12 bays on the first-story façade with 1/1 replacement sash and a pedestrian door. The southernmost bay on the second story is slightly lower than the rest of the main block and projects beyond the wall surface of the façade. Fenestration on the second story appears to be fixed or casement sash. A secondary block, with a shallow-hipped roof, projects forward of the main block on the north elevation and is fenestrated with casement sash, and oriel and ocular windows. There is a two-story recessed entry bay facing the street. There is also a rear ell not visible from the beach. Overall, the building is clad in vinyl siding.

Interior Description: N/A

Setting: The resource is in a residential neighborhood with sidewalks located along the shore with a boardwalk. Historic aerial photography shows Stone Harbor developing primarily within the grid of streets between 111th Street and 83rd Street in 1920, and dense development similar to today's configuration in place by 1956. By 1970, development between Avalon and Stone Harbor was complete, with the grid of streets appearing to be in the same configuration as today (NETR 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The borough of Stone Harbor is in the extreme southern section of Seven Mile Island in Cape May County. The first Euro-American settlement dates to 1722 when the barrier island was purchased by Aaron Leaming who used it for logging juniper and housing livestock. The island was purchased by the Seven Mile Beach Company in 1887 with the intention of creating a beach resort. In 1892, the Abbotsford Inn was constructed. The five-story hotel was the first residential building constructed in Stone Harbor and was quickly followed by the construction of seven individual “cottages” between present-day 80th and 83rd Streets. In 1907 the dunes surrounding the nascent settlement of Stone Harbor were graded, marshes were filled in, and a network of streets were paved to accommodate more development. Rapid development was spurred further by the arrival of a rail line connecting Cape May Courthouse to Stone Harbor in 1912, and shortly after a roadway and bridge at present-day 96th Street opened, allowing vehicular traffic from the mainland. Stone Harbor was officially incorporated in 1914 and a boardwalk, theatre, and fishing pier were constructed (VisitNJShore.com, 2023; Sanborn, 1909; Shore Blog, 2021).

Significance: 1 92nd Street is associated with mid-twentieth-century development in Stone Harbor. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1 92nd Street is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 1 92nd Street is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 601 North Ocean Avenue

Street Address: Street #: 601 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: Ocean Suffix: N/A Type: AVE

County(s): Ocean **Zip Code:** 08008

Municipality(s): Surf City Borough **Block(s):** 23

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Hammonton

Description: The building at 601 North Ocean Avenue is a circa 1955 one-and-one-half-story Cape Cod with asbestos siding and a wooden deck.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

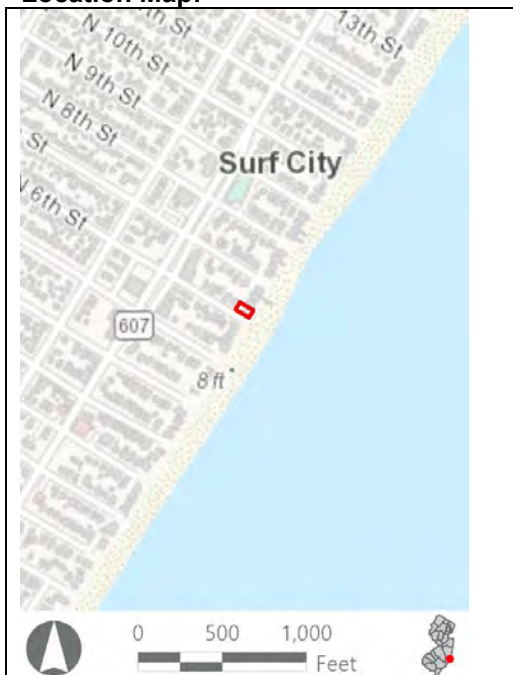


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Heritage Studies, Inc. 1981. *Long Beach Island*. New Jersey Historic Sites Inventory, Ocean County Vol. 35. Available at https://nj.gov/dep/hpo/hrrcn_sandy_OCE_GB_147_148_PDF/OCE_GB_148_v35.pdf (Accessed January 2023).
Lloyd, J.B. 1994. *Eighteen Miles of History on Long Beach Island*. Down the Shore Publishing, West Creek, NJ.
Long Beach Island Chamber of Commerce. 2023. *History of LBI*. Available at <https://welcometolbi.com/about/history-of-lbi/> (Accessed January 2023).
Snyder, J.F. 2004. *The Story of New Jersey's Civil Boundaries, 1606-1968*. New Jersey Geological Survey, Trenton, NJ.
Spicer-McGarry, S. 2018. "Steam and Steel." *Echoes of LBI Magazine*. Available at <https://echoesoflbi.com/steam-steel/> (Accessed January 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 601 North Ocean Avenue

Historic Name: N/A

Present Use: Residential Activity, Permanent

Historic Use: Residential Activity, Permanent

Construction Date: 1955 **Source:** www.njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Fair

Builder: N/A **Remaining Historic Fabric:** Low

Style: None

Form: Cape Cod **Stories:** 1.5

Type: N/A **Bays:** 3

Roof Finish Materials: Asphalt Shingle

Exterior Finish Materials: Asbestos Siding

Exterior Description: The building at 601 North Ocean Avenue is a one-and-one-half-story Cape Cod with asbestos siding and a wooden deck. The beach-facing elevation is three bays with a central entrance. The entry is flanked by a picture window and a pair of 1/1 replacement sash. The side elevations are two bays with 1/1 replacement sash. A small 1/1 sash is located in the gable and a shed roof dormer on the rear elevation provides light to the interior of the half-story.

Interior Description: N/A

Setting: The building at 601 North Ocean Avenue is an oceanfront property surrounded by like buildings with direct beach access. Historic aerial imagery shows development in Surf City throughout the first half and middle of the twentieth century, starting primarily in the 1930s and culminating with the entire area completely built-out by the 1970s. Today, most of the borough consists of private developments and enclaves. The borough is a popular summer destination.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Surf City is a borough in Ocean County located on the barrier island of Long Beach Island. Present-day Surf City is the location of the first Euro-American settlement on Long Beach Island in the eighteenth century, a whaling settlement known as Great Swamp. The area was also home to one of the first major hotels on Long Beach Island, the Mansion of Health which was built in 1822. The hotel attracted summer visitors but development in the area remained limited throughout most of the nineteenth century. The community of Long Beach City was established in 1873. In 1886, the area became accessible directly by railroad with the construction of the Long Beach Railroad, stimulating growth and development. The borough was incorporated in 1894 and renamed Surf City in 1899 to prevent confusion with other municipalities with similar names. In 1914, Surf City became accessible by automobile with the construction of a causeway over Barnegat Bay and a boulevard across the island. The construction of the Garden State Parkway in 1955 spurred additional development to accommodate more visitors (Heritage Studies, Inc., 1981; Long Beach Island, 2023; Lloyd, 1994; Snyder, 2004; Spicer-McGarry, 2018).

Significance: 601 North Ocean Avenue is associated with mid-twentieth-century development in Upper Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 601 North Ocean Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 601 North Ocean Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 30 East Seacliff Avenue

Street Address: Street #: 30 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: Seacliff Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08248

Municipality(s): Upper Township **Block(s):** 857

Local Place Name(s): N/A **Lot(s):** 8.02

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 30 East Seacliff Avenue is a one-story ranch house with a two-bay garage. The house is set back from the road with heavy tree cover.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

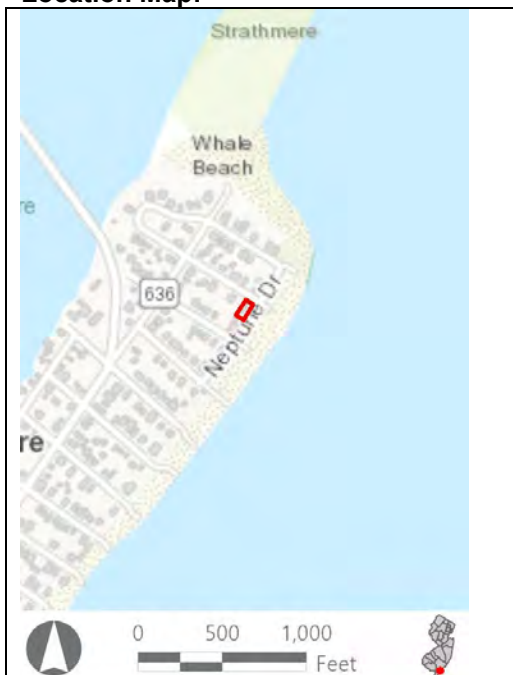


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Holden, R.F. 2020. *Upper Township and Its Ten Villages*. Arcadia Publishing, Charleston, SC. Available at https://books.google.com/books?id=0nTADwAAQBAJ&pg=PA7&source=gbs_toc_r&cad=3#v=onepage&q&f=false (Accessed February 2023).
Rand McNally and Company. 1897. *Rand, McNally & Co.'s New Business Atlas Map of New Jersey*. Rand McNally and Company, Chicago, IL.
Upper Township, New Jersey. 2023. *History*. Available at <https://uppertownship.com/general-information/history/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 30 East Seacliff Avenue

Historic Name: N/A

Present Use: Residential activity, permanent

Historic Use: Residential activity, permanent

Construction Date: 1962 **Source:** www.njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Good

Builder: N/A **Remaining Historic Fabric:** Low

Style: None

Form: Ranch **Stories:** 1

Type: N/A **Bays:** 2

Roof Finish Materials: Asphalt Shingle

Exterior Finish Materials Wood, Other

Exterior Description: The building at 30 East Seacliff Avenue is a one-story ranch house with a two-bay garage. The house is set back from the road with heavy tree cover. The building is constructed on a rectangular with a wide and shallow pitched roof. The exterior wall cladding appears to be T111. Visible fenestration appears to be casement sash and a paired fixed sash with awning sash below. The entrance is not observable from the public right of way.

Interior Description: N/A

Setting: The building at 30 East Seacliff Avenue is in a residential neighborhood located right along the shoreline. The township consists of several unincorporated communities, including Beesleys Point, Marmora, Palermo, Seaville, Greenfield, Petersburg, Tuckahoe, Marshallville, Steelmantown, and Strathmere. Most of the township is on the mainland, except for Strathmere, which is located on the barrier island of Ludlam Island. Upper Township remains predominantly comprised of small communities with a lot of undeveloped land, including the Tuckahoe Wildlife Management Area in the northeast part of the township.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Upper Township is the northernmost township in Cape May County. One of the original New Jersey townships, Upper Township was incorporated in 1798. For much of the nineteenth century, it was predominantly a fishing, oystering, and farming community and overall had limited development. By the late-nineteenth century, the West Jersey Railroad connected the villages of Tuckahoe, Petersburg, and Seaville. As seaside resorts on the neighboring barrier islands became more popular in the early twentieth century, some villages in Upper Township became popular stops for automobile traffic along the way. General stores and gas stations flourished in villages like Beesley's Point, Marmora, and Palermo. In 1926, a bridge was built connecting Tuckahoe to Corbin City across the Tuckahoe River, and in 1928 the Beesley's Point Bridge was built across Great Egg Harbor. These bridges made Upper Township more accessible from the north and stimulated growth as developers bought more land and built homes and businesses. The construction of the Garden State Parkway through the eastern part of Upper Township in 1954 allowed summer tourists to bypass the communities in the township on their way to the seaside resorts, reducing business in the gas stations and general stores throughout the township (Holden, 2020; Rand McNally, 1897; Upper Township, 2023).

Significance: 30 East Seacliff Avenue is associated with mid-twentieth-century development in Upper Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 30 East Seacliff Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 30 East Seacliff Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 1 East Seaview Avenue

Street Address: Street #: 1 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: Seaview Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08248

Municipality(s): Upper Township **Block(s):** 862

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 1 East Seaview Avenue is a two-and-one-half-story elevated gable-front house, with the first story being the garage and stairs leading up to a porch on the second story.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

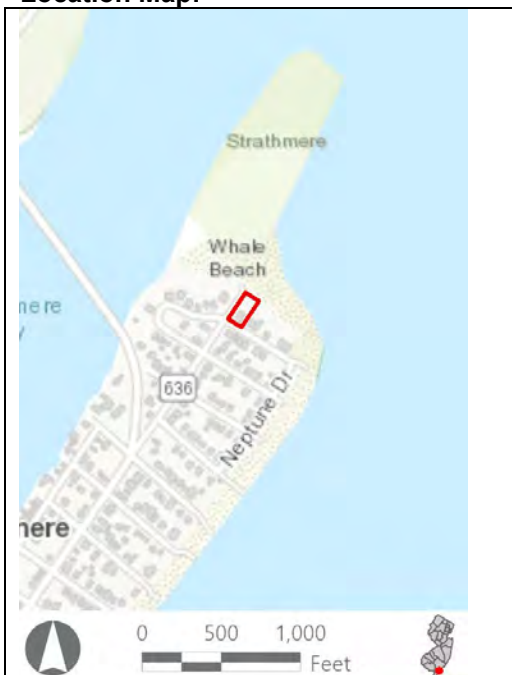
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Holden, R.F. 2020. *Upper Township and Its Ten Villages*. Arcadia Publishing, Charleston, SC. Available at https://books.google.com/books?id=0nTADwAAQBAJ&pg=PA7&source=gbs_toc_r&cad=3#v=onepage&q&f=false (Accessed February 2023).
Rand McNally and Company. 1897. *Rand, McNally & Co.'s New Business Atlas Map of New Jersey*. Rand McNally and Company, Chicago, IL.
Upper Township, New Jersey. 2023. *History*. Available at <https://uppertownship.com/general-information/history/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	1 East Seaview Avenue		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1950	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Gable Front	Stories:	2.5
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingles		
Exterior Finish Materials	Asbestos Siding		

Exterior Description: The building at 1 East Seaview Avenue is a two-and-one-half-story elevated gable-front house, with the first story being the garage. The house is two bays on the street-facing elevation with the right bay projected. The gabled roof of the main block has wide shed-roof dorms on either side of the roof. The roof eaves feature exposed rafter tails on the main block, projection, and dormers. The side elevations are three bays. There is a hipped roof porch with exposed rafter tails and square supports located one the second story of one of the side elevations. Though open, the interior of the porch is obscured by fabric awnings so it is unclear if this is the location of the building entrance. Two flights of wooden steps provide exterior access to the porch. The fenestration overall is 1/1 replacement sash either singly, in pairs, or grouped in threes. The first story is parged masonry.

Interior Description: N/A

Setting: The building at 1 East Seaview Avenue is in a residential neighborhood with sidewalks located along the shoreline. The township consists of several unincorporated communities, including Beesleys Point, Marmora, Palermo, Seaville, Greenfield, Petersburg, Tuckahoe, Marshallville, Steelmantown, and Strathmere. Most of the township is on the mainland, except for Strathmere, which is located on the barrier island of Ludlam Island. Upper Township remains predominantly comprised of small communities with a lot of undeveloped land, including the Tuckahoe Wildlife Management Area in the northeast part of the township.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Upper Township is the northernmost township in Cape May County. One of the original New Jersey townships, Upper Township was incorporated in 1798. For much of the nineteenth century, it was predominantly a fishing, oystering, and farming community and overall had limited development. By the late-nineteenth century, the West Jersey Railroad connected the villages of Tuckahoe, Petersburg, and Seaville. As seaside resorts on the neighboring barrier islands became more popular in the early twentieth century, some villages in Upper Township became popular stops for automobile traffic along the way. General stores and gas stations flourished in villages like Beesley's Point, Marmora, and Palermo. In 1926, a bridge was built connecting Tuckahoe to Corbin City across the Tuckahoe River, and in 1928 the Beesley's Point Bridge was built across Great Egg Harbor. These bridges made Upper Township more accessible from the north and stimulated growth as developers bought more land and built homes and businesses. The construction of the Garden State Parkway through the eastern part of Upper Township in 1954 allowed summer tourists to bypass the communities in the township on their way to the seaside resorts, reducing business in the gas stations and general stores throughout the township (Holden, 2020; Rand McNally, 1897; Upper Township, 2023).

Significance: 1 East Seaview Avenue is associated with mid-twentieth-century development in Upper Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1 East Seaview Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 1 East Seaview Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 26 East Sumner Avenue

Street Address: Street #: 26 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: Sumner Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08248

Municipality(s): Upper Township **Block(s):** 834

Local Place Name(s): N/A **Lot(s):** 7

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 26 East Sumner Avenue is a three-story house with a two-tier shed roof, curved façade, stucco siding, tall and narrow windows, and overall asymmetrical massing.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:



Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Holden, R.F. 2020. *Upper Township and Its Ten Villages*. Arcadia Publishing, Charleston, SC. Available at https://books.google.com/books?id=0nTADwAAQBAJ&pg=PA7&source=gbs_toc_r&cad=3#v=onepage&q&f=false (Accessed February 2023).
Rand McNally and Company. 1897. *Rand, McNally & Co.'s New Business Atlas Map of New Jersey*. Rand McNally and Company, Chicago, IL.
Upper Township, New Jersey. 2023. *History*. Available at <https://uppertownship.com/general-information/history/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 26 East Sumner Avenue

Historic Name: N/A

Present Use: Residential activity, permanent

Historic Use: Residential activity, permanent

Construction Date: 1965 **Source:** www.njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Good

Builder: N/A **Remaining Historic Fabric:** Low

Style: Other

Form: Other **Stories:** 3

Type: N/A **Bays:** 3

Roof Finish Materials: Unknown

Exterior Finish Materials Stucco

Exterior Description: The building at 26 East Sumner Avenue is a three-story is a circa 1965 Modern house. The dwelling has an overall asymmetrical massing with a two-tier shed roof. The façade is three bays with the center and right bays curved. The primary entrance is in the central bay and is flanked by sidelights. The siding is stucco, and the fenestration is tall and narrow sash.

Interior Description: N/A

Setting: The building at 26 East Sumner Avenue is in a residential neighborhood located along the shore. The township consists of several unincorporated communities, including Beesleys Point, Marmora, Palermo, Seaville, Greenfield, Petersburg, Tuckahoe, Marshallville, Steelmantown, and Strathmere. Most of the township is on the mainland, except for Strathmere, which is located on the barrier island of Ludlam Island. Upper Township remains predominantly comprised of small communities with a lot of undeveloped land, including the Tuckahoe Wildlife Management Area in the northeast part of the township.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Upper Township is the northernmost township in Cape May County. One of the original New Jersey townships, Upper Township was incorporated in 1798. For much of the nineteenth century, it was predominantly a fishing, oystering, and farming community and overall had limited development. By the late-nineteenth century, the West Jersey Railroad connected the villages of Tuckahoe, Petersburg, and Seaville. As seaside resorts on the neighboring barrier islands became more popular in the early twentieth century, some villages in Upper Township became popular stops for automobile traffic along the way. General stores and gas stations flourished in villages like Beesley's Point, Marmora, and Palermo. In 1926, a bridge was built connecting Tuckahoe to Corbin City across the Tuckahoe River, and in 1928 the Beesley's Point Bridge was built across Great Egg Harbor. These bridges made Upper Township more accessible from the north and stimulated growth as developers bought more land and built homes and businesses. The construction of the Garden State Parkway through the eastern part of Upper Township in 1954 allowed summer tourists to bypass the communities in the township on their way to the seaside resorts, reducing business in the gas stations and general stores throughout the township (Holden, 2020; Rand McNally, 1897; Upper Township, 2023).

Significance: 26 East Sumner Avenue is associated with mid-twentieth-century development in Upper Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 26 East Sumner Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 26 East Sumner Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 5200 Boardwalk

Street Address: Street #: 5200 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Boardwalk Suffix: N/A Type: N/A

County(s): Atlantic **Zip Code:** 08406

Municipality(s): Ventnor City **Block(s):** 9

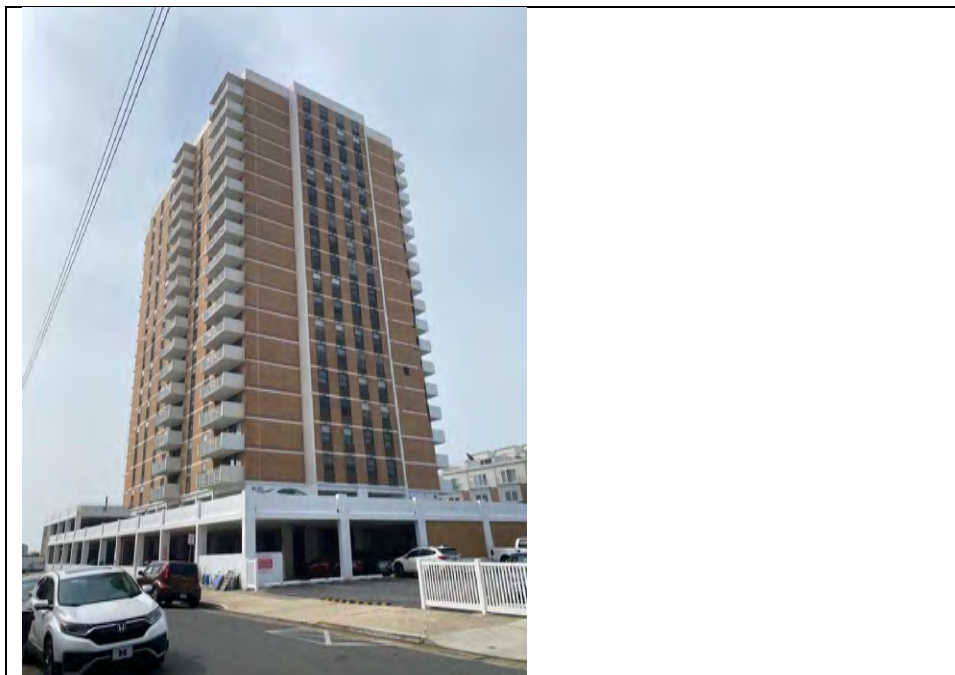
Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 5200 Boardwalk is an eighteen-story, circa 1974, high-rise apartment building consisting of a tower rising from a concrete plinth, with a flat roof, brick curtain wall cladding, and concrete balconies and belt courses.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

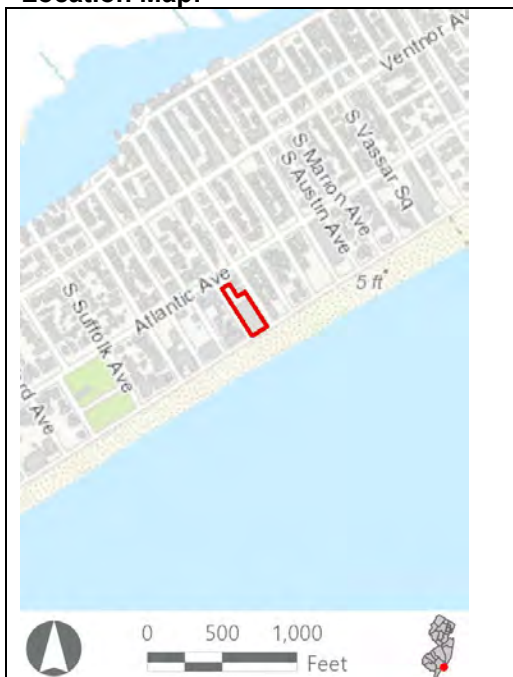


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Smith, Sarah Thompson. 1963. *The History of Ventnor, New Jersey*. Available at <https://downbeachbuzz.com/wp-content/uploads/2015/11/History-Of-Ventnor.pdf> (Accessed February 2023).

Ventnor City, New Jersey. 2022. The History of Ventnor City. Available at: <https://www.ventnorchity.org/the-history-of-ventnor-city> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	5200 Boardwalk		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1974	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	High
Style:	Modernistic		
Form:	Apartment	Stories:	18
Type:	N/A	Bays:	7
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Brick		

Exterior Description: The building at 5200 Boardwalk is a circa 1974 high-rise apartment building located directly on the Ventnor City boardwalk and facing the Atlantic Ocean. The building has a rectangular footprint and consists of an eighteen-story tower rising above a one-to-two-story plinth containing vehicle parking, a primary entrance at grade on the southwest elevation, and a swimming pool at the upper deck of the plinth on the beach-facing southeast elevation. The upper floors have brick curtain walls with concrete belt courses at each floor and are characterized by repetitive bays of projecting concrete balconies with sliding glass doors and window bays with aluminum 1/1 windows and louvered aluminum spandrels.

Interior Description: N/A

Setting: The building at 5200 Boardwalk is in a beachfront residential area surrounded by detached and multi-unit residential development of the early twentieth through the early twenty-first centuries. The building is one half block southeast of Atlantic Avenue, which forms one of Ventnor City's main thoroughfares. 5200 Boardwalk has direct beach access across the Ventnor City boardwalk. Historic aerial imagery shows the southern part of Ventnor City fully developed by 1920, with development north of the Inside Thorofare through the first half of the twentieth century, culminating in the present-day level of development by the 1960s. Today, portions of the northern part of the city remain undeveloped marshland, and the rest of the city mainly consists of private developments and enclaves. Ventnor City remains a popular summer resort (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ventnor City is in Atlantic County and is situated on Absecon Island south of Atlantic City and north of Margate. Ventnor City remained undeveloped hills and meadows through most of the nineteenth century, even while Atlantic City and South Atlantic City (present-day Margate) grew and developed in the mid- and late-nineteenth century. In 1881, the Camden and Atlantic Railroad connected Atlantic City to Margate through Ventnor, requiring the grading of many of the hills in the area. In 1888, the Camden and Atlantic Land Company built a train station in Ventnor City, providing direct passenger access to the area for the first time. The land company subsequently built three cottages. The name "Ventnor" was chosen in 1889, referencing the seaside resort in Ventnor, England (Smith, 1963).

By the turn of the twentieth century, the lowland marshes in Ventnor were filled, and Ventnor had several houses, a post office, and a few additional buildings. In 1900, the county built the Longport Speedway, a gravel road connecting Atlantic City to Longport through Ventnor. Ventnor City was officially incorporated in 1903. Following incorporation, the city continued to develop, adding additional houses, bath houses, a newspaper, a boat works, a pharmacy, and a boardwalk over the next decade. The twentieth century saw increased development, solidifying Ventnor City as a popular summer resort (Smith, 1963; Ventnor City, 2022).

5600 Boardwalk was completed in 1974 and is one of a handful of high-rise condominiums in an area that was densely developed in the early twentieth century as an upscale beach cottage community.

Significance: The building at 5600 Boardwalk is associated with late-twentieth-century development in Ventnor City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 5600 Boardwalk is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 5600 Boardwalk is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 110 South Amherst Avenue

Street Address: Street #: 110 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: Amherst Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08406

Municipality(s): Ventnor City **Block(s):** 8

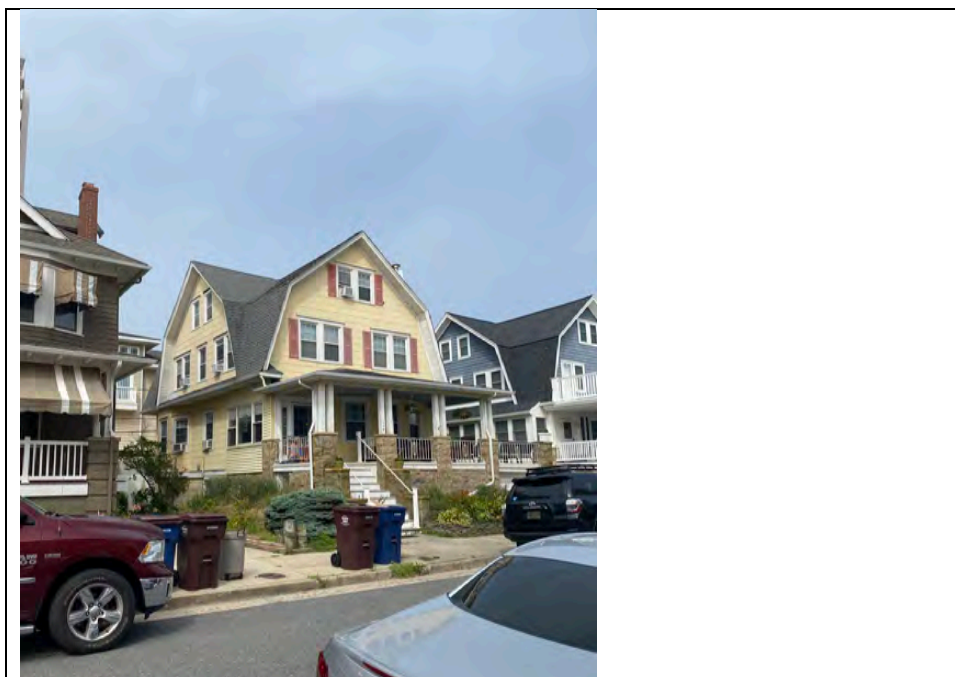
Local Place Name(s): N/A **Lot(s):** 10

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 110 South Amherst Avenue is a two-and-one-half-story, circa 1913 Dutch Colonial Revival residence with a gambrel roof, asbestos siding, and a full-width porch with stone piers and paired and triple square columns.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

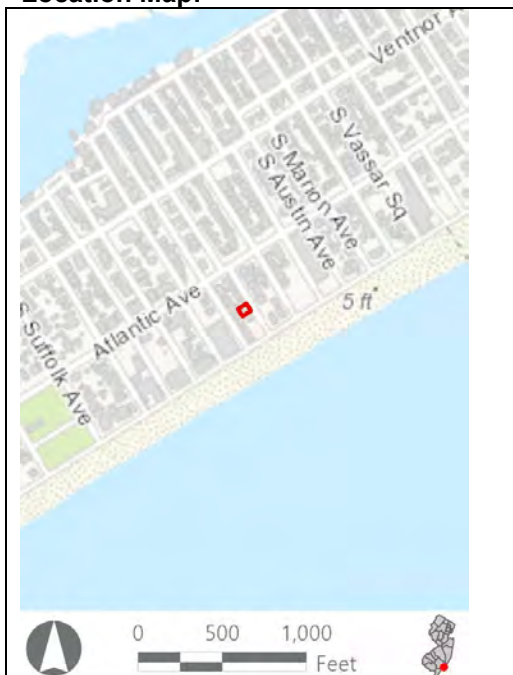


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Smith, Sarah Thompson. 1963. *The History of Ventnor, New Jersey*. Available at <https://downbeachbuzz.com/wp-content/uploads/2015/11/History-Of-Ventnor.pdf> (Accessed February 2023).

Ventnor City, New Jersey. 2022. The History of Ventnor City. Available at: <https://www.ventnorchity.org/the-history-of-ventnor-city> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	110 South Amherst Avenue		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1913	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Medium
Style:	Dutch Colonial Revival		
Form:	Other	Stories:	3
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Asbestos Siding		

Exterior Description: The building at 110 South Amherst Avenue is a two-and-one-half-story, circa 1913 Dutch Colonial Revival residence with a cross-gambrel roof and a full-width porch with stone piers and paired and triple square columns. A partially below-grade garage is attached to the northwest elevation and the roof of the garage forms an extension of the entry porch. The building has an asphalt shingle roof, asbestos siding, and vinyl windows with simulated divided lights.

Interior Description: N/A

Setting: The building at 110 South Amherst Avenue is in a beachfront residential area surrounded by detached and multi-unit development of the early twentieth through the early twenty-first centuries. This block of South Amherst Avenue is a relatively intact collection of early-twentieth-century upscale beach cottages rendered in various popular styles of the period. The building is one-half block southeast of Atlantic Avenue, which forms one of Ventnor City's main thoroughfares. Public beach access is available across the Ventnor City boardwalk. Historic aerial imagery shows the southern part of Ventnor City fully developed by 1920, with development north of the Inside Thorofare through the first half of the twentieth century, culminating in the present-day level of development by the 1960s. Today, portions of the northern part of the city remain undeveloped marshland, and the rest of the city mainly consists of private developments and enclaves. Ventnor City remains a popular summer resort (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ventnor City is in Atlantic County and is situated on Absecon Island south of Atlantic City and north of Margate. Ventnor City remained undeveloped hills and meadows through most of the nineteenth century, even while Atlantic City and South Atlantic City (present-day Margate) grew and developed in the mid- and late-nineteenth century. In 1881, the Camden and Atlantic Railroad connected Atlantic City to Margate through Ventnor, requiring the grading of many of the hills in the area. In 1888, the Camden and Atlantic Land Company built a train station in Ventnor City, providing direct passenger access to the area for the first time. The land company subsequently built three cottages. The name "Ventnor" was chosen in 1889, referencing the seaside resort in Ventnor, England (Smith, 1963).

By the turn of the twentieth century, the lowland marshes in Ventnor were filled, and Ventnor had several houses, a post office, and a few additional buildings. In 1900, the county built the Longport Speedway, a gravel road connecting Atlantic City to Longport through Ventnor. Ventnor City was officially incorporated in 1903. Following incorporation, the city continued to develop, adding additional houses, bath houses, a newspaper, a boat works, a pharmacy, and a boardwalk over the next decade. The twentieth century saw increased development, solidifying Ventnor City as a popular summer resort (Smith, 1963; Ventnor City, 2022).

The building at 110 South Amherst Avenue was completed in about 1913 as part of a development of upscale beachfront cottages.

Significance: The building at 110 South Amherst Avenue is associated with early-twentieth-century development in Ventnor City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 110 South Amherst Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 110 South Amherst Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 6003 Boardwalk

Street Address: Street #: 6003 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Boardwalk Suffix: N/A Type: N/A

County(s): Atlantic **Zip Code:** 08406

Municipality(s): Ventnor City **Block(s):** 19

Local Place Name(s): N/A **Lot(s):** 11

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 6003 Boardwalk is a two-and-one-half-story, circa 1920, Tudor Revival residence with tile roofing, wood clapboard, and stucco siding with half-timbering detail, multiple porches, and vinyl windows. An outdoor in-ground pool is present between the building and the boardwalk.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

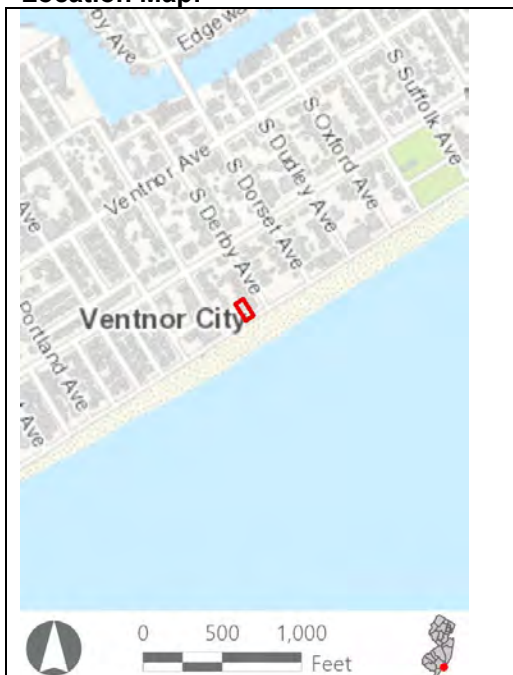


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Smith, Sandy. 2018. "Spend Next Summer in Ventnor in High Style for \$3.75M". *Philadelphia Magazine*. Available at <https://www.phillymag.com/property/2018/08/31/spend-next-summer-high-style-ventnor-3-75m/> (Accessed February 2023)

Smith, Sarah Thompson. 1963. *The History of Ventnor, New Jersey*. Available at <https://downbeachbuzz.com/wp-content/uploads/2015/11/History-Of-Ventnor.pdf> (Accessed February 2023).

Ventnor City, New Jersey. 2022. *The History of Ventnor City*. Available at: <https://www.ventnorchity.org/the-history-of-ventnor-city> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	6003 Boardwalk		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1920	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	Medium
Style:	Tudor Revival		
Form:	Other	Stories:	3
Type:	N/A	Bays:	2
Roof Finish Materials:	Tile, Spanish		
Exterior Finish Materials	Stucco		

Exterior Description: The building at 6003 Boardwalk is a two-and-one-half-story, circa 1920, Tudor Revival residence located on the Ventnor City boardwalk with its primary elevation facing the boardwalk and the beach beyond. The house has wood clapboard siding on the first story and stucco siding above with half-timbering detail. Windows throughout are non-historic vinyl casement sash. The hipped roof and multiple gabled dormers are clad in red terra cotta tile, with exposed rafter tails and brackets. A full width porch on the building's primary (southeast) elevation features paired, bracketed square posts. An outdoor in-ground pool is present between the building and the boardwalk.

Interior Description: N/A

Setting: The building at 6003 Boardwalk is directly across the Ventnor City boardwalk from the beach in a residential area surrounded by detached and multi-unit residential development of the early twentieth through the early twenty-first centuries. The block formed by the Boardwalk, south Derby Avenue, Cornwall Avenue, and Atlantic Avenue is characterized by highly altered early-twentieth-century upscale beach cottages rendered in various popular styles of the period. The building is one-half block southeast of Atlantic Avenue, which forms one of Ventnor City's main thoroughfares. Public beach access is available across the Ventnor City boardwalk. Historic aerial imagery shows the southern part of Ventnor City fully developed by 1920, with development north of the Inside Thorofare through the first half of the twentieth century, culminating in the present-day level of development by the 1960s. Today, portions of the northern part of the city remain undeveloped marshland, and the rest of the city mainly consists of private developments and enclaves. Ventnor City remains a popular summer resort (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ventnor City is in Atlantic County and is situated on Absecon Island south of Atlantic City and north of Margate. Ventnor City remained undeveloped hills and meadows through most of the nineteenth century, even while Atlantic City and South Atlantic City (present-day Margate) grew and developed in the mid- and late-nineteenth century. In 1881, the Camden and Atlantic Railroad connected Atlantic City to Margate through Ventnor, requiring the grading of many of the hills in the area. In 1888, the Camden and Atlantic Land Company built a train station in Ventnor City, providing direct passenger access to the area for the first time. The land company subsequently built three cottages. The name "Ventnor" was chosen in 1889, referencing the seaside resort in Ventnor, England (Smith, 1963).

By the turn of the twentieth century, the lowland marshes in Ventnor were filled, and Ventnor had several houses, a post office, and a few additional buildings. In 1900, the county built the Longport Speedway, a gravel road connecting Atlantic City to Longport through Ventnor. Ventnor City was officially incorporated in 1903. Following incorporation, the city continued to develop, adding additional houses, bath houses, a newspaper, a boat works, a pharmacy, and a boardwalk over the next decade. The twentieth century saw increased development, solidifying Ventnor City as a popular summer resort (Smith, 1963; Ventnor City, 2022).

The building at 6003 Boardwalk was completed in about 1920 as part of a development of upscale beachfront houses. A circa 1920s postcard shows that the half-timbering pattern in the gable ends has been altered, and available imagery online shows that little or no historic fabric remains on the interior (Smith, 2018).

Significance: The building at 6003 Boardwalk is associated with early-twentieth-century development in Ventnor City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

**National
Register Criteria:**

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 6003 Boardwalk is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 6003 Boardwalk is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 110 South Philadelphia Avenue

Street Address: Street #: 110 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: Philadelphia Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08406

Municipality(s): Ventnor City **Block(s):** 37

Local Place Name(s): N/A **Lot(s):** 8

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 110 South Philadelphia Avenue is a three-story, circa 1980 Modern residence with a flat roof, vertical wood siding, metal casement windows, upper-floor balconies, and a rooftop deck.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

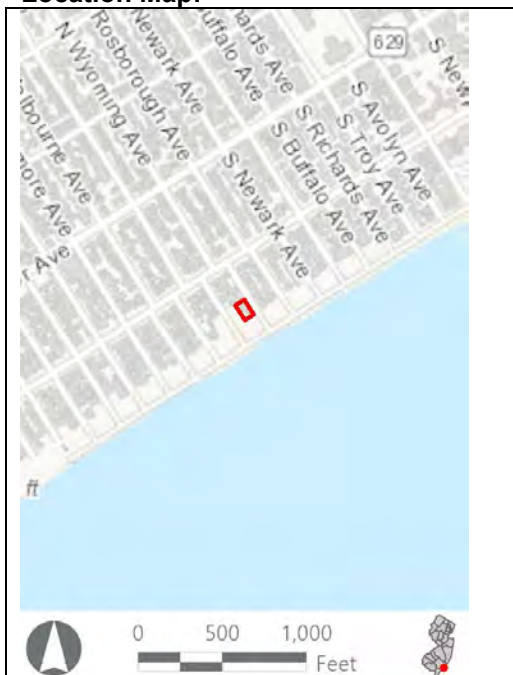


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

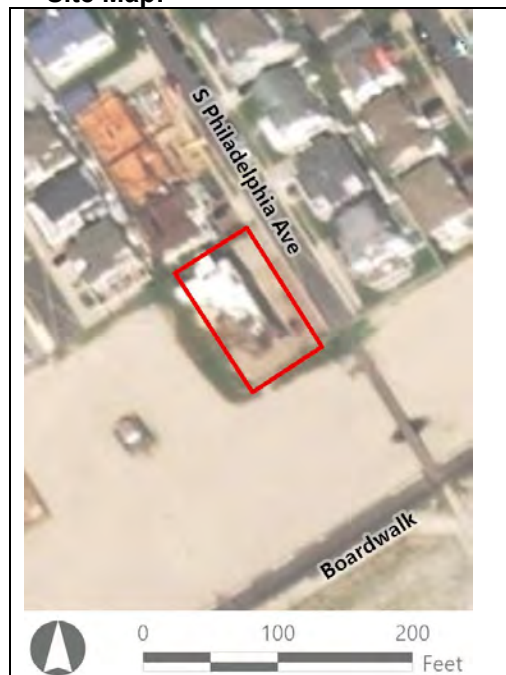
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Smith, Sarah Thompson. 1963. The History of Ventnor, New Jersey. Available at <https://downbeachbuzz.com/wp-content/uploads/2015/11/History-Of-Ventnor.pdf> (Accessed February 2023).

Ventnor City, New Jersey. 2022. The History of Ventnor City. Available at: <https://www.ventnorcitey.org/the-history-of-ventnor-city> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 110 South Philadelphia Avenue
Historic Name: N/A
Present Use: Residential activity, permanent
Historic Use: Residential activity, permanent
Construction Date: 1980 **Source:** Njtaxrecords.net
Alteration Date(s): N/A **Source:** N/A
Designer: N/A **Physical Condition:** Good
Builder: N/A **Remaining Historic Fabric:** High
Style: Other
Form: Irregular **Stories:** 3
Type: N/A **Bays:** 2
Roof Finish Materials: Unknown
Exterior Finish Materials: Wood, Other

Exterior Description: The building at 110 South Philadelphia Avenue is a three-story, circa 1980 Modern residence sited one lot from the Ventnor City boardwalk. The building has complex massing, a flat roof and rooftop deck, vertical wood siding, and multiple upper-story balconies. The elevations are arranged asymmetrically, with single-light casement windows in singles, pairs, and gangs of four. The primary entrance is set within a shallow inset on the northeast elevation. An inset garage is located on the northwest elevation.

Interior Description: N/A

Setting: The building at 110 South Philadelphia Avenue is set back from the sidewalk at its northeast elevation by a landscaped area and low retaining wall. Both fencing and retaining walls on the site employ the same vertical wood siding material as the house, and there is a wood gate over the entrance to the driveway off South Philadelphia Avenue. The building at 110 South Philadelphia Avenue is in a beachfront residential area surrounded by detached and multi-unit residential development of the early twentieth through the early twenty-first centuries. The building is located directly on the beach and set back approximately 120 feet from the Ventnor City boardwalk. The building is one-half block southeast of Atlantic Avenue, which forms one of Ventnor City's main thoroughfares. Public beach access is available across the Ventnor City boardwalk. Historic aerial imagery shows the southern part of Ventnor City fully developed by 1920, with development north of the Inside Thorofare through the first half of the twentieth century, culminating in the present-day level of development by the 1960s. Today, portions of the northern part of the city remain undeveloped marshland, and the rest of the city mainly consists of private developments and enclaves. Ventnor City remains a popular summer resort (NETR, 2023).

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey: Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &
Organization: Environmental Services, D.P.C

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ventnor City is in Atlantic County and is situated on Absecon Island south of Atlantic City and north of Margate. Ventnor City remained undeveloped hills and meadows through most of the nineteenth century, even while Atlantic City and South Atlantic City (present-day Margate) grew and developed in the mid- and late-nineteenth century. In 1881, the Camden and Atlantic Railroad connected Atlantic City to Margate through Ventnor, requiring the grading of many of the hills in the area. In 1888, the Camden and Atlantic Land Company built a train station in Ventnor City, providing direct passenger access to the area for the first time. The land company subsequently built three cottages. The name "Ventnor" was chosen in 1889, referencing the seaside resort in Ventnor, England (Smith, 1963).

By the turn of the twentieth century, the lowland marshes in Ventnor were filled, and Ventnor had several houses, a post office, and a few additional buildings. In 1900, the county built the Longport Speedway, a gravel road connecting Atlantic City to Longport through Ventnor. Ventnor City was officially incorporated in 1903. Following incorporation, the city continued to develop, adding additional houses, bath houses, a newspaper, a boat works, a pharmacy, and a boardwalk over the next decade. The twentieth century saw increased development, solidifying Ventnor City as a popular summer resort (Smith, 1963; Ventnor City, 2022).

The building at 110 South Philadelphia Avenue was completed in about 1980, replacing an earlier building on the site.

Significance: The building at 110 South Philadelphia Avenue is associated with late-twentieth-century development in Ventnor City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 110 South Philadelphia Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 110 South Philadelphia Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BASE FORM

Historic Sites #:

Property Name: 110 South Princeton Avenue

Street Address: Street #: 110 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: Princeton Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08406

Municipality(s): Ventnor City **Block(s):** 25

Local Place Name(s): N/A **Lot(s):** 11

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 110 South Princeton Avenue is a two-and-one-half-story, circa 1925 residence with asphalt shingle roofing, wood shingle siding, and a wrap-around porch atop a raised brick foundation and inset garage.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: NETOnline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Smith, Sarah Thompson. 1963. *The History of Ventnor, New Jersey*. Available at <https://downbeachbuzz.com/wp-content/uploads/2015/11/History-Of-Ventnor.pdf> (Accessed February 2023).

Ventnor City, New Jersey. 2022. The History of Ventnor City. Available at: <https://www.ventnorcity.org/the-history-of-ventnor-city> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	110 South Princeton Avenue		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1925	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Gable Front	Stories:	3
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Wood, Shingles		

Exterior Description: The building at 110 South Princeton Avenue is a two-and-one-half-story, circa 1925 residence atop a raised basement with an inset single-bay auto garage. The building has a steeply pitched roof with a cross-gable and gabled dormers, all with exposed rafter tails and clad in asphalt shingle. Exterior walls are clad in wood shingle. Fenestration consists of divided-light sash at the basement and 1/1 vinyl sash in singles and pairs at upper floors, as well as two pairs of semi-hexagonal bay windows at the southeast elevation. A wraparound porch extending across the primary (northeast) elevation features Doric columns, a gabled pediment, and non-historic turned balusters.

Interior Description: N/A

Setting: The building at 110 South Princeton Avenue is in a beachfront residential area surrounded by detached and multi-unit development of the early twentieth through the early twenty-first centuries. Surrounding blocks are characterized by highly altered early-twentieth-century upscale beach cottages rendered in various popular styles of the period. The building is one-half block southeast of Atlantic Avenue, which forms one of Ventnor City's main thoroughfares. Public beach access is available across the Ventnor City boardwalk, approximately 180 feet to the southeast. Historic aerial imagery shows the southern part of Ventnor City fully developed by 1920, with development north of the Inside Thorofare through the first half of the twentieth century, culminating in the present-day level of development by the 1960s. Today, portions of the northern part of the city remain undeveloped marshland, and the rest of the city mainly consists of private developments and enclaves. Ventnor City remains a popular summer resort (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ventnor City is in Atlantic County and is situated on Absecon Island south of Atlantic City and north of Margate. Ventnor City remained undeveloped hills and meadows through most of the nineteenth century, even while Atlantic City and South Atlantic City (present-day Margate) grew and developed in the mid- and late-nineteenth century. In 1881, the Camden and Atlantic Railroad connected Atlantic City to Margate through Ventnor, requiring the grading of many of the hills in the area. In 1888, the Camden and Atlantic Land Company built a train station in Ventnor City, providing direct passenger access to the area for the first time. The land company subsequently built three cottages. The name "Ventnor" was chosen in 1889, referencing the seaside resort in Ventnor, England (Smith, 1963).

By the turn of the twentieth century, the lowland marshes in Ventnor were filled, and Ventnor had several houses, a post office, and a few additional buildings. In 1900, the county built the Longport Speedway, a gravel road connecting Atlantic City to Longport through Ventnor. Ventnor City was officially incorporated in 1903. Following incorporation, the city continued to develop, adding additional houses, bath houses, a newspaper, a boat works, a pharmacy, and a boardwalk over the next decade. The twentieth century saw increased development, solidifying Ventnor City as a popular summer resort (Smith, 1963; Ventnor City, 2022).

The building at 110 South Princeton Avenue was completed in about 1925 as part of a development of upscale beachfront cottages.

Significance: The building at 110 South Princeton Avenue is associated with early-twentieth-century development in Ventnor City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 110 South Princeton Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 110 South Princeton Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

Date: February 24,
2023

BASE FORM

Historic Sites #:

Property Name: 108 South Little Rock Avenue

Street Address: Street #: 108 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: Little Rock Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08406

Municipality(s): Ventnor City **Block(s):** 11

Local Place Name(s): N/A **Lot(s):** 9

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 108 South Little Rock Avenue is a circa 1890 three-story residence atop a raised basement with a wraparound first-floor porch, a low pyramidal roof with overhanging eaves, and semi-hexagonal bay windows on the second story.

Registration and Status Dates: National Historic Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

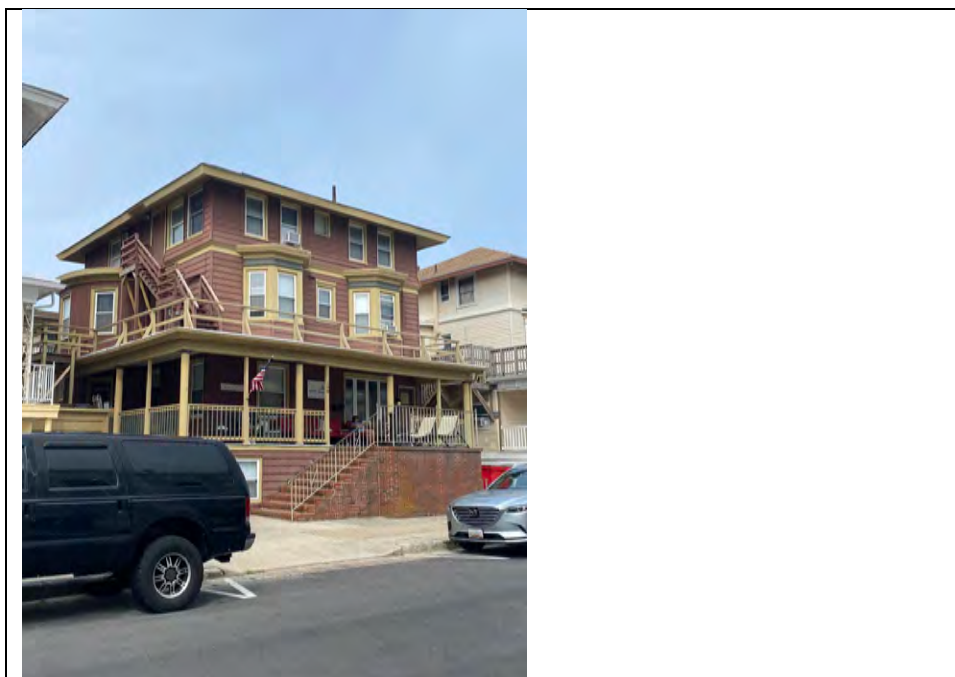
New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:

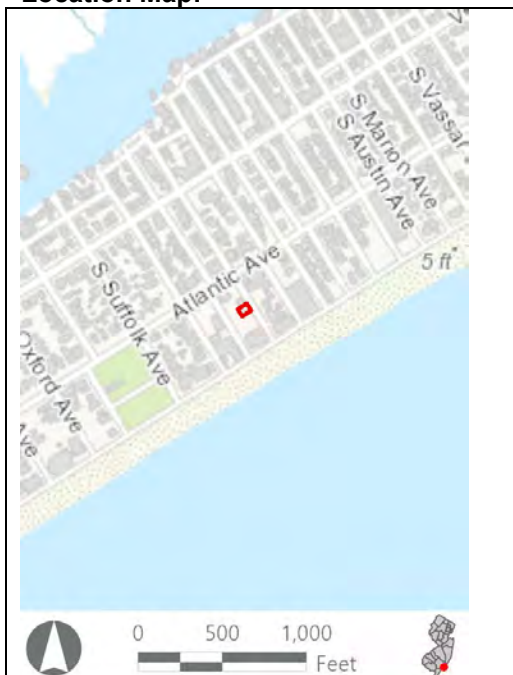


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Smith, Sarah Thompson. 1963. *The History of Ventnor, New Jersey*. Available at <https://downbeachbuzz.com/wp-content/uploads/2015/11/History-Of-Ventnor.pdf> (Accessed February 2023).

Ventnor City, New Jersey. 2022. The History of Ventnor City. Available at: <https://www.ventnorchity.org/the-history-of-ventnor-city> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	108 South Little Rock Avenue		
Historic Name:	N/A		
Present Use:	Residential activity, transient, nonfamily		
Historic Use:	Residential activity, transient, nonfamily		
Construction Date:	1890	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Medium
Style:	None		
Form:	Other	Stories:	3
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 108 South Little Rock Avenue is a circa 1890 three-story residence atop a raised basement. The exterior is clad in vinyl. A low, pyramidal roof with overhanging eaves is clad in asphalt shingle. A wraparound first-story porch features fluted Doric columns and non-historic wood and metal railings. The porch is accessed via a brick stoop. A single-bay auto garage is attached at the southeast elevation. Non-historic wood stairs provide fire egress from the second and third stories. A non-historic railing has been added above the porch to create a second-floor balcony.

Interior Description: N/A

Setting: The building at 108 South Little Rock Avenue is in a beachfront residential area surrounded by detached and multi-unit development of the early twentieth through the early twenty-first centuries. It is nearly identical in form to its immediate neighbors to the northwest and southeast, although all three buildings have had significant alterations. Surrounding blocks are characterized by highly altered late-nineteenth-century cottages and condominiums dating from the mid-twentieth century through the early twenty-first century. The building is one-half block southeast of Atlantic Avenue, which forms one of Ventnor City's main thoroughfares. Public beach access is available across the Ventnor City boardwalk which is roughly 230 feet to the southeast. Historic aerial imagery shows the southern part of Ventnor City fully developed by 1920, with development north of the Inside Thorofare through the first half of the twentieth century, culminating in the present-day level of development by the 1960s. Today, portions of the northern part of the city remain undeveloped marshland, and the rest of the city mainly consists of private developments and enclaves. Ventnor City remains a popular summer resort (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ventnor City is in Atlantic County and is situated on Absecon Island south of Atlantic City and north of Margate. Ventnor City remained undeveloped hills and meadows through most of the nineteenth century, even while Atlantic City and South Atlantic City (present-day Margate) grew and developed in the mid- and late-nineteenth century. In 1881, the Camden and Atlantic Railroad connected Atlantic City to Margate through Ventnor, requiring the grading of many of the hills in the area. In 1888, the Camden and Atlantic Land Company built a train station in Ventnor City, providing direct passenger access to the area for the first time. The land company subsequently built three cottages. The name "Ventnor" was chosen in 1889, referencing the seaside resort in Ventnor, England (Smith, 1963).

By the turn of the twentieth century, the lowland marshes in Ventnor were filled, and Ventnor had several houses, a post office, and a few additional buildings. In 1900, the county built the Longport Speedway, a gravel road connecting Atlantic City to Longport through Ventnor. Ventnor City was officially incorporated in 1903. Following incorporation, the city continued to develop, adding additional houses, bath houses, a newspaper, a boat works, a pharmacy, and a boardwalk over the next decade. The twentieth century saw increased development, solidifying Ventnor City as a popular summer resort (Smith, 1963; Ventnor City, 2022).

The building at 108 South Little Rock Avenue was completed in about 1890 as part of a seaside cottage development.

Significance: The building at 108 South Little Rock Avenue is associated with late-nineteenth-century development in Ventnor City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 108 South Little Rock Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 108 South Little Rock Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 5515 Atlantic Avenue

Street Address: Street #: 5515 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Atlantic Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08406

Municipality(s): Ventnor City **Block(s):** 58

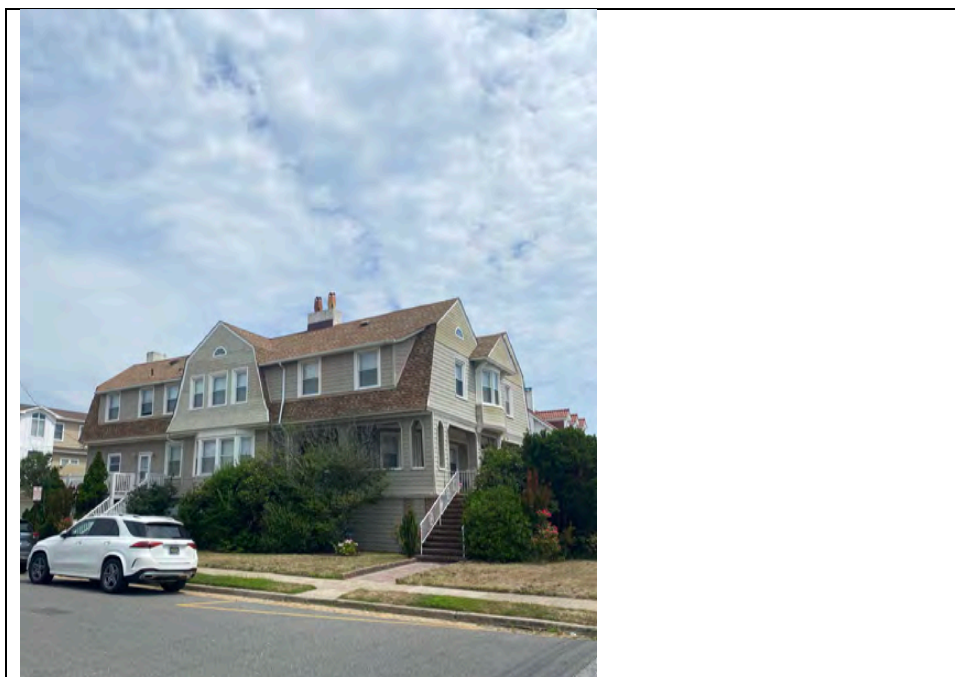
Local Place Name(s): N/A **Lot(s):** 4

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 5515 Atlantic Avenue is a two-story, circa 1920, Dutch Colonial Revival residence with multiple gambrel roofs, wood shingle siding, a raised brick foundation, vinyl windows, an inset porch, and a detached single-bay garage.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

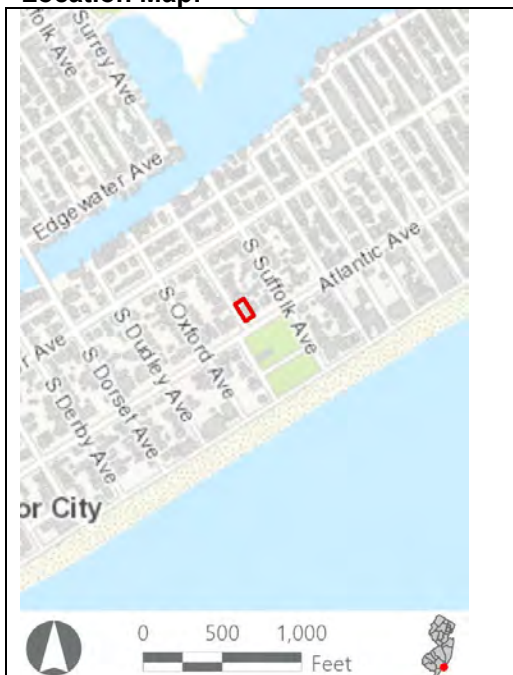


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Smith, Sarah Thompson. 1963. The History of Ventnor, New Jersey. Available at <https://downbeachbuzz.com/wp-content/uploads/2015/11/History-Of-Ventnor.pdf> (Accessed February 2023).

Ventnor City, New Jersey. 2022. The History of Ventnor City. Available at: <https://www.ventnorcitey.org/the-history-of-ventnor-city> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	5515 Atlantic Avenue		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1920	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Medium
Style:	Dutch Colonial Revival		
Form:	Other	Stories:	2
Type:	N/A	Bays:	6
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Wood, Shingles		

Exterior Description: The building at 5515 Atlantic Avenue is a two-story, circa 1920, Dutch Colonial Revival residence with a rectangular footprint and multiple gambrel roofs clad in asphalt shingle. The exterior is clad in wood shingles at the upper stories, with shaped wood shingles in the gable ends, and rests atop a raised brick foundation. A full-width inset porch on the building's primary (southeast) elevation features shingle-clad piers and a non-historic metal railing. Above the porch at the second story is a bracketed bay window. The building's northeast and southwest elevations feature a cross-gambrel roof and shed dormers. A secondary entrance accessed via a small deck is located on the southwest. The fenestration generally consists of 1/1 vinyl windows, with fanlights in the gable ends. A detached single-bay garage with wood shingle siding and a pyramidal roof clad in asphalt shingle is located to the northwest.

Interior Description: N/A

Setting: The building at 5515 Atlantic Avenue occupies a corner lot one block inland from the beach in a residential area surrounded by detached and multi-unit development of the early twentieth through the early twenty-first centuries. The surrounding blocks are characterized by relatively intact early-twentieth-century upscale beach cottages rendered in various popular styles of the period. In general, these residences are uniformly set back from the sidewalk and street on narrow lots with grass lawns and landscaped vegetation. Atlantic Avenue forms one of Ventnor City's main thoroughfares. Historic aerial imagery shows the southern part of Ventnor City fully developed by 1920, with development north of the Inside Thorofare through the first half of the twentieth century, culminating in the present-day level of development by the 1960s. Today, portions of the northern part of the city remain undeveloped marshland, and the rest of the city mainly consists of private developments and enclaves. Ventnor City remains a popular summer resort (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ventnor City is in Atlantic County and is situated on Absecon Island south of Atlantic City and north of Margate. Ventnor City remained undeveloped hills and meadows through most of the nineteenth century, even while Atlantic City and South Atlantic City (present-day Margate) grew and developed in the mid- and late-nineteenth century. In 1881, the Camden and Atlantic Railroad connected Atlantic City to Margate through Ventnor, requiring the grading of many of the hills in the area. In 1888, the Camden and Atlantic Land Company built a train station in Ventnor City, providing direct passenger access to the area for the first time. The land company subsequently built three cottages. The name "Ventnor" was chosen in 1889, referencing the seaside resort in Ventnor, England (Smith, 1963).

By the turn of the twentieth century, the lowland marshes in Ventnor were filled, and Ventnor had several houses, a post office, and a few additional buildings. In 1900, the county built the Longport Speedway, a gravel road connecting Atlantic City to Longport through Ventnor. Ventnor City was officially incorporated in 1903. Following incorporation, the city continued to develop, adding additional houses, bath houses, a newspaper, a boat works, a pharmacy, and a boardwalk over the next decade. The twentieth century saw increased development, solidifying Ventnor City as a popular summer resort (Smith, 1963; Ventnor City, 2022).

The building at 5515 Atlantic Avenue was completed in about 1920 as part of a development of upscale seaside cottages.

Significance: The building at 5515 Atlantic Avenue is associated with early-twentieth-century development in Ventnor City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 5515 Atlantic Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 5515 Atlantic Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 111 S Surrey Avenue

Street Address: Street #: 111 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: Surrey Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08406

Municipality(s): Ventnor City **Block(s):** 12

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 111 South Surrey Avenue (The Breakers Condominium) is a four-story, circa-1964 condominium building (multi-unit) with a flat roof, stucco siding, continuous balconies, and an outdoor in-ground pool.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

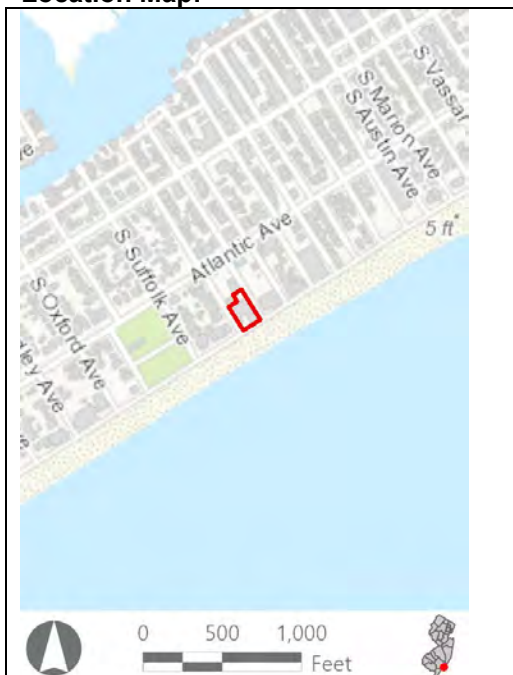


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Smith, Sarah Thompson. 1963. *The History of Ventnor, New Jersey*. Available at <https://downbeachbuzz.com/wp-content/uploads/2015/11/History-Of-Ventnor.pdf> (Accessed February 2023).

Ventnor City, New Jersey. 2022. The History of Ventnor City. Available at: <https://www.ventnorchity.org/the-history-of-ventnor-city> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	111 S Surrey Avenue		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1962	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Medium
Style:	Modernistic		
Form:	Apartment	Stories:	4
Type:	N/A	Bays:	12
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Stucco		

Exterior Description: The building at 111 South Surrey Avenue (The Breakers Condominium) is a four-story, circa-1964 concrete framed condominium building (multi-unit) with an L-shaped plan surrounding an in-ground outdoor swimming pool atop a raised plinth. The building consists of two to three floors of residential units along with an open-air parking garage (at grade below the upper floors on the northwest end of the building) and a single-story addition containing a lobby. The exteriors are clad in stucco and the beach-facing elevations have continuous balconies supported on concrete beams. Each structural bay typically contains a large tripartite window and a door on the beach-facing elevations, with large windows and louvered vents on the secondary elevations.

Interior Description: N/A

Setting: The building at 111 South Surrey Avenue is located directly on the Ventnor City boardwalk in a beachfront residential area surrounded by detached and multi-unit development of the early twentieth through the early twenty-first centuries. The building is surrounded by paved parking and sidewalks on three sides. It is one-half block southeast of Atlantic Avenue, which forms one of Ventnor City's main thoroughfares. Public beach access is available across the Ventnor City boardwalk. Historic aerial imagery shows the southern part of Ventnor City fully developed by 1920, with development north of the Inside Thorofare through the first half of the twentieth century, culminating in the present-day level of development by the 1960s. Today, portions of the northern part of the city remain undeveloped marshland, and the rest of the city mainly consists of private developments and enclaves. Ventnor City remains a popular summer resort (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ventnor City is in Atlantic County and is situated on Absecon Island south of Atlantic City and north of Margate. Ventnor City remained undeveloped hills and meadows through most of the nineteenth century, even while Atlantic City and South Atlantic City (present-day Margate) grew and developed in the mid- and late-nineteenth century. In 1881, the Camden and Atlantic Railroad connected Atlantic City to Margate through Ventnor, requiring the grading of many of the hills in the area. In 1888, the Camden and Atlantic Land Company built a train station in Ventnor City, providing direct passenger access to the area for the first time. The land company subsequently built three cottages. The name "Ventnor" was chosen in 1889, referencing the seaside resort in Ventnor, England (Smith, 1963).

By the turn of the twentieth century, the lowland marshes in Ventnor were filled, and Ventnor had several houses, a post office, and a few additional buildings. In 1900, the county built the Longport Speedway, a gravel road connecting Atlantic City to Longport through Ventnor. Ventnor City was officially incorporated in 1903. Following incorporation, the city continued to develop, adding additional houses, bath houses, a newspaper, a boat works, a pharmacy, and a boardwalk over the next decade. The twentieth century saw increased development, solidifying Ventnor City as a popular summer resort (Smith, 1963; Ventnor City, 2022).

The block on which 111 South Surrey Avenue is located was part of a development of upscale beachfront cottages by the turn of the twentieth century. The building at 111 South Surrey Avenue was built in about 1964, replacing two of the cottages. All of the remaining cottages on the block were demolished in the following decades (NETR, 2023).

Significance: The building at 111 South Surrey Avenue is associated with early-twentieth-century development in Ventnor City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 111 South Surrey Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 111 South Surrey Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 110 South Harvard Avenue

Street Address: Street #: 110 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: Harvard Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08406

Municipality(s): Ventnor City **Block(s):** 23

Local Place Name(s): N/A **Lot(s):** 13

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 110 South Harvard Avenue is a two-and-one-half story ca. 1910 Colonial Revival dwelling with wood shingle siding and a full-width first-floor porch with a second-floor balcony. The house rests on a raised brick foundation that includes a one-bay garage. The side-gable roof is clad in asphalt shingle and has a shed-roofed wall dormer topped with an additional gable-roofed dormer.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

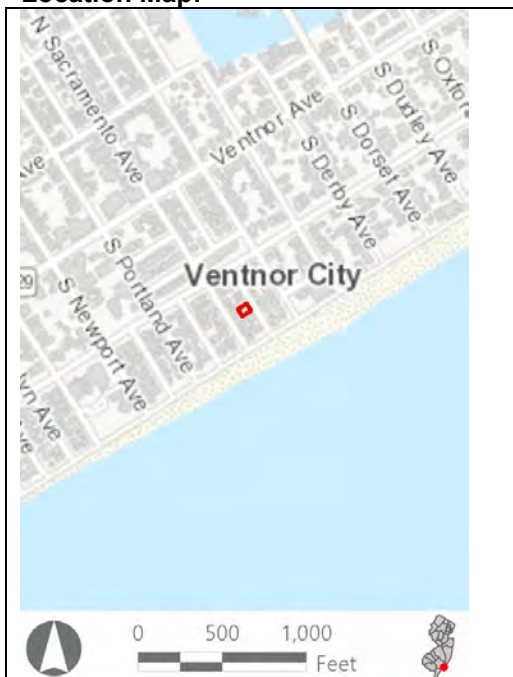
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: NETRonline (NETR). 2023. Historic Aerials [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Smith, Sarah Thompson. 1963. The History of Ventnor, New Jersey. Available at <https://downbeachbuzz.com/wp-content/uploads/2015/11/History-Of-Ventnor.pdf> (Accessed February 2023).

Ventnor City, New Jersey. 2022. The History of Ventnor City. Available at: <https://www.ventnorcity.org/the-history-of-ventnor-city> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	110 South Harvard Avenue		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1910	Source:	Njtaxrecords.com
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	Medium
Style:	Colonial Revival		
Form:	Other	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Wood, Shingles		

Exterior Description: The building at 110 South Harvard Avenue is a two-and-one-half story ca. 1910 Colonial Revival dwelling with a rectangular footprint, a dormered gable roof, and wood shingle siding. At the primary (northeast) elevation, a full-width first-floor porch features Doric columns and a non-historic vinyl balustrade; The porch is topped with a second-floor balcony with similar materials. The house rests on a raised brick foundation that includes a one-bay garage. The side-gable roof is clad in asphalt shingle and has a shed-roofed wall dormer topped with an additional gable-roofed dormer on the primary elevation. The rear (southwest) elevation has a similar treatment at the upper floors. Fenestration consists of replacement vinyl sash with simulated divided lights in singles, pairs, and gangs of four.

Interior Description: N/A

Setting: The building at 110 South Harvard Avenue is in a beachfront residential area surrounded by detached and multi-unit development of the early twentieth through the early twenty-first centuries. The building is one-half block southeast of Atlantic Avenue, which forms one of Ventnor City's main thoroughfares. Public beach access is available across the Ventnor City boardwalk, approximately 180 feet to the southeast. Historic aerial imagery shows the southern part of Ventnor City fully developed by 1920, with development north of the Inside Thorofare through the first half of the twentieth century, culminating in the present-day level of development by the 1960s. Today, portions of the northern part of the city remain undeveloped marshland, and the rest of the city mainly consists of private developments and enclaves. Ventnor City remains a popular summer resort (NETR, 2023)

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ventnor City is in Atlantic County and is situated on Absecon Island south of Atlantic City and north of Margate. Ventnor City remained undeveloped hills and meadows through most of the nineteenth century, even while Atlantic City and South Atlantic City (present-day Margate) grew and developed in the mid- and late-nineteenth century. In 1881, the Camden and Atlantic Railroad connected Atlantic City to Margate through Ventnor, requiring the grading of many of the hills in the area. In 1888, the Camden and Atlantic Land Company built a train station in Ventnor City, providing direct passenger access to the area for the first time. The land company subsequently built three cottages. The name "Ventnor" was chosen in 1889, referencing the seaside resort in Ventnor, England (Smith, 1963).

By the turn of the twentieth century, the lowland marshes in Ventnor were filled, and Ventnor had several houses, a post office, and a few additional buildings. In 1900, the county built the Longport Speedway, a gravel road connecting Atlantic City to Longport through Ventnor. Ventnor City was officially incorporated in 1903. Following incorporation, the city continued to develop, adding additional houses, bath houses, a newspaper, a boat works, a pharmacy, and a boardwalk over the next decade. The twentieth century saw increased development, solidifying Ventnor City as a popular summer resort (Smith, 1963; Ventnor City, 2022).

The building at 110 South Harvard Avenue was completed in about 1910 as part of a development of upscale beachfront cottages.

Significance: The building at 110 South Harvard Avenue is associated with early-twentieth-century development in Ventnor City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 110 South Harvard Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 110 South Harvard Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BASE FORM

Historic Sites #:

Property Name: 104 South Wissahickon Avenue

Street Address: Street #: 104 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: Wissahickon Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08406

Municipality(s): Ventnor City **Block(s):** 34

Local Place Name(s): N/A **Lot(s):** 9

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 104 South Wissahickon Avenue is a two-story Spanish Colonial Revival dwelling with a hipped roof, stucco siding, arched openings, wrought-iron details, and a single-story sunroom topped with a second-floor balcony. A detached garage has similar materials.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

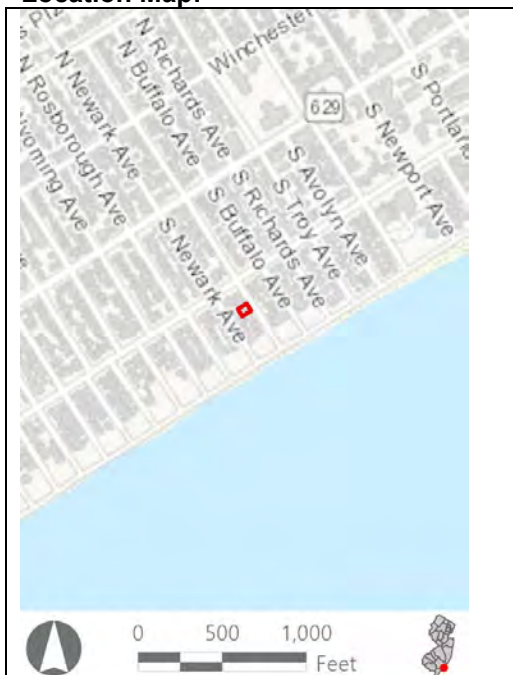


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Smith, Sarah Thompson. 1963. *The History of Ventnor, New Jersey*. Available at <https://downbeachbuzz.com/wp-content/uploads/2015/11/History-Of-Ventnor.pdf> (Accessed February 2023).

Ventnor City, New Jersey. 2022. *The History of Ventnor City*. Available at: <https://www.ventnorchity.org/the-history-of-ventnor-city> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 104 South Wissahickon Avenue

Historic Name: N/A

Present Use: Residential activity, permanent

Historic Use: Residential activity, permanent

Construction Date: 1912 **Source:** Njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Excellent

Builder: N/A **Remaining Historic Fabric:** Medium

Style: Spanish Colonial Revival

Form: Four Square **Stories:** 2

Type: N/A **Bays:** 2

Roof Finish Materials: Tile, Spanish

Exterior Finish Materials Stucco

Exterior Description: The building at 104 South Wissahickon Avenue is a two-story Spanish Colonial Revival dwelling with a rectangular footprint and stucco siding atop a raised basement. The building has a hipped roof clad in asphalt shingle with a hipped dormer on the primary (northeast) elevation. A hipped-roofed entry portico on the southeast elevation has glazed tile roofing. Window openings on the primary elevation are arched and a pair of historic leaded glass arched windows are extant at the second floor. The remaining windows throughout are vinyl sash with simulated divided lights. A single-story sunroom on the primary elevation is topped with a second-floor balcony featuring wrought-iron railings matching applied wrought-iron details below windows on the primary elevation. A single-bay garage has a hipped roof with glazed tile roofing, a hipped dormer, and stucco siding.

Interior Description: N/A

Setting: The building at 104 South Wissahickon Avenue is in a beachfront residential area surrounded by detached and multi-unit development of the early twentieth through the early twenty-first centuries. The building is one-half block southeast of Atlantic Avenue, which forms one of Ventnor City's main thoroughfares. Public beach access is available across the Ventnor City boardwalk. Historic aerial imagery shows the southern part of Ventnor City fully developed by 1920, with development north of the Inside Thorofare through the first half of the twentieth century, culminating in the present-day level of development by the 1960s. Today, portions of the northern part of the city remain undeveloped marshland, and the rest of the city mainly consists of private developments and enclaves. Ventnor City remains a popular summer resort (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ventnor City is in Atlantic County and is situated on Absecon Island south of Atlantic City and north of Margate. Ventnor City remained undeveloped hills and meadows through most of the nineteenth century, even while Atlantic City and South Atlantic City (present-day Margate) grew and developed in the mid- and late-nineteenth century. In 1881, the Camden and Atlantic Railroad connected Atlantic City to Margate through Ventnor, requiring the grading of many of the hills in the area. In 1888, the Camden and Atlantic Land Company built a train station in Ventnor City, providing direct passenger access to the area for the first time. The land company subsequently built three cottages. The name "Ventnor" was chosen in 1889, referencing the seaside resort in Ventnor, England (Smith, 1963).

By the turn of the twentieth century, the lowland marshes in Ventnor were filled, and Ventnor had several houses, a post office, and a few additional buildings. In 1900, the county built the Longport Speedway, a gravel road connecting Atlantic City to Longport through Ventnor. Ventnor City was officially incorporated in 1903. Following incorporation, the city continued to develop, adding additional houses, bath houses, a newspaper, a boat works, a pharmacy, and a boardwalk over the next decade. The twentieth century saw increased development, solidifying Ventnor City as a popular summer resort (Smith, 1963; Ventnor City, 2022).

The building at 104 South Wissahickon Avenue was completed in about 1912 as part of a development of upscale beachfront cottages

Significance: The building at 104 South Wissahickon Avenue is associated with early-twentieth-century development in Ventnor City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 104 South Wissahickon Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 104 South Wissahickon Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 110 South Wissahickon Avenue

Street Address: Street #: 110 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: Wissahickon Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08406

Municipality(s): Ventnor City **Block(s):** 34

Local Place Name(s): N/A **Lot(s):** 12

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 110 South Wissahickon Avenue is a three-story, circa-1980 Modernistic residence with a flat roof, stucco siding, metal windows, and a covered porch facing the ocean.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

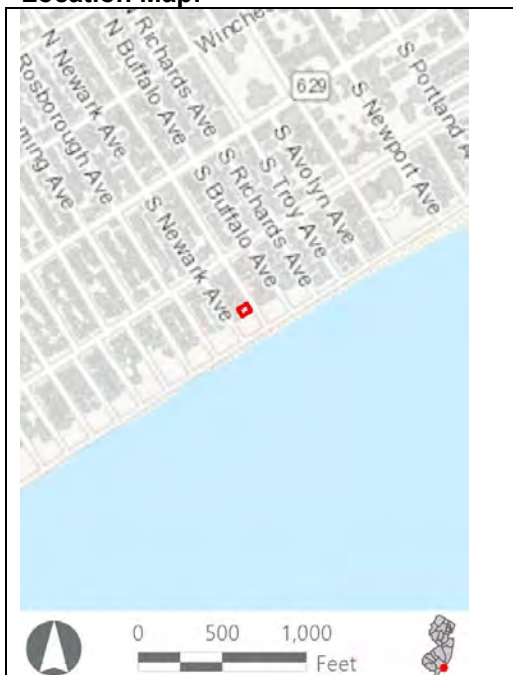


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Smith, Sarah Thompson. 1963. *The History of Ventnor, New Jersey*. Available at <https://downbeachbuzz.com/wp-content/uploads/2015/11/History-Of-Ventnor.pdf> (Accessed February 2023).

Ventnor City, New Jersey. 2022. *The History of Ventnor City*. Available at: <https://www.ventnorchity.org/the-history-of-ventnor-city> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 110 S Wissahickon Avenue
Historic Name: N/A
Present Use: Residential activity, permanent
Historic Use: Residential activity, permanent
Construction Date: 1980 **Source:** njtaxrecords.net
Alteration Date(s): N/A **Source:** N/A
Designer: N/A **Physical Condition:** Excellent
Builder: N/A **Remaining Historic Fabric:** High
Style: Modernistic
Form: Irregular **Stories:** 3
Type: N/A **Bays:** 3
Roof Finish Materials: Unknown
Exterior Finish Materials: Stucco

Exterior Description: The building at 110 South Wissahickon Avenue is a three-story, split-level, circa-1980 Modernistic residence with a flat roof, irregular massing and stucco siding including horizontal bands of darker colored stucco. Fenestration consists of large vinyl or metal casement windows and fixed sash. The primary elevation faces east to the beach and Atlantic Ocean. It is arranged in two volumes reflecting a split-level interior layout, with a three-story volume to the southwest containing regular groups of large tripartite windows and a two-story volume to the southeast featuring a covered first-floor porch and a second-floor balcony, each with sliding glass doors.

Interior Description: N/A

Setting: The building at 110 South Wissahickon Avenue is in a beachfront residential area surrounded by detached and multi-unit residential development of the early twentieth through the early twenty-first centuries. The building is located directly on the beach and set back approximately 120 feet from the Ventnor City boardwalk. The building is one-half block southeast of Atlantic Avenue, which forms one of Ventnor City's main thoroughfares. Public beach access is available across the Ventnor City boardwalk. Historic aerial imagery shows the southern part of Ventnor City fully developed by 1920, with development north of the Inside Thorofare through the first half of the twentieth century, culminating in the present-day level of development by the 1960s. Today, portions of the northern part of the city remain undeveloped marshland, and the rest of the city mainly consists of private developments and enclaves. Ventnor City remains a popular summer resort (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ventnor City is in Atlantic County and is situated on Absecon Island south of Atlantic City and north of Margate. Ventnor City remained undeveloped hills and meadows through most of the nineteenth century, even while Atlantic City and South Atlantic City (present-day Margate) grew and developed in the mid- and late-nineteenth century. In 1881, the Camden and Atlantic Railroad connected Atlantic City to Margate through Ventnor, requiring the grading of many of the hills in the area. In 1888, the Camden and Atlantic Land Company built a train station in Ventnor City, providing direct passenger access to the area for the first time. The land company subsequently built three cottages. The name "Ventnor" was chosen in 1889, referencing the seaside resort in Ventnor, England (Smith, 1963).

By the turn of the twentieth century, the lowland marshes in Ventnor were filled, and Ventnor had several houses, a post office, and a few additional buildings. In 1900, the county built the Longport Speedway, a gravel road connecting Atlantic City to Longport through Ventnor. Ventnor City was officially incorporated in 1903. Following incorporation, the city continued to develop, adding additional houses, bath houses, a newspaper, a boat works, a pharmacy, and a boardwalk over the next decade. The twentieth century saw increased development, solidifying Ventnor City as a popular summer resort (Smith, 1963; Ventnor City, 2022).

The building at 110 South Wissahickon Avenue was completed in about 1980 on a block that was initially developed with upscale seaside cottages in the early twentieth century.

Significance: The building at 110 South Wissahickon Avenue is associated with late-twentieth-century development in Ventnor City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 110 South Wissahickon Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 110 South Wissahickon Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BASE FORM

Historic Sites #:

Property Name: 5301 Atlantic Avenue

Street Address: Street #: 5301 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Atlantic Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08406

Municipality(s): Ventnor City **Block(s):** 55

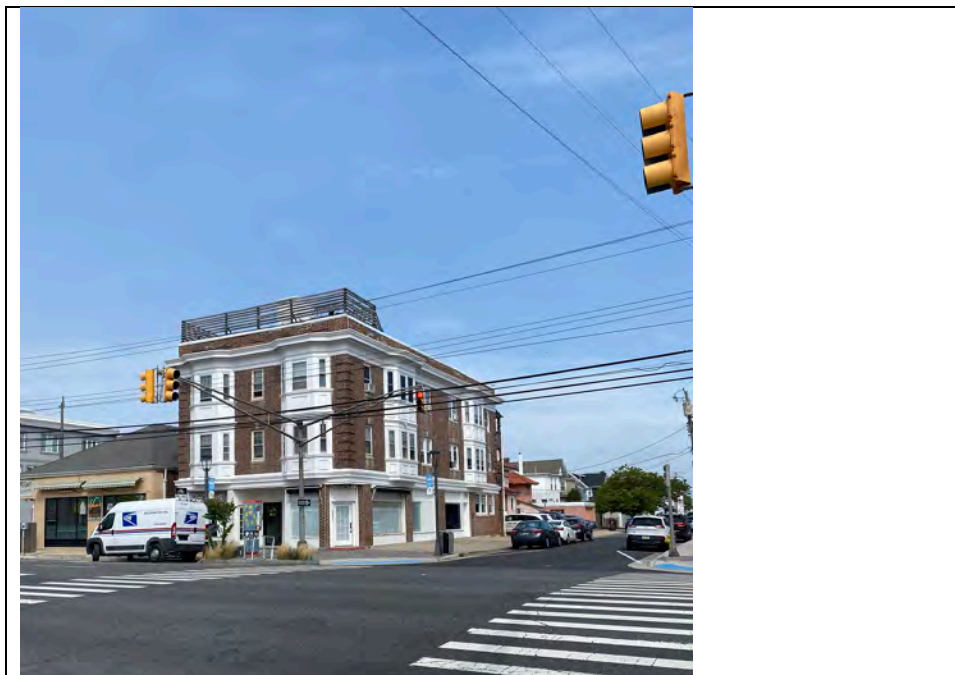
Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 5301 Atlantic Avenue is a circa-1930 three-story brick-clad Colonial Revival commercial-residential building with storefronts at the first story and apartments on the upper floors. The building has a flat roof with a brick parapet, semi-hexagonal bays at the upper stories, and a chamfered corner entrance at the first story.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

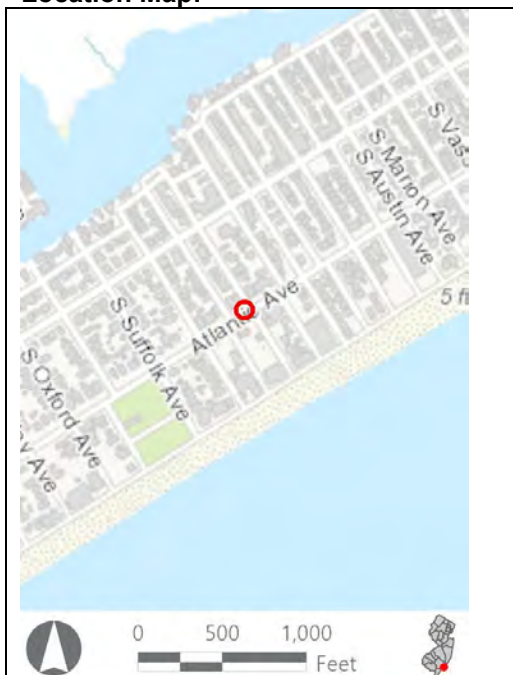


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Smith, Sarah Thompson. 1963. *The History of Ventnor, New Jersey*. Available at <https://downbeachbuzz.com/wp-content/uploads/2015/11/History-Of-Ventnor.pdf> (Accessed February 2023).

Ventnor City, New Jersey. 2022. *The History of Ventnor City*. Available at: <https://www.ventnorcity.org/the-history-of-ventnor-city> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	5301 Atlantic Avenue		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1930	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Medium
Style:	Colonial Revival		
Form:	Commercial	Stories:	3
Type:	N/A	Bays:	2
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Brick		

Exterior Description: The building at 5301 Atlantic Avenue is a circa-1930 three-story brick-clad Colonial Revival commercial-residential building on a corner lot with storefronts at the first story and apartments on the upper stories. The building has a flat roof with a brick parapet above a deep cornice. Fenestration consists of a mix of historic wood windows at the upper stories with some vinyl replacement windows, along with large fixed-sash storefront windows at the first story. Semi-hexagonal bays at the northeast, southeast, and southwest elevations of the upper stories are clad in painted sheet metal and contain single or paired center windows flanked by narrower windows. The storefronts have been altered with modern doors and non-historic siding materials in most cases. A chamfered corner entrance is located at the first story. The northwest (rear) elevation has non-historic wood stairs and narrow porches serving the upper-floor apartments.

Interior Description: N/A

Setting: The building at 5301 Atlantic Avenue occupies a corner lot one block inland from the beach in a mixed residential-commercial area surrounded by multistory commercial buildings and residential development of the early twentieth through the early twenty-first centuries. Atlantic Avenue forms one of Ventnor City's main thoroughfares. Historic aerial imagery shows the southern part of Ventnor City fully developed by 1920, with development north of the Inside Thorofare through the first half of the twentieth century, culminating in the present-day level of development by the 1960s. Today, portions of the northern part of the city remain undeveloped marshland, and the rest of the city mainly consists of private developments and enclaves. Ventnor City remains a popular summer resort (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ventnor City is in Atlantic County and is situated on Absecon Island south of Atlantic City and north of Margate. Ventnor City remained undeveloped hills and meadows through most of the nineteenth century, even while Atlantic City and South Atlantic City (present-day Margate) grew and developed in the mid- and late-nineteenth century. In 1881, the Camden and Atlantic Railroad connected Atlantic City to Margate through Ventnor, requiring the grading of many of the hills in the area. In 1888, the Camden and Atlantic Land Company built a train station in Ventnor City, providing direct passenger access to the area for the first time. The land company subsequently built three cottages. The name "Ventnor" was chosen in 1889, referencing the seaside resort in Ventnor, England (Smith, 1963).

By the turn of the twentieth century, the lowland marshes in Ventnor were filled, and Ventnor had several houses, a post office, and a few additional buildings. In 1900, the county built the Longport Speedway, a gravel road connecting Atlantic City to Longport through Ventnor. Ventnor City was officially incorporated in 1903. Following incorporation, the city continued to develop, adding additional houses, bath houses, a newspaper, a boat works, a pharmacy, and a boardwalk over the next decade. The twentieth century saw increased development, solidifying Ventnor City as a popular summer resort (Smith, 1963; Ventnor City, 2022).

The building at 5301 Atlantic Avenue was completed in about 1930, at which time the surrounding blocks were already densely developed.

Significance: The building at 5301 Atlantic Avenue is associated with early-twentieth-century development in Ventnor City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 5301 Atlantic Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 5301 Atlantic Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 9000A Beach Avenue

Street Address: Street #: 9000A N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Beach Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08260

Municipality(s): Wildwood Crest Borough **Block(s):** 169

Local Place Name(s): N/A **Lot(s):** 2 C9001

Ownership: Private **USGS Quad(s)** Cape May

Description: The building at 9000A Beach Avenue is a three-story condominium building with a gabled roof. The complete first story is a parking garage. There are balconies on the second and third floors.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:



Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: The Shore Blog. 2021. "History of the Wildwoods." Available at: <https://theshoreblog.com/history-of-wildwood/> (Accessed February 2023).

Zerbe, N.L., S.M. Hoagland, and K.D. Murphy. 2004. *Motels of the Wildwoods*. National Register of Historic Places Multiple Property Documentation Form. U.S. Department of the Interior, National Park Service. March 25, 2004.

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 9000A Beach Avenue

Historic Name: N/A

Present Use: Residential activity, permanent

Historic Use: Residential activity, permanent

Construction Date: 1981 **Source:** www.njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Excellent

Builder: N/A **Remaining Historic Fabric:** Low

Style: None

Form: Apartment **Stories:** 3

Type: N/A **Bays:** 6

Roof Finish Materials: Asphalt Shingles

Exterior Finish Materials Vinyl Siding

Exterior Description: The building at 9000A Beach Avenue is a three-story condominium building with a gabled roof. The building is six bays on the beach-facing elevation and six bays on the side elevations. The complete first story is a parking garage with open bays facing the ocean and clad on the inside with rustic stone. Balconies on the second and third floors are separated by shed-roof projects that appear to be stair towers. Each tower has a pedestrian door on each level and an ocular window on the second and third stories. In addition to the towers, each balcony has a pedestrian door and a sliding patio door leading from each unit. Set back from each tower is a wide chimney stack. Overall, the building is clad in vinyl siding and shingles. The fenestration on the side elevations is fixed, casement, and sliders arranged in bays. Balconettes occupy the bays closest to the rear elevation.

Interior Description: N/A

Setting: The building at 9000A Beach Avenue is an oceanfront property in a residential/resort area with sidewalks located along the shore. The Wildwood Boardwalk and the amusement piers to the northeast do not extend to this section of the beach front which is populated by condominiums and hotels located directly on the shore with immediate beach access.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Wildwood Crest is in the southern portion of Five Mile Beach, a barrier island located in southern Cape May County. Development first occurred in the mid-to-late-nineteenth century as fishermen and their families constructed permanent residences and buildings in the northern portion of the barrier island in Angelsea (North Wildwood). In 1879, Frederick Swope purchased land on the island as a real estate venture, eventually forming the Angelsea Improvement Company and constructing both summer cottages and a railway spur to the island. Development to the south of Angelsea, near the middle of the barrier island, began shortly after with the Holly Beach Improvement Company. Development to the north of Holly Beach began in 1883 by the Wild-Wood Improvement Company. Wild-Wood eventually turned attention to the southern portion of the barrier island, spurred by improved transportation routes to the area, and constructed the first houses in what was touted as Wildwood Crest in 1906. While rudimentary boardwalks connecting hotels, businesses, and residences were constructed within the early developments on the island, a cohesive boardwalk running along the coast from North Wildwood to Wildwood Crest was constructed in the early twentieth century. This in turn spurred more development, as restaurants, bandstands, and amusement rides catered to an expanding tourist population. However, it was not until post-World War II, when the Garden State Parkway opened in 1955, that a major building boom occurred in Wildwood Crest. The Garden State Parkway allowed for easy automobile travel to Wildwood Crest and a booming tourist vacation industry arose. Over 200 motels were constructed within the decade alone. Most of these motels were constructed in the “Doo Wop” or Googie architectural style that expressed modern space-age elements popular in American culture at that time. The Wildwoods became known as the “Doo Wop Capital of the World.” To this day, Wildwood Crest and Wildwood host the largest concentration of “Doo Wop” resort architecture in the United States (The Shore Blog, 2021; Zerbe et al., 2004).

Significance: 9000A Beach Avenue is associated with late-twentieth-century development in Wildwood Crest. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 9000A Beach Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 9000A Beach Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

HISTORIC DISTRICT FORM

Historic Sites #:

District Name:	<u>Pleasantville Mobile Home Court (Harbor Crossings)</u>		
County(s):	<u>Atlantic</u>	District Type:	<u>Residential</u>
Municipality(s):	<u>Egg Harbor Township</u>	USGS Quad(s):	<u>Pleasantville</u>
Local Place Name(s):	<u>N/A</u>		
Development Period	<u>ca.1951</u>	To	<u>ca.1984</u>
Source	<u>NETR, 2023.</u>		
Physical Condition:	<u>Good</u>		
Remaining Historic Fabric:	<u>Medium</u>		
Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion:	_____
	National Register: _____	Local Designation:	_____
	New Jersey Register: _____	Other Designation:	_____
	Determination of Eligibility: _____	Other Designation Date:	_____

Description: Today known as Harbor Crossings, Pleasantville Mobile Home Court is a manufactured home community. The land is owned by a management company that sells and finances manufactured homes. Homeowners then pay a monthly fee for services. The private community is bounded by Tilton Road, Fire Road, Old Egg Harbor Road, Black Horse Pike, and the Garden State Parkway. It comprises a series of private streets that span the development on north-south and east-west axes. According to historic aerials, the development dates to the early 1950s but takes its current form by the early 1980s. The owner-occupied manufactured homes are typically one-story gabled rectangular buildings with vinyl siding and an entry on the long elevation. Dates of construction appear to be largely late twentieth century with early twenty-first century buildings interspersed.

Setting: Egg Harbor Township is in the southeastern extent of Atlantic County and is bordered on the southwest by the Great Egg Harbor River. The township consists of several unincorporated communities, including Bargaintown, Cardiff, English Creek, Farmington, Scullville (formerly known as Jeffers), Steelmanville, and West Atlantic City, as well as part of McKee City. Historic aerial imagery shows the slow growth of the township through the mid-twentieth century, including the construction of the Naval Air Station (NAS) Atlantic City in the 1940s, the construction of the Atlantic City Expressway in the 1960s, and the expansion of suburbs throughout the township in the mid- and late-twentieth century. Today, Egg Harbor Township remains primarily agricultural land, with small centers of commerce in the communities and additional undeveloped natural areas used for recreation (NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

HISTORIC DISTRICT FORM

Historic Sites #:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

HISTORIC DISTRICT FORM

Historic Sites #:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BASE FORM

Historic Sites #:

Property Name: 111 Lanes Pond Road

Street Address: Street #: 111 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Lanes Pond Road Suffix: N/A Type: RD

County(s): Monmouth **Zip Code:** 07731

Municipality(s): Howell Township **Block(s):** 26

Local Place Name(s): N/A **Lot(s):** 34.01

Ownership: Private **USGS Quad(s)** Lakewood

Description: The building at 111 Lanes Pond Road is a raised ranch with a front roof extension supported by columns. The basement level is faced with brick and the main level has aluminum siding.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Howell Township, New Jersey. 2016. *Parcel and Subdivision Map*. Available at <http://www.twp.howell.nj.us/DocumentCenter/View/2415/Parcel-Subdivision-Map-2016-11-01?bidId=> (Accessed February 2023).

Howell Township, New Jersey. 2023. *History of Howell Township*. Available at <http://www.twp.howell.nj.us/244/History-of-Howell-Township> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials*. Available at: <https://historicaerials.com/> (Accessed February 2023).

Snyder, J.F. 2004. *The Story of New Jersey's Civil Boundaries, 1606-1968*. New Jersey Geological Survey, Trenton, NJ.

Williams, E. 2000. "Interview with Ed and Jim Lang." In *Remembering the 20th Century: An Oral History of Monmouth County*. Available at <https://www.visitmonmouth.com/oralhistory/bios/LangJim-Ed2.htm> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	111 Lanes Pond Road		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1961	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	High
Style:	Other		
Form:	Ranch	Stories:	2
Type:	N/A	Bays:	4
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Aluminum		

Exterior Description: The building at 111 Lanes Pond Road is a raised ranch set back from the road on a circular driveway. The primary elevation is sided with aluminum on the upper level and faced with multi-colored brick on the lower level. A roof extension on the front is supported by square wood columns that frame the asymmetrical bays. The left bay is the widest to accommodate a tripartite picture window, while the right two bays are evenly spaced with paired double-hung windows. The remaining bay is a slightly recessed entry, and the door framed is crowned with a broken pediment. The windows appear to be vinyl and have vinyl shutters.

Interior Description: N/A

Setting: Howell Township is in southern Monmouth County and comprises several unincorporated communities, including Ramtown, Adelphia, Ardena, Ardmore Estates, Bergerville, Candlewood, Collingwood Park, Fairfield, Fort Plains, Freewood Acres, Jerseyville, Lake Club, Land of Pines, Larrabees, Lippencotts Corner, Lower Squankum, Matthews, Maxim, Oak Glen, Parkway Pines, Salem Hill, Shacks Corner, Southard, Squankum, West Farms, Winston Park, Wyckoff Mills, and Yellow Brook. Historic aerial imagery shows the slow growth of the township through the mid-twentieth century, including the construction of the weapons station in the 1940s, the construction of I-195 in the 1970s, the establishment of the Manasquan Reservoir in the 1990s, and the expansion of suburbs throughout the township in the mid- and late-twentieth century. Lanes Pond Road is a secondary road lined with woods and fields, with dispersed residential properties in the vicinity of the resource.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The first Euro-American settlement in the area was a Methodist church society founded in the 1760s in present-day Adelphia. Several additional communities were established in the late eighteenth and early-nineteenth centuries with Howell Township formally incorporated in 1801. In the first half of the nineteenth century, Farmingdale (no longer part of Howell Township) was the commercial center of the township. Industries in the township during the nineteenth century included iron production, marl extraction, brick-making, and munition manufacturing. Through the twentieth century, the township remained relatively rural and agricultural. In 1903, Farmingdale was incorporated as a borough. In 1912, the Howell Preventorium was opened as a tuberculosis quarantine center for children and operated until about 1962. In 1943, the Naval Weapons Station Earle was commissioned in northern Howell Township to support the World War II effort. The weapons station still operates today. Most of the railroads in the township ceased operation in the twentieth century as many of the large industries from the nineteenth century declined. The mid- and late-twentieth century saw the improvement of road infrastructure and the growth of suburban developments in parts of the township. Today, Howell Township remains primarily agricultural, with small centers of commerce and additional undeveloped natural areas used for recreation.

Significance: 111 Lanes Pond Road is associated with mid-twentieth-century development in Howell Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 111 Lanes Pond Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 111 Lanes Pond Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: Arnold Steel Co.

Street Address: Street #: 79 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Randolph Suffix: N/A Type: RD

County(s): Monmouth **Zip Code:** 07731

Municipality(s): Howell Township **Block(s):** 38

Local Place Name(s): N/A **Lot(s):** 2

Ownership: Private **USGS Quad(s)** Lakewood

Description: The building at 79 Randolph Road is an industrial plant with a sprawling ell-shaped footprint. The roofs of the two single-single industrial wings are raised. A two-story addition and a single-story addition situated near the corner of the industrial space form the entry and office areas.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:



Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Howell Township, New Jersey. 2016. *Parcel and Subdivision Map*. Available at <http://www.twp.howell.nj.us/DocumentCenter/View/2415/Parcel-Subdivision-Map-2016-11-01?bidId=> (Accessed February 2023).

Howell Township, New Jersey. 2023. *History of Howell Township*. Available at <http://www.twp.howell.nj.us/244/History-of-Howell-Township> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials*. Available at: <https://historicaerials.com/> (Accessed February 2023).

Snyder, J.F. 2004. *The Story of New Jersey's Civil Boundaries, 1606-1968*. New Jersey Geological Survey, Trenton, NJ.

Williams, E. 2000. "Interview with Ed and Jim Lang." In *Remembering the 20th Century: An Oral History of Monmouth County*. Available at <https://www.visitmonmouth.com/oralhistory/bios/LangJim-Ed2.htm> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C.

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>Arnold Steel Co.</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Industrial Activity, Heavy Industrial</u>		
Historic Use:	<u>Industrial Activity, Heavy Industrial</u>		
Construction Date:	<u>1961</u>	Source:	<u>www.manta.com</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u></u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Other</u>	Stories:	<u>1</u>
Type:	<u>N/A</u>	Bays:	<u>n/a</u>
Roof Finish Materials:	<u>Unknown</u>		
Exterior Finish Materials	<u>Concrete Block, Modern</u>		

Exterior Description: The Arnold Steel Company building at 79 Randolph Road is a large industrial plant with a single-story, ell-shaped plan and a flat roof. The walls are built of concrete block with a ribbon of glazing below the roofline. A two-story concrete building with a mansard-like, standing seam roof is located at the corner of the ell, with a single-story concrete addition faced with stone veneer. These additions form the entry and office space for the industrial building.

Interior Description: N/A

Setting: Howell Township is in southern Monmouth County and comprises several unincorporated communities, including Ramtown, Adelphia, Ardena, Ardmore Estates, Bergerville, Candlewood, Collingwood Park, Fairfield, Fort Plains, Freewood Acres, Jerseyville, Lake Club, Land of Pines, Larrabees, Lippencotts Corner, Lower Squankum, Matthews, Maxim, Oak Glen, Parkway Pines, Salem Hill, Shacks Corner, Southard, Squankum, West Farms, Winston Park, Wyckoff Mills, and Yellow Brook. Historic aerial imagery shows the slow growth of the township through the mid-twentieth century, including the construction of the weapons station in the 1940s, the construction of I-195 in the 1970s, the establishment of the Manasquan Reservoir in the 1990s, and the expansion of suburbs throughout the township in the mid- and late-twentieth century (Howell Township, 2016; NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The first Euro-American settlement in the area was a Methodist church society founded in the 1760s in present-day Adelphia. Several additional communities were established in the late eighteenth and early-nineteenth centuries with Howell Township formally incorporated in 1801. In the first half of the nineteenth century, Farmingdale (no longer part of Howell Township) was the commercial center of the township. Industries in the township during the nineteenth century included iron production, marl extraction, brick-making, and munition manufacturing. Through the twentieth century, the township remained relatively rural and agricultural. In 1903, Farmingdale was incorporated as a borough. In 1912, the Howell Preventorium was opened as a tuberculosis quarantine center for children and operated until about 1962. In 1943, the Naval Weapons Station Earle was commissioned in northern Howell Township to support the World War II effort. The weapons station still operates today. Most of the railroads in the township ceased operation in the twentieth century as many of the large industries from the nineteenth century declined. The mid- and late-twentieth century saw the improvement of road infrastructure and the growth of suburban developments in parts of the township. Today, Howell Township remains primarily agricultural, with small centers of commerce and additional undeveloped natural areas used for recreation (Howell Township, 2023; Snyder, 2004; Williams, 2000).

Arnold Steel Company was founded in 1961 as an example of twentieth-century industrial development in the township.

Significance: The Arnold Steel Company Building at 79 Randolph Road is associated with mid-twentieth-century industrial development in Howell Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, Arnold Steel Co. is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, Arnold Steel Co. is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

ELIGIBILITY WORKSHEET

Historic Sites #:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Property Name: 337 Lanes Mill Road

Street Address: Street #: 337 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Lanes Mill Suffix: N/A Type: RD

County(s): Monmouth **Zip Code:** 07731

Municipality(s): Howell Township **Block(s):** 29

Local Place Name(s): N/A **Lot(s):** 32

Ownership: Private **USGS Quad(s)** Lakewood

Description: The building at 337 Lanes Mill Road is a single-story, side-gable residence with a central entry gable, and a one and a half story garage attached by a single-story breezeway. The main volume is sided with vinyl. A second-story porch has been added to the north elevation of the garage. The building is accessed from Lakeview Drive.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:



Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Howell Township, New Jersey. 2016. *Parcel and Subdivision Map*. Available at <http://www.twp.howell.nj.us/DocumentCenter/View/2415/Parcel-Subdivision-Map-2016-11-01?bidId=> (Accessed February 2023).

Howell Township, New Jersey. 2023. *History of Howell Township*. Available at <http://www.twp.howell.nj.us/244/History-of-Howell-Township> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials*. Available at: <https://historicaerials.com/> (Accessed February 2023).

Snyder, J.F. 2004. *The Story of New Jersey's Civil Boundaries, 1606-1968*. New Jersey Geological Survey, Trenton, NJ.

Williams, E. 2000. "Interview with Ed and Jim Lang." In *Remembering the 20th Century: An Oral History of Monmouth County*. Available at <https://www.visitmonmouth.com/oralhistory/bios/LangJim-Ed2.htm> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	337 Lanes Mill Road		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1960	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	1.5
Type:	N/A	Bays:	N/A
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 337 Lanes Mill Road is a single story, side-gabled residence with a central entry gable. It has a one and a half story garage attached via a single-story addition. The house is sided with vinyl and has vinyl, double hung windows. A second story porch has been added to the north elevation of the garage, which has intermittent, undersized vinyl windows and a rear pedestrian door. Despite the address, the driveway for the property opens onto Lakeview Drive. The wooded property is surrounded on three sides by roads and faces north to the nearby lake.

Interior Description: N/A

Setting: Howell Township is in southern Monmouth County and comprises several unincorporated communities, including Ramtown, Adelphia, Ardena, Ardmore Estates, Bergerville, Candlewood, Collingwood Park, Fairfield, Fort Plains, Freewood Acres, Jerseyville, Lake Club, Land of Pines, Larrabees, Lippencotts Corner, Lower Squankum, Matthews, Maxim, Oak Glen, Parkway Pines, Salem Hill, Shacks Corner, Southard, Squankum, West Farms, Winston Park, Wyckoff Mills, and Yellow Brook. Historic aerial imagery shows the slow growth of the township through the mid-twentieth century, including the construction of the weapons station in the 1940s, the construction of I-195 in the 1970s, the establishment of the Manasquan Reservoir in the 1990s, and the expansion of suburbs throughout the township in the mid- and late-twentieth century. Though surrounded on three sides by roads, the property at 337 Lanes Mill Road is heavily vegetated and obscured from view. A small lake is located north of the property, though direct views of the water are unlikely due to the vegetation.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The first Euro-American settlement in the area was a Methodist church society founded in the 1760s in present-day Adelphia. Several additional communities were established in the late eighteenth and early-nineteenth centuries with Howell Township formally incorporated in 1801. In the first half of the nineteenth century, Farmingdale (no longer part of Howell Township) was the commercial center of the township. Industries in the township during the nineteenth century included iron production, marl extraction, brick-making, and munition manufacturing. Through the twentieth century, the township remained relatively rural and agricultural. In 1903, Farmingdale was incorporated as a borough. In 1912, the Howell Preventorium was opened as a tuberculosis quarantine center for children and operated until about 1962. In 1943, the Naval Weapons Station Earle was commissioned in northern Howell Township to support the World War II effort. The weapons station still operates today. Most of the railroads in the township ceased operation in the twentieth century as many of the large industries from the nineteenth century declined. The mid- and late-twentieth century saw the improvement of road infrastructure and the growth of suburban developments in parts of the township. Today, Howell Township remains primarily agricultural, with small centers of commerce and additional undeveloped natural areas used for recreation

Significance: 337 Lanes Mill Road is associated with mid-twentieth-century development in Howell Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 337 Lanes Mill Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, Lanes Mill Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 768 Oak Glen Road

Street Address: Street #: 768 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Oak Glen Suffix: N/A Type: RD

County(s): Monmouth **Zip Code:** 07731

Municipality(s): Howell Township **Block(s):** 38

Local Place Name(s): N/A **Lot(s):** 10.01

Ownership: Private **USGS Quad(s)** Lakewood

Description: The building at 768 Oak Glen Road is a one-story side-gabled ranch house with clapboard siding and an oversized attached garage.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Howell Township, New Jersey. 2016. *Parcel and Subdivision Map*. Available at <http://www.twp.howell.nj.us/DocumentCenter/View/2415/Parcel-Subdivision-Map-2016-11-01?bidId=> (Accessed February 2023).

Howell Township, New Jersey. 2023. *History of Howell Township*. Available at <http://www.twp.howell.nj.us/244/History-of-Howell-Township> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials*. Available at: <https://historicaerials.com/> (Accessed February 2023).

Snyder, J.F. 2004. *The Story of New Jersey's Civil Boundaries, 1606-1968*. New Jersey Geological Survey, Trenton, NJ.

Williams, E. 2000. "Interview with Ed and Jim Lang." In *Remembering the 20th Century: An Oral History of Monmouth County*. Available at <https://www.visitmonmouth.com/oralhistory/bios/LangJim-Ed2.htm> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 768 Oak Glen Road

Historic Name: N/A

Present Use: Residential Activity, permanent

Historic Use: Residential Activity, permanent

Construction Date: 1978 **Source:** Njtaxrecords.net

Alteration Date(s): ca. 2020 **Source:** Google Street View

Designer: N/A **Physical Condition:** Good

Builder: N/A **Remaining Historic Fabric:** Low

Style: None

Form: Ranch **Stories:** 1

Type: N/A **Bays:** 6

Roof Finish Materials: Asphalt Shingle

Exterior Finish Materials Wood, Clapboard

Exterior Description: The building at 768 Oak Glen Road is a one-story side-gabled ranch house with clapboard siding and an oversized attached garage. The house is six bays wide with a center entry. To the left of the entry is a picture window. Both are shielded by a roof overhang supported by posts. The rest of the fenestration is 1/1 sash singly placed. The garage has a gable front that rises above the roofline of the house. There are two bays, one of which is within a projecting pedimented bay.

Interior Description: N/A

Setting: Howell Township is in southern Monmouth County and comprises several unincorporated communities, including Ramtown, Adelphia, Ardena, Ardmore Estates, Bergerville, Candlewood, Collingwood Park, Fairfield, Fort Plains, Freewood Acres, Jerseyville, Lake Club, Land of Pines, Larrabees, Lippencotts Corner, Lower Squankum, Matthews, Maxim, Oak Glen, Parkway Pines, Salem Hill, Shacks Corner, Southard, Squankum, West Farms, Winston Park, Wyckoff Mills, and Yellow Brook. Historic aerial imagery shows the slow growth of the township through the mid-twentieth century, including the construction of the weapons station in the 1940s, the construction of I-195 in the 1970s, the establishment of the Manasquan Reservoir in the 1990s, and the expansion of suburbs throughout the township in the mid- and late-twentieth century (Howell Township, 2016; NETR, 2023).

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The first Euro-American settlement in the area was a Methodist church society founded in the 1760s in present-day Adelphia. Several additional communities were established in the late eighteenth and early-nineteenth centuries with Howell Township formally incorporated in 1801. In the first half of the nineteenth century, Farmingdale (no longer part of Howell Township) was the commercial center of the township. Industries in the township during the nineteenth century included iron production, marl extraction, brick-making, and munition manufacturing. Through the twentieth century, the township remained relatively rural and agricultural. In 1903, Farmingdale was incorporated as a borough. In 1912, the Howell Preventorium was opened as a tuberculosis quarantine center for children and operated until about 1962. In 1943, the Naval Weapons Station Earle was commissioned in northern Howell Township to support the World War II effort. The weapons station still operates today. Most of the railroads in the township ceased operation in the twentieth century as many of the large industries from the nineteenth century declined. The mid- and late-twentieth century saw the improvement of road infrastructure and the growth of suburban developments in parts of the township. Today, Howell Township remains primarily agricultural, with small centers of commerce and additional undeveloped natural areas used for recreation (Howell Township, 2023; Snyder, 2004; Williams, 2000).

Significance: 768 Oak Glen Road is associated with late-twentieth-century development in Howell Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 768 Oak Glen Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 768 Oak Glen Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BASE FORM

Historic Sites #:

Property Name: 662 Oak Glen Road

Street Address: Street #: 662 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Oak Glen Road Suffix: N/A Type: RD

County(s): Monmouth **Zip Code:** 07731

Municipality(s): Howell Township **Block(s):** 38

Local Place Name(s): N/A **Lot(s):** 23

Ownership: Private **USGS Quad(s)** Lakewood

Description: The building at 662 Oak Glen Road is a heavily altered one-story side-gabled residence with an infilled porch and attached garage.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:



Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Howell Township, New Jersey. 2016. *Parcel and Subdivision Map*. Available at <http://www.twp.howell.nj.us/DocumentCenter/View/2415/Parcel-Subdivision-Map-2016-11-01?bidId=> (Accessed February 2023).

Howell Township, New Jersey. 2023. *History of Howell Township*. Available at <http://www.twp.howell.nj.us/244/History-of-Howell-Township> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials*. Available at: <https://historicaerials.com/> (Accessed February 2023).

Snyder, J.F. 2004. *The Story of New Jersey's Civil Boundaries, 1606-1968*. New Jersey Geological Survey, Trenton, NJ.

Williams, E. 2000. "Interview with Ed and Jim Lang." In *Remembering the 20th Century: An Oral History of Monmouth County*. Available at <https://www.visitmonmouth.com/oralhistory/bios/LangJim-Ed2.htm> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	662 Oak Glen Road		
Historic Name:	N/A		
Present Use:	Residential Activity, permanent		
Historic Use:	Residential Activity, permanent		
Construction Date:	1940	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	1
Type:	N/A	Bays:	5
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Wood, Other		

Exterior Description: The building at 662 Oak Glen Road is a heavily altered one-story side-gabled residence with an infilled porch and attached garage. The residence is five bays wide and three bays deep. It consists of a gabled rectangular main block with a shed-roof porch occupying two-thirds of the façade. The porch has been built-out for additional living space and extends beyond the north elevation with an attached garage. The exterior wall cladding appears to be aluminum on the main block and the upper section of the porch. The rest of the porch and garage appears to be clad in vertical wood plank or plywood. The primary entrance is in the center of the porch and is flanked by a projecting picture window or a fully glazed oriel on one side and a single 1/1 replacement sash on the other. Otherwise, the fenestration is 2/2 wood sash with horizontal divisions.

Interior Description: N/A

Setting: Howell Township is in southern Monmouth County and comprises several unincorporated communities, including Ramtown, Adelphia, Ardena, Ardmore Estates, Bergerville, Candlewood, Collingwood Park, Fairfield, Fort Plains, Freewood Acres, Jerseyville, Lake Club, Land of Pines, Larrabees, Lippencotts Corner, Lower Squankum, Matthews, Maxim, Oak Glen, Parkway Pines, Salem Hill, Shacks Corner, Southard, Squankum, West Farms, Winston Park, Wyckoff Mills, and Yellow Brook. Historic aerial imagery shows the slow growth of the township through the mid-twentieth century, including the construction of the weapons station in the 1940s, the construction of I-195 in the 1970s, the establishment of the Manasquan Reservoir in the 1990s, and the expansion of suburbs throughout the township in the mid- and late-twentieth century (Howell Township, 2016; NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The first Euro-American settlement in the area was a Methodist church society founded in the 1760s in present-day Adelphia. Several additional communities were established in the late eighteenth and early-nineteenth centuries with Howell Township formally incorporated in 1801. In the first half of the nineteenth century, Farmingdale (no longer part of Howell Township) was the commercial center of the township. Industries in the township during the nineteenth century included iron production, marl extraction, brick-making, and munition manufacturing. Through the twentieth century, the township remained relatively rural and agricultural. In 1903, Farmingdale was incorporated as a borough. In 1912, the Howell Preventorium was opened as a tuberculosis quarantine center for children and operated until about 1962. In 1943, the Naval Weapons Station Earle was commissioned in northern Howell Township to support the World War II effort. The weapons station still operates today. Most of the railroads in the township ceased operation in the twentieth century as many of the large industries from the nineteenth century declined. The mid- and late-twentieth century saw the improvement of road infrastructure and the growth of suburban developments in parts of the township. Today, Howell Township remains primarily agricultural, with small centers of commerce and additional undeveloped natural areas used for recreation (Howell Township, 2023; Snyder, 2004; Williams, 2000).

Significance: 662 Oak Glen Road is associated with mid-twentieth-century development in Howell Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 662 Oak Glen Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 662 Oak Glen Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 680 Oak Glen Road

Street Address: Street #: 680 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Oak Glen Suffix: N/A Type: RD

County(s): Monmouth **Zip Code:** 07731

Municipality(s): Howell Township **Block(s):** 38

Local Place Name(s): N/A **Lot(s):** 20

Ownership: Private **USGS Quad(s)** Lakewood

Description: The building at 680 Oak Glen Road is a one-and-one-half-story cross-gable residence with a projecting gable-front volume on the second-story facade above a center porch. The house has a main block that is one bay wide and is flanked by two secondary blocks.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Howell Township, New Jersey. 2016. *Parcel and Subdivision Map*. Available at <http://www.twp.howell.nj.us/DocumentCenter/View/2415/Parcel-Subdivision-Map-2016-11-01?bidId=> (Accessed February 2023).

Howell Township, New Jersey. 2023. *History of Howell Township*. Available at <http://www.twp.howell.nj.us/244/History-of-Howell-Township> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials*. Available at: <https://historicaerials.com/> (Accessed February 2023).

Snyder, J.F. 2004. *The Story of New Jersey's Civil Boundaries, 1606-1968*. New Jersey Geological Survey, Trenton, NJ.

Williams, E. 2000. "Interview with Ed and Jim Lang." In *Remembering the 20th Century: An Oral History of Monmouth County*. Available at <https://www.visitmonmouth.com/oralhistory/bios/LangJim-Ed2.htm> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	680 Oak Glen Road		
Historic Name:	N/A		
Present Use:	Residential Activity, permanent		
Historic Use:	Residential Activity, permanent		
Construction Date:	1954	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	1.5
Type:	N/A	Bays:	4
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 680 Oak Glen Road is a one-and-one-half-story cross-gable residence with a projecting gable-front volume on the second-story facade above a center porch. The house has a main block that is one bay wide and is flanked by two secondary blocks. The north block is stepped forward of the main block with two bays and a gable front facing the road. The porch extends from the side elevation of the north block across the façade of the main block to the juncture with the south block. Columns support the roof of the porch, which is an extension of the roof eaves, and a single bay gable-front projection on the second story. The primary entrance is in the center of the façade with an oval light and with sidelights. The south block has a gable front and is embanked with a two-bay carport below grade. An oriel window is on the façade of the south block to the left of the entrance. There is a tripartite casement sash above the entrance in the second-story projection. Otherwise, the fenestration is 1/1 replacement sash, singly and in pairs, or fixed sash.

Interior Description: N/A

Setting: Howell Township is in southern Monmouth County and comprises several unincorporated communities, including Ramtown, Adelphia, Ardena, Ardmore Estates, Bergerville, Candlewood, Collingwood Park, Fairfield, Fort Plains, Freewood Acres, Jerseyville, Lake Club, Land of Pines, Larrabees, Lippencotts Corner, Lower Squankum, Matthews, Maxim, Oak Glen, Parkway Pines, Salem Hill, Shacks Corner, Southard, Squankum, West Farms, Winston Park, Wyckoff Mills, and Yellow Brook. Historic aerial imagery shows the slow growth of the township through the mid-twentieth century, including the construction of the weapons station in the 1940s, the construction of I-195 in the 1970s, the establishment of the Manasquan Reservoir in the 1990s, and the expansion of suburbs throughout the township in the mid- and late-twentieth century (Howell Township, 2016; NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The first Euro-American settlement in the area was a Methodist church society founded in the 1760s in present-day Adelphia. Several additional communities were established in the late eighteenth and early-nineteenth centuries with Howell Township formally incorporated in 1801. In the first half of the nineteenth century, Farmingdale (no longer part of Howell Township) was the commercial center of the township. Industries in the township during the nineteenth century included iron production, marl extraction, brick-making, and munition manufacturing. Through the twentieth century, the township remained relatively rural and agricultural. In 1903, Farmingdale was incorporated as a borough. In 1912, the Howell Preventorium was opened as a tuberculosis quarantine center for children and operated until about 1962. In 1943, the Naval Weapons Station Earle was commissioned in northern Howell Township to support the World War II effort. The weapons station still operates today. Most of the railroads in the township ceased operation in the twentieth century as many of the large industries from the nineteenth century declined. The mid- and late-twentieth century saw the improvement of road infrastructure and the growth of suburban developments in parts of the township. Today, Howell Township remains primarily agricultural, with small centers of commerce and additional undeveloped natural areas used for recreation (Howell Township, 2023; Snyder, 2004; Williams, 2000).

Significance: 680 Oak Glen Road is associated with mid-twentieth-century development in Howell Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 680 Oak Glen Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 680 Oak Glen Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 4 Arnold Boulevard

Street Address: Street #: 4 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Arnold Suffix: N/A Type: BLVD

County(s): Monmouth **Zip Code:** 07731

Municipality(s): Howell Township **Block(s):** 4

Local Place Name(s): N/A **Lot(s):** 7.01

Ownership: Private **USGS Quad(s)** Lakewood

Description: The building at 4 Arnold Boulevard is a one-story hipped-roof ranch house with vinyl siding.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

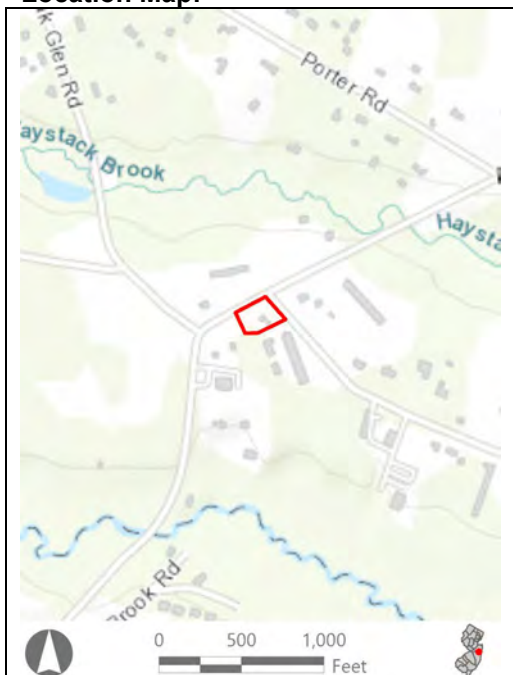


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Howell Township, New Jersey. 2016. *Parcel and Subdivision Map*. Available at <http://www.twp.howell.nj.us/DocumentCenter/View/2415/Parcel-Subdivision-Map-2016-11-01?bidId=> (Accessed February 2023).

Howell Township, New Jersey. 2023. *History of Howell Township*. Available at <http://www.twp.howell.nj.us/244/History-of-Howell-Township> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials*. Available at: <https://historicaerials.com/> (Accessed February 2023).

Snyder, J.F. 2004. *The Story of New Jersey's Civil Boundaries, 1606-1968*. New Jersey Geological Survey, Trenton, NJ.

Williams, E. 2000. "Interview with Ed and Jim Lang." In *Remembering the 20th Century: An Oral History of Monmouth County*. Available at <https://www.visitmonmouth.com/oralhistory/bios/LangJim-Ed2.htm> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	4 Arnold Boulevard		
Historic Name:	N/A		
Present Use:	Residential Activity, permanent		
Historic Use:	Residential Activity, permanent		
Construction Date:	1953	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Ranch	Stories:	1
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 4 Arnold Boulevard is a one-story hipped-roof ranch house with vinyl siding. The façade is at a right angle to the road. The building is three bays wide and two bays deep. There is a center entrance which is flanked by a picture window on one side and paired 1/1 replacement sash on the other. The street-facing elevation has a single 1/1 replacement sash and a pedestrian door that opens onto a fenced yard. There is a front-gabled detached garage.

Interior Description: N/A

Setting: Howell Township is in southern Monmouth County and comprises several unincorporated communities, including Ramtown, Adelphia, Ardena, Ardmore Estates, Bergerville, Candlewood, Collingwood Park, Fairfield, Fort Plains, Freewood Acres, Jerseyville, Lake Club, Land of Pines, Larrabees, Lippencotts Corner, Lower Squankum, Matthews, Maxim, Oak Glen, Parkway Pines, Salem Hill, Shacks Corner, Southard, Squankum, West Farms, Winston Park, Wyckoff Mills, and Yellow Brook. Historic aerial imagery shows the slow growth of the township through the mid-twentieth century, including the construction of the weapons station in the 1940s, the construction of I-195 in the 1970s, the establishment of the Manasquan Reservoir in the 1990s, and the expansion of suburbs throughout the township in the mid- and late-twentieth century (Howell Township, 2016; NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The first Euro-American settlement in the area was a Methodist church society founded in the 1760s in present-day Adelphia. Several additional communities were established in the late eighteenth and early-nineteenth centuries with Howell Township formally incorporated in 1801. In the first half of the nineteenth century, Farmingdale (no longer part of Howell Township) was the commercial center of the township. Industries in the township during the nineteenth century included iron production, marl extraction, brick-making, and munition manufacturing. Through the twentieth century, the township remained relatively rural and agricultural. In 1903, Farmingdale was incorporated as a borough. In 1912, the Howell Preventorium was opened as a tuberculosis quarantine center for children and operated until about 1962. In 1943, the Naval Weapons Station Earle was commissioned in northern Howell Township to support the World War II effort. The weapons station still operates today. Most of the railroads in the township ceased operation in the twentieth century as many of the large industries from the nineteenth century declined. The mid- and late-twentieth century saw the improvement of road infrastructure and the growth of suburban developments in parts of the township. Today, Howell Township remains primarily agricultural, with small centers of commerce and additional undeveloped natural areas used for recreation (Howell Township, 2023; Snyder, 2004; Williams, 2000).

Significance: 4 Arnold Boulevard is associated with mid-twentieth-century development in Howell Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 4 Arnold Boulevard is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 4 Arnold Boulevard is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to two adjacent and associated tax parcels.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 1139 Lakewood Farmingdale Road

Street Address: Street #: 1139 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Lakewood Farmingdale Suffix: N/A Type: RD

County(s): Monmouth **Zip Code:** 07731

Municipality(s): Howell Township **Block(s):** 38

Local Place Name(s): N/A **Lot(s):** 7.01

Ownership: Private **USGS Quad(s)** Lakewood

Description: The building at 1139 Lakewood Farmingdale Road is a one-story ranch house with an attached garage.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:



Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	April 7, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Howell Township, New Jersey. 2016. *Parcel and Subdivision Map*. Available at <http://www.twp.howell.nj.us/DocumentCenter/View/2415/Parcel-Subdivision-Map-2016-11-01?bidId=> (Accessed February 2023).

Howell Township, New Jersey. 2023. *History of Howell Township*. Available at <http://www.twp.howell.nj.us/244/History-of-Howell-Township> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials*. Available at: <https://historicaerials.com/> (Accessed February 2023).

Snyder, J.F. 2004. *The Story of New Jersey's Civil Boundaries, 1606-1968*. New Jersey Geological Survey, Trenton, NJ.

Williams, E. 2000. "Interview with Ed and Jim Lang." In *Remembering the 20th Century: An Oral History of Monmouth County*. Available at <https://www.visitmonmouth.com/oralhistory/bios/LangJim-Ed2.htm> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 1139 Lakewood Farmingdale Road
Historic Name: N/A
Present Use: Residential Activity, permanent
Historic Use: Residential Activity, permanent
Construction Date: 1970 **Source:** Njtaxrecords.net
Alteration Date(s): N/A **Source:** N/A
Designer: N/A **Physical Condition:**
Builder: N/A **Remaining Historic Fabric:** Low
Style: None
Form: Ranch **Stories:** 1
Type: N/A **Bays:** 5
Roof Finish Materials: Asphalt Shingle
Exterior Finish Materials: Vinyl Siding

Exterior Description: The building at 1139 Lakewood Farmingdale Road is a one-story ranch house with an attached garage. The residence is five bays wide on the main block and two bays deep. The façade is clad in stone veneer or a simulated veneer. The north elevation is clad in vinyl siding. The fenestration on the main block is 1/1 replacement sash with a bank of three to the right of the center entrance. The south elevation has a side-gabled vinyl-sided wing with a single bay of horizontal operable sash on the street-facing elevation. A two-bay attached garage is set back from the wing.

Interior Description: N/A

Setting: Howell Township is in southern Monmouth County and comprises several unincorporated communities, including Ramtown, Adelphia, Ardena, Ardmore Estates, Bergerville, Candlewood, Collingwood Park, Fairfield, Fort Plains, Freewood Acres, Jerseyville, Lake Club, Land of Pines, Larrabees, Lippencotts Corner, Lower Squankum, Matthews, Maxim, Oak Glen, Parkway Pines, Salem Hill, Shacks Corner, Southard, Squankum, West Farms, Winston Park, Wyckoff Mills, and Yellow Brook. Historic aerial imagery shows the slow growth of the township through the mid-twentieth century, including the construction of the weapons station in the 1940s, the construction of I-195 in the 1970s, the establishment of the Manasquan Reservoir in the 1990s, and the expansion of suburbs throughout the township in the mid- and late-twentieth century (Howell Township, 2016; NETR, 2023).

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The first Euro-American settlement in the area was a Methodist church society founded in the 1760s in present-day Adelphia. Several additional communities were established in the late eighteenth and early-nineteenth centuries with Howell Township formally incorporated in 1801. In the first half of the nineteenth century, Farmingdale (no longer part of Howell Township) was the commercial center of the township. Industries in the township during the nineteenth century included iron production, marl extraction, brick-making, and munition manufacturing. Through the twentieth century, the township remained relatively rural and agricultural. In 1903, Farmingdale was incorporated as a borough. In 1912, the Howell Preventorium was opened as a tuberculosis quarantine center for children and operated until about 1962. In 1943, the Naval Weapons Station Earle was commissioned in northern Howell Township to support the World War II effort. The weapons station still operates today. Most of the railroads in the township ceased operation in the twentieth century as many of the large industries from the nineteenth century declined. The mid- and late-twentieth century saw the improvement of road infrastructure and the growth of suburban developments in parts of the township. Today, Howell Township remains primarily agricultural, with small centers of commerce and additional undeveloped natural areas used for recreation (Howell Township, 2023; Snyder, 2004; Williams, 2000).

Significance: 1139 Lakewood Allenwood Road is associated with late-twentieth-century development in Howell Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1139 Lakewood Allenwood Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 1139 Lakewood Allenwood Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 2880 Lakewood-Allenwood Road

Street Address: Street #: 2880 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Lakewood-Allenwood Suffix: N/A Type: RD

County(s): Monmouth **Zip Code:** 07731

Municipality(s): Howell Township **Block(s):** 3

Local Place Name(s): N/A **Lot(s):** 4

Ownership: Private **USGS Quad(s)** Lakewood

Description: The building at 2880 Lakewood-Allenwood Road is a one-story hipped-roof ranch house clad in stucco.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

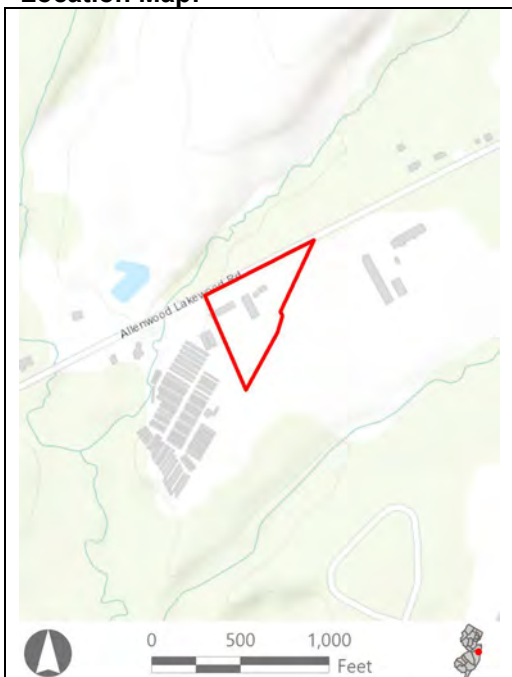


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Howell Township, New Jersey. 2016. *Parcel and Subdivision Map*. Available at <http://www.twp.howell.nj.us/DocumentCenter/View/2415/Parcel-Subdivision-Map-2016-11-01?bidId=> (Accessed February 2023).

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NETRonline (NETR). 2023. *Historic Aerials*. Available at: <https://historicaerials.com/> (Accessed February 2023).

Snyder, J.F. 2004. *The Story of New Jersey's Civil Boundaries, 1606-1968*. New Jersey Geological Survey, Trenton, NJ.

Williams, E. 2000. "Interview with Ed and Jim Lang." In *Remembering the 20th Century: An Oral History of Monmouth County*. Available at <https://www.visitmonmouth.com/oralhistory/bios/LangJim-Ed2.htm> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	2880 Lakewood-Allenwood Road		
Historic Name:	N/A		
Present Use:	Residential Activity, permanent		
Historic Use:	Residential Activity, permanent		
Construction Date:	1949	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Ranch	Stories:	1
Type:	N/A	Bays:	5
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Stucco		

Exterior Description: The building at 2880 Lakewood-Allenwood Road is a one-story hipped-roof ranch house clad in stucco. The building is five bays wide with the entrance in the rightmost bay. The fenestration appears to be a mix of small, fixed sash and paired 1/1 replacement sash with brick sills. There is also a two-bay hipped-roof detached garage and a large low-gabled masonry building that may have agricultural use.

Interior Description: N/A

Setting: Howell Township is in southern Monmouth County and comprises several unincorporated communities, including Ramtown, Adelphia, Ardena, Ardmore Estates, Bergerville, Candlewood, Collingwood Park, Fairfield, Fort Plains, Freewood Acres, Jerseyville, Lake Club, Land of Pines, Larrabees, Lippencotts Corner, Lower Squankum, Matthews, Maxim, Oak Glen, Parkway Pines, Salem Hill, Shacks Corner, Southard, Squankum, West Farms, Winston Park, Wyckoff Mills, and Yellow Brook. Historic aerial imagery shows the slow growth of the township through the mid-twentieth century, including the construction of the weapons station in the 1940s, the construction of I-195 in the 1970s, the establishment of the Manasquan Reservoir in the 1990s, and the expansion of suburbs throughout the township in the mid- and late-twentieth century (Howell Township, 2016; NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The first Euro-American settlement in the area was a Methodist church society founded in the 1760s in present-day Adelphia. Several additional communities were established in the late eighteenth and early-nineteenth centuries with Howell Township formally incorporated in 1801. In the first half of the nineteenth century, Farmingdale (no longer part of Howell Township) was the commercial center of the township. Industries in the township during the nineteenth century included iron production, marl extraction, brick-making, and munition manufacturing. Through the twentieth century, the township remained relatively rural and agricultural. In 1903, Farmingdale was incorporated as a borough. In 1912, the Howell Preventorium was opened as a tuberculosis quarantine center for children and operated until about 1962. In 1943, the Naval Weapons Station Earle was commissioned in northern Howell Township to support the World War II effort. The weapons station still operates today. Most of the railroads in the township ceased operation in the twentieth century as many of the large industries from the nineteenth century declined. The mid- and late-twentieth century saw the improvement of road infrastructure and the growth of suburban developments in parts of the township. Today, Howell Township remains primarily agricultural, with small centers of commerce and additional undeveloped natural areas used for recreation (Howell Township, 2023; Snyder, 2004; Williams, 2000).

Significance: 2880 Lakewood-Allenwood Road is associated with mid-twentieth-century development in Howell Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 2880 Lakewood-Allenwood Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 2880 Lakewood-Allenwood Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 1117 Lakewood Farmingdale Road

Street Address: Street #: 1117 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Lakewood Farmingdale Suffix: N/A Type: RD

County(s): Monmouth **Zip Code:** 07731

Municipality(s): Howell Township **Block(s):** 38

Local Place Name(s): N/A **Lot(s):** 8.02

Ownership: Private **USGS Quad(s)** Lakewood

Description: The building at 1117 Lakewood Farmingdale Road is a one-and-a-half-story, front-gabled residence with a long, single-story addition obscuring the first floor on the primary elevation and extending north of the corner. It is set back from the road with a side entry and is sided in aluminum.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:



Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Howell Township, New Jersey. 2016. *Parcel and Subdivision Map*. Available at <http://www.twp.howell.nj.us/DocumentCenter/View/2415/Parcel-Subdivision-Map-2016-11-01?bidId=> (Accessed February 2023).

Howell Township, New Jersey. 2023. *History of Howell Township*. Available at <http://www.twp.howell.nj.us/244/History-of-Howell-Township> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials*. Available at: <https://historicaerials.com/> (Accessed February 2023).

Snyder, J.F. 2004. *The Story of New Jersey's Civil Boundaries, 1606-1968*. New Jersey Geological Survey, Trenton, NJ.

Williams, E. 2000. "Interview with Ed and Jim Lang." In *Remembering the 20th Century: An Oral History of Monmouth County*. Available at <https://www.visitmonmouth.com/oralhistory/bios/LangJim-Ed2.htm> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	1117 Lakewood Farmingdale Road		
Historic Name:	N/A		
Present Use:	Residential Activity, permanent		
Historic Use:	Residential Activity, permanent		
Construction Date:	1940	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	1.5
Type:	N/A	Bays:	N/A
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Aluminum Siding		

Exterior Description: The building at 1117 Lakewood Farmingdale Road is a one and a half story, front gabled residence with a long, single-story addition stretching across the primary elevation and extending north of the corner. The addition has three vinyl, double hung windows that are unevenly spaced on the front and a bow window on the north end. There is also a vinyl window in the gable that extends up over the roof of the addition. The house is set back from the road and has its primary entry on the side. The roof is composed of asphalt shingles.

Interior Description: N/A

Setting: Howell Township is in southern Monmouth County and comprises several unincorporated communities, including Ramtown, Adelphia, Ardena, Ardmore Estates, Bergerville, Candlewood, Collingwood Park, Fairfield, Fort Plains, Freewood Acres, Jerseyville, Lake Club, Land of Pines, Larrabees, Lippencotts Corner, Lower Squankum, Matthews, Maxim, Oak Glen, Parkway Pines, Salem Hill, Shacks Corner, Southard, Squankum, West Farms, Winston Park, Wyckoff Mills, and Yellow Brook. Historic aerial imagery shows the slow growth of the township through the mid-twentieth century, including the construction of the weapons station in the 1940s, the construction of I-195 in the 1970s, the establishment of the Manasquan Reservoir in the 1990s, and the expansion of suburbs throughout the township in the mid- and late-twentieth century (Howell Township, 2016; NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The first Euro-American settlement in the area was a Methodist church society founded in the 1760s in present-day Adelphia. Several additional communities were established in the late eighteenth and early-nineteenth centuries with Howell Township formally incorporated in 1801. In the first half of the nineteenth century, Farmingdale (no longer part of Howell Township) was the commercial center of the township. Industries in the township during the nineteenth century included iron production, marl extraction, brick-making, and munition manufacturing. Through the twentieth century, the township remained relatively rural and agricultural. In 1903, Farmingdale was incorporated as a borough. In 1912, the Howell Preventorium was opened as a tuberculosis quarantine center for children and operated until about 1962. In 1943, the Naval Weapons Station Earle was commissioned in northern Howell Township to support the World War II effort. The weapons station still operates today. Most of the railroads in the township ceased operation in the twentieth century as many of the large industries from the nineteenth century declined. The mid- and late-twentieth century saw the improvement of road infrastructure and the growth of suburban developments in parts of the township. Today, Howell Township remains primarily agricultural, with small centers of commerce and additional undeveloped natural areas used for recreation (Howell Township, 2023; Snyder, 2004; Williams, 2000).

Significance: 1117 Lakewood Farmingdale Road is associated with twentieth-century development in Howell Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

**National
Register Criteria:**

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1117 Lakewood Farmingdale Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 1117 Lakewood Farmingdale Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 411 Alexander Avenue

Street Address: Street #: 411 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Alexander Suffix: N/A Type: AVE

County(s): Monmouth **Zip Code:** 07731

Municipality(s): Howell Township **Block(s):** 26

Local Place Name(s): N/A **Lot(s):** 29.01

Ownership: Private **USGS Quad(s)** Lakewood

Description: The building at 411 Alexander Avenue is a two-story hipped-roof split-level with a brick first story and a wood or aluminum second story.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Howell Township, New Jersey. 2016. *Parcel and Subdivision Map*. Available at <http://www.twp.howell.nj.us/DocumentCenter/View/2415/Parcel-Subdivision-Map-2016-11-01?bidId=> (Accessed February 2023).

Howell Township, New Jersey. 2023. *History of Howell Township*. Available at <http://www.twp.howell.nj.us/244/History-of-Howell-Township> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials*. Available at: <https://historicaerials.com/> (Accessed February 2023).

Snyder, J.F. 2004. *The Story of New Jersey's Civil Boundaries, 1606-1968*. New Jersey Geological Survey, Trenton, NJ.

Williams, E. 2000. "Interview with Ed and Jim Lang." In *Remembering the 20th Century: An Oral History of Monmouth County*. Available at <https://www.visitmonmouth.com/oralhistory/bios/LangJim-Ed2.htm> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &
Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	411 Alexander Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, permanent		
Historic Use:	Residential Activity, permanent		
Construction Date:	1964	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Split-Level	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Brick		

Exterior Description: The building at 411 Alexander Avenue is a two-story hipped-roof split-level with a brick first story and a wood or aluminum second story. It is three bays wide with a center entrance on a façade. The entrance has a gabled overhang supported by turned posts. The fenestration appears to be 1/1 paired replacement sash on the first story. On the second-story façade there is a multi-light oriel window to the right of the entrance and a single 1/1 replacement sash to the left. There is a two-bay hipped-roof garage attached on the west elevation.

Interior Description: N/A

Setting: Howell Township is in southern Monmouth County and comprises several unincorporated communities, including Ramtown, Adelphia, Ardena, Ardmore Estates, Bergerville, Candlewood, Collingwood Park, Fairfield, Fort Plains, Freewood Acres, Jerseyville, Lake Club, Land of Pines, Larrabees, Lippencotts Corner, Lower Squankum, Matthews, Maxim, Oak Glen, Parkway Pines, Salem Hill, Shacks Corner, Southard, Squankum, West Farms, Winston Park, Wyckoff Mills, and Yellow Brook. Historic aerial imagery shows the slow growth of the township through the mid-twentieth century, including the construction of the weapons station in the 1940s, the construction of I-195 in the 1970s, the establishment of the Manasquan Reservoir in the 1990s, and the expansion of suburbs throughout the township in the mid- and late-twentieth century (Howell Township, 2016; NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The first Euro-American settlement in the area was a Methodist church society founded in the 1760s in present-day Adelphia. Several additional communities were established in the late eighteenth and early-nineteenth centuries with Howell Township formally incorporated in 1801. In the first half of the nineteenth century, Farmingdale (no longer part of Howell Township) was the commercial center of the township. Industries in the township during the nineteenth century included iron production, marl extraction, brick-making, and munition manufacturing. Through the twentieth century, the township remained relatively rural and agricultural. In 1903, Farmingdale was incorporated as a borough. In 1912, the Howell Preventorium was opened as a tuberculosis quarantine center for children and operated until about 1962. In 1943, the Naval Weapons Station Earle was commissioned in northern Howell Township to support the World War II effort. The weapons station still operates today. Most of the railroads in the township ceased operation in the twentieth century as many of the large industries from the nineteenth century declined. The mid- and late-twentieth century saw the improvement of road infrastructure and the growth of suburban developments in parts of the township. Today, Howell Township remains primarily agricultural, with small centers of commerce and additional undeveloped natural areas used for recreation (Howell Township, 2023; Snyder, 2004; Williams, 2000).

Significance: 411 Alexander Avenue is associated with mid-twentieth-century development in Howell Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 411 Alexander Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 411 Alexander Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 403 Alexander Avenue

Street Address: Street #: 403 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Alexander Suffix: N/A Type: AVE

County(s): Monmouth **Zip Code:** 07731

Municipality(s): Howell Township **Block(s):** 26

Local Place Name(s): N/A **Lot(s):** 29

Ownership: Private **USGS Quad(s)** Lakewood

Description: The building at 403 Alexander Avenue is a single-story, front-gabled residence sided with vinyl and set on a concrete foundation.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

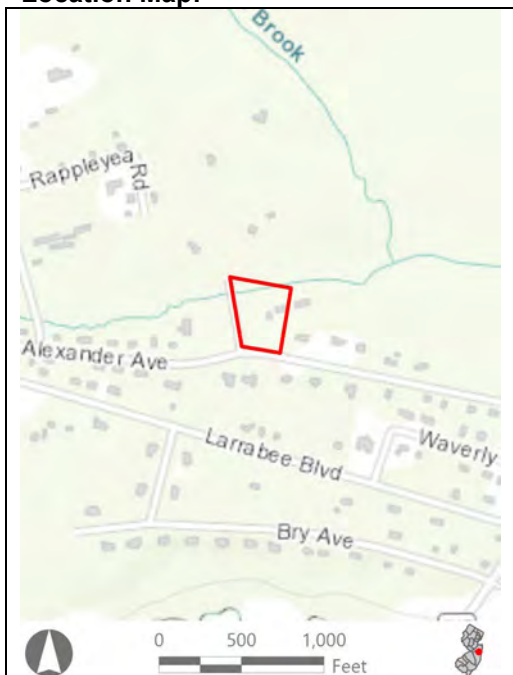


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

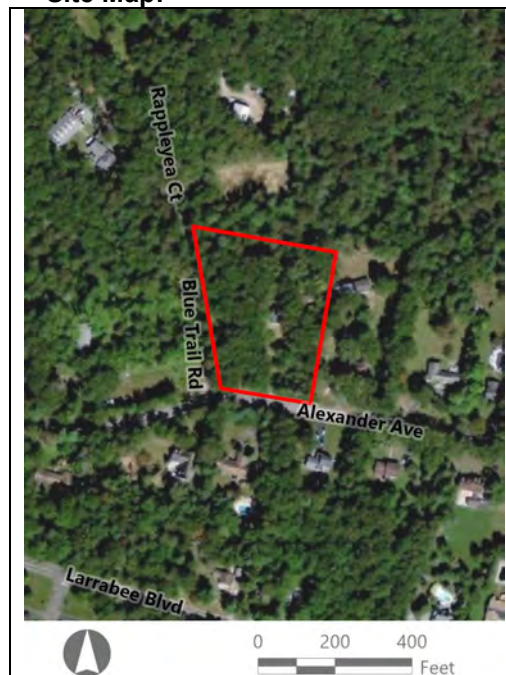
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Howell Township, New Jersey. 2016. *Parcel and Subdivision Map*. Available at <http://www.twp.howell.nj.us/DocumentCenter/View/2415/Parcel-Subdivision-Map-2016-11-01?bidId=> (Accessed February 2023).

Howell Township, New Jersey. 2023. *History of Howell Township*. Available at <http://www.twp.howell.nj.us/244/History-of-Howell-Township> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials*. Available at: <https://historicaerials.com/> (Accessed February 2023).

Snyder, J.F. 2004. *The Story of New Jersey's Civil Boundaries, 1606-1968*. New Jersey Geological Survey, Trenton, NJ.

Williams, E. 2000. "Interview with Ed and Jim Lang." In *Remembering the 20th Century: An Oral History of Monmouth County*. Available at <https://www.visitmonmouth.com/oralhistory/bios/LangJim-Ed2.htm> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	403 Alexander Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, permanent		
Historic Use:	Residential Activity, permanent		
Construction Date:	1949	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Gable Front	Stories:	1
Type:	N/A	Bays:	3
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 403 Alexander Avenue is a front gabled, single-story residence on a poured concrete foundation. The principal elevation is symmetrical with an unsheltered, centered entry with simple steps and railings flanked by paired vinyl, double hung windows on either side. The house is set back from the road in a largely wooded lot.

Interior Description: N/A

Setting: Howell Township is in southern Monmouth County and comprises several unincorporated communities, including Ramtown, Adelphia, Ardena, Ardmore Estates, Bergerville, Candlewood, Collingwood Park, Fairfield, Fort Plains, Freewood Acres, Jerseyville, Lake Club, Land of Pines, Larrabees, Lippencotts Corner, Lower Squankum, Matthews, Maxim, Oak Glen, Parkway Pines, Salem Hill, Shacks Corner, Southard, Squankum, West Farms, Winston Park, Wyckoff Mills, and Yellow Brook. Historic aerial imagery shows the slow growth of the township through the mid-twentieth century, including the construction of the weapons station in the 1940s, the construction of I-195 in the 1970s, the establishment of the Manasquan Reservoir in the 1990s, and the expansion of suburbs throughout the township in the mid- and late-twentieth century (Howell Township, 2016; NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The first Euro-American settlement in the area was a Methodist church society founded in the 1760s in present-day Adelphia. Several additional communities were established in the late eighteenth and early-nineteenth centuries with Howell Township formally incorporated in 1801. In the first half of the nineteenth century, Farmingdale (no longer part of Howell Township) was the commercial center of the township. Industries in the township during the nineteenth century included iron production, marl extraction, brick-making, and munition manufacturing. Through the twentieth century, the township remained relatively rural and agricultural. In 1903, Farmingdale was incorporated as a borough. In 1912, the Howell Preventorium was opened as a tuberculosis quarantine center for children and operated until about 1962. In 1943, the Naval Weapons Station Earle was commissioned in northern Howell Township to support the World War II effort. The weapons station still operates today. Most of the railroads in the township ceased operation in the twentieth century as many of the large industries from the nineteenth century declined. The mid- and late-twentieth century saw the improvement of road infrastructure and the growth of suburban developments in parts of the township. Today, Howell Township remains primarily agricultural, with small centers of commerce and additional undeveloped natural areas used for recreation (Howell Township, 2023; Snyder, 2004; Williams, 2000).

Significance: 403 Alexander Avenue is associated with mid-twentieth-century development in Howell Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 403 Alexander Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 403 Alexander Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24,
2023

BASE FORM

Historic Sites #:

Property Name: 730 Ridge Avenue/23 Brook Road

Street Address: Street #: 23 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Brook Suffix: N/A Type: RD

County(s): Monmouth **Zip Code:** 07731

Municipality(s): Howell Township **Block(s):** 4

Local Place Name(s): N/A **Lot(s):** 10.02

Ownership: Private **USGS Quad(s)** Lakewood

Description: The building at 23 Brook Road is set back from the road behind a detached garage. It appears to be a one-story vernacular residence with a side-gabled roof and stucco cladding.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: April 7, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Howell Township, New Jersey. 2016. *Parcel and Subdivision Map*. Available at <http://www.twp.howell.nj.us/DocumentCenter/View/2415/Parcel-Subdivision-Map-2016-11-01?bidId=> (Accessed February 2023).

Howell Township, New Jersey. 2023. *History of Howell Township*. Available at <http://www.twp.howell.nj.us/244/History-of-Howell-Township> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials*. Available at: <https://historicaerials.com/> (Accessed February 2023).

Snyder, J.F. 2004. *The Story of New Jersey's Civil Boundaries, 1606-1968*. New Jersey Geological Survey, Trenton, NJ.

Williams, E. 2000. "Interview with Ed and Jim Lang." In *Remembering the 20th Century: An Oral History of Monmouth County*. Available at <https://www.visitmonmouth.com/oralhistory/bios/LangJim-Ed2.htm> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: April 7, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 23 Brook Road

Historic Name: N/A

Present Use: Residential Activity, permanent

Historic Use: Residential Activity, permanent

Construction Date: 1930 **Source:** Njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Fair

Builder: N/A **Remaining Historic Fabric:** Low

Style: None

Form: Other **Stories:** 1

Type: N/A **Bays:** 2

Roof Finish Materials: Asphalt Shingle

Exterior Finish Materials Stucco

Exterior Description: The building at 23 Brook Road is set back from the road behind a detached garage. It appears to be a one-story vernacular residence with a side-gabled roof and stucco cladding. Only two bays are visible from the public right of way with a pedestrian entry and a 1/1 sash. The garage has a hipped roof and two bays on the facade. The left bay has been infilled and there is a single multi-light sash.

Interior Description: N/A

Setting: Howell Township is in southern Monmouth County and comprises several unincorporated communities, including Ramtown, Adelphia, Ardena, Ardmore Estates, Bergerville, Candlewood, Collingwood Park, Fairfield, Fort Plains, Freewood Acres, Jerseyville, Lake Club, Land of Pines, Larrabees, Lippencotts Corner, Lower Squankum, Matthews, Maxim, Oak Glen, Parkway Pines, Salem Hill, Shacks Corner, Southard, Squankum, West Farms, Winston Park, Wyckoff Mills, and Yellow Brook. Historic aerial imagery shows the slow growth of the township through the mid-twentieth century, including the construction of the weapons station in the 1940s, the construction of I-195 in the 1970s, the establishment of the Manasquan Reservoir in the 1990s, and the expansion of suburbs throughout the township in the mid- and late-twentieth century (Howell Township, 2016; NETR, 2023).

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: April 7, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The first Euro-American settlement in the area was a Methodist church society founded in the 1760s in present-day Adelphia. Several additional communities were established in the late eighteenth and early-nineteenth centuries with Howell Township formally incorporated in 1801. In the first half of the nineteenth century, Farmingdale (no longer part of Howell Township) was the commercial center of the township. Industries in the township during the nineteenth century included iron production, marl extraction, brick-making, and munition manufacturing. Through the twentieth century, the township remained relatively rural and agricultural. In 1903, Farmingdale was incorporated as a borough. In 1912, the Howell Preventorium was opened as a tuberculosis quarantine center for children and operated until about 1962. In 1943, the Naval Weapons Station Earle was commissioned in northern Howell Township to support the World War II effort. The weapons station still operates today. Most of the railroads in the township ceased operation in the twentieth century as many of the large industries from the nineteenth century declined. The mid- and late-twentieth century saw the improvement of road infrastructure and the growth of suburban developments in parts of the township. Today, Howell Township remains primarily agricultural, with small centers of commerce and additional undeveloped natural areas used for recreation (Howell Township, 2023; Snyder, 2004; Williams, 2000).

Significance: 23 Brook Road is associated with early-twentieth-century development in Howell Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 23 Brook Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 23 Brook Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: April 7, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 798 Joe Parker Road/760 Oak Glen Road

Street Address: Street #: 760 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Oak Glen Suffix: N/A Type: RD

County(s): Monmouth **Zip Code:** 07731

Municipality(s): Howell Township **Block(s):** 38

Local Place Name(s): N/A **Lot(s):** 10.02

Ownership: Private **USGS Quad(s)** Lakewood

Description: The building at 760 Oak Glen Road is a side-gabled ranch faced with brick on the principal elevation. It has a recessed central entry with an integrated porch.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:



Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	April 7, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Howell Township, New Jersey. 2016. *Parcel and Subdivision Map*. Available at <http://www.twp.howell.nj.us/DocumentCenter/View/2415/Parcel-Subdivision-Map-2016-11-01?bidId=> (Accessed February 2023).

Howell Township, New Jersey. 2023. *History of Howell Township*. Available at <http://www.twp.howell.nj.us/244/History-of-Howell-Township> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials*. Available at: <https://historicaerials.com/> (Accessed February 2023).

Snyder, J.F. 2004. *The Story of New Jersey's Civil Boundaries, 1606-1968*. New Jersey Geological Survey, Trenton, NJ.

Williams, E. 2000. "Interview with Ed and Jim Lang." In *Remembering the 20th Century: An Oral History of Monmouth County*. Available at <https://www.visitmonmouth.com/oralhistory/bios/LangJim-Ed2.htm> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: April 7, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	760 Oak Glen Road		
Historic Name:	N/A		
Present Use:	Residential Activity, permanent		
Historic Use:	Residential Activity, permanent		
Construction Date:	ca. 1960	Source:	Stylistic Evidence
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Ranch	Stories:	1
Type:	N/A	Bays:	5
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Brick, Common Bond		

Exterior Description: The building at 760 Oak Glen Road is a side-gabled ranch with a recessed central entry. The house is finished with concrete on the ends and has concrete quoins at the corners and adjacent to the recessed entry. Diamond-shaped concrete medallions molded with a floral motif are mounted on the walls between the two window bays at each end of the façade. The windows are vinyl with six-over-six muntins and the roof is covered with asphalt shingles. The house is secluded in a semi-wooded lot and the driveway is flanked by brick pillars topped with gabled concrete capitals.

Interior Description: N/A

Setting: Howell Township is in southern Monmouth County and comprises several unincorporated communities, including Ramtown, Adelphia, Ardena, Ardmore Estates, Bergerville, Candlewood, Collingwood Park, Fairfield, Fort Plains, Freewood Acres, Jerseyville, Lake Club, Land of Pines, Larrabees, Lippencotts Corner, Lower Squankum, Matthews, Maxim, Oak Glen, Parkway Pines, Salem Hill, Shacks Corner, Southard, Squankum, West Farms, Winston Park, Wyckoff Mills, and Yellow Brook. Historic aerial imagery shows the slow growth of the township through the mid-twentieth century, including the construction of the weapons station in the 1940s, the construction of I-195 in the 1970s, the establishment of the Manasquan Reservoir in the 1990s, and the expansion of suburbs throughout the township in the mid- and late-twentieth century (Howell Township, 2016; NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	April 7, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The first Euro-American settlement in the area was a Methodist church society founded in the 1760s in present-day Adelphia. Several additional communities were established in the late eighteenth and early-nineteenth centuries with Howell Township formally incorporated in 1801. In the first half of the nineteenth century, Farmingdale (no longer part of Howell Township) was the commercial center of the township. Industries in the township during the nineteenth century included iron production, marl extraction, brick-making, and munition manufacturing. Through the twentieth century, the township remained relatively rural and agricultural. In 1903, Farmingdale was incorporated as a borough. In 1912, the Howell Preventorium was opened as a tuberculosis quarantine center for children and operated until about 1962. In 1943, the Naval Weapons Station Earle was commissioned in northern Howell Township to support the World War II effort. The weapons station still operates today. Most of the railroads in the township ceased operation in the twentieth century as many of the large industries from the nineteenth century declined. The mid- and late-twentieth century saw the improvement of road infrastructure and the growth of suburban developments in parts of the township. Today, Howell Township remains primarily agricultural, with small centers of commerce and additional undeveloped natural areas used for recreation (Howell Township, 2023; Snyder, 2004; Williams, 2000).

Significance: 760 Oak Glen Road is associated with twentieth-century development in Howell Township. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 760 Oak Glen Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 760 Oak Glen Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: April 7, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 1808 EAST RIVERSIDE DRIVE

Street Address: Street #: 1808 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: RIVERSIDE Suffix: N/A Type: DR

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 676

Local Place Name(s): N/A **Lot(s):** 8

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 1808 East Riverside Drive is a two-story, 3 bay building clad in vinyl siding and capped with an asphalt shingle roof.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

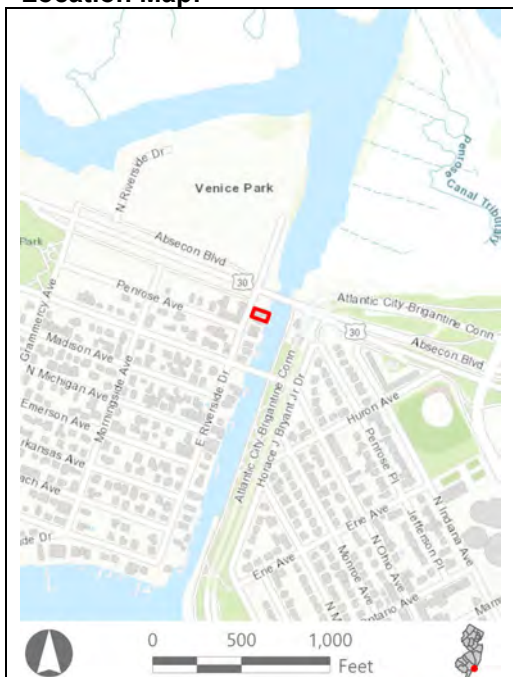


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	1808 EAST RIVERSIDE DRIVE		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1900	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Other		
Form:	Duplex	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt shingle		
Exterior Finish Materials	Vinyl siding		

Exterior Description: The building at 1808 East Riverside Drive is a two-story, three-bay duplex clad in running bond brick on the first story, and vinyl siding on the second story. The primary façade features a one-bay gable roof over the primary entrance. The low pitch roof section meets the gable end roof one bay deep into the building. There are symmetrical, single, 1/1 windows on either side of the door. The second story, clad in vinyl siding on all sides, features a central picture window, flanked by two smaller vertical windows. To the right of the primary façade, an attached set of wooden steps, facing easterly, provides access to the secondary entrance for the occupants of the second story of the duplex.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 1808 E RIVERSIDE DR is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1808 E RIVERSIDE DR is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 1808 E RIVERSIDE DR is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 113 NORTH CONGRESS AVENUE

Street Address: Street #: 113 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: CONGRESS Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 307

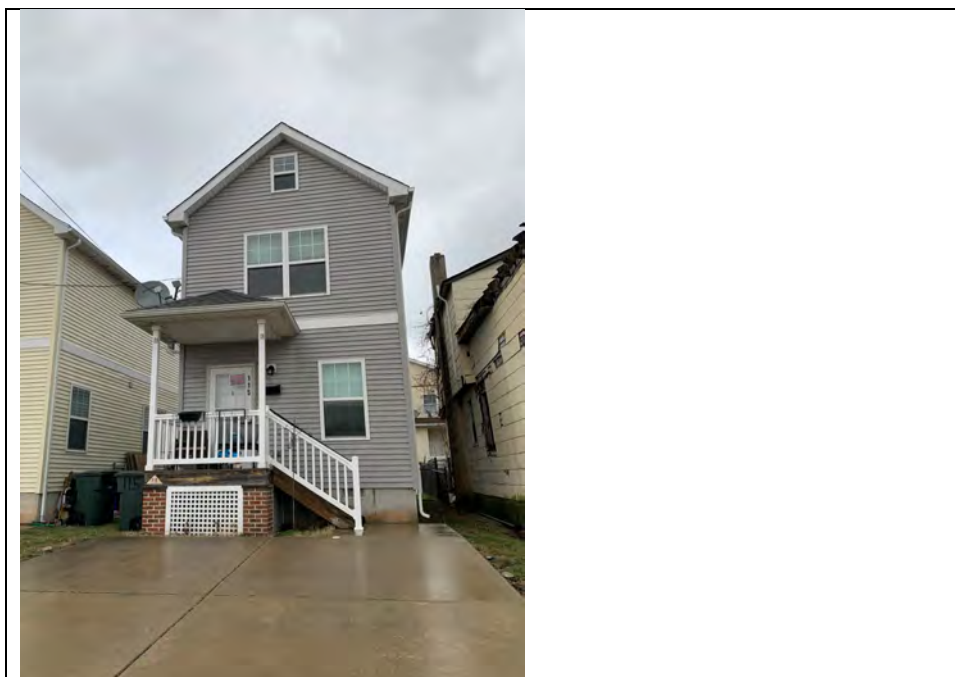
Local Place Name(s): N/A **Lot(s):** 18

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 113 North Congress Avenue is a two-story, two bay building clad in vinyl siding and capped in an asphalt shingle roof.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

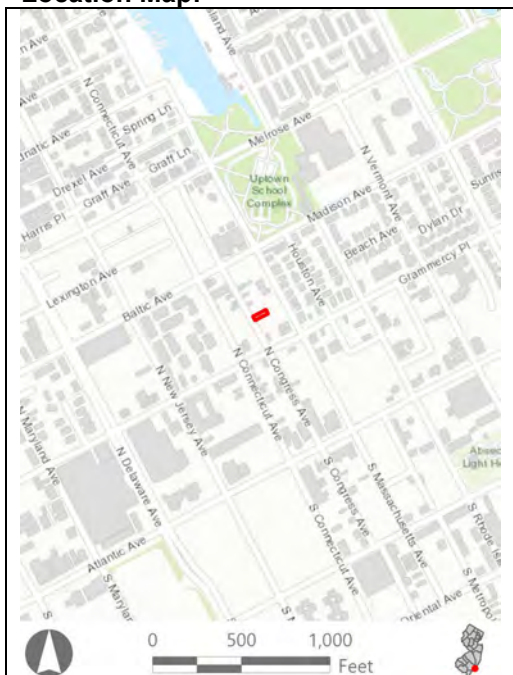


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 27, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 113 NORTH CONGRESS AVENUE

Historic Name: N/A

Present Use: Residential Activity, Permanent

Historic Use: Residential Activity, Permanent

Construction Date: 1900 **Source:** njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Good

Builder: N/A **Remaining Historic Fabric:** Low

Style: None

Form: Gable Front **Stories:** 2

Type: N/A **Bays:** 2

Roof Finish Materials: Asphalt shingle

Exterior Finish Materials Vinyl siding

Exterior Description: The building at 113 North Congress Avenue is a two-story, two bay building clad in vinyl siding and capped in an asphalt shingle roof. The primary entrance is housed under the left bay entry porch with a small set of steps that lead to it. The right bay holds a 6/1 window. The second story holds two centered 6/1 windows and a small 4/1 window that is set just under the gable of the roof.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 113 N CONGRESS AVE is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 113 N CONGRESS AVE is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 113 N CONGRESS AVE is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: House of God

Street Address: Street #: 711 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Arctic Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 310

Local Place Name(s): N/A **Lot(s):** 10

Ownership: Non-Profit **USGS Quad(s)** Atlantic City

Description: The House of God at 711 Arctic Avenue is a two-story, three bay building clad in stucco and topped with an asphalt shingle roof.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 27, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Historic Sites #:

Site Map:



Additional Information: N/A

INTENSIVE LEVEL USE ONLY

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Date: February 27, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name: House of God

Historic Name: N/A

Present Use: _____

Historic Use: _____

Construction Date: 1930

Source: njtaxrecords.net

Alteration Date(s): N/A

Source: N/A

Designer: N/A

Physical Condition: Good

Builder: N/A

Remaining Historic Fabric: Low

Style: None

Form: Other

Stories: 2

Type: N/A

Bays: 1

Roof Finish Materials: Asphalt Shingle

Exterior Finish Materials Stucco

Exterior Description: The House of God at 711 Arctic Avenue is a two-story, one bay building clad in stucco and topped with an asphalt shingle roof. The primary façade features the entry doors inset in a stucco arch with a segmented transom light. The southwesterly façade features three entry doors on the first story, along with a row of four, eight pane, pointed arch windows between the first and middle doors. The second story features seven asymmetrical, varied windows.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 711 Arctic Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 711 Arctic Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 711 Arctic Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 27,
2023

BASE FORM

Historic Sites #:

Property Name: 129 NORTH MARYLAND AVENUE

Street Address: Street #: 129 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: Maryland Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 312

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 129 Maryland Avenue is a three-story, two bay building clad in stucco.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

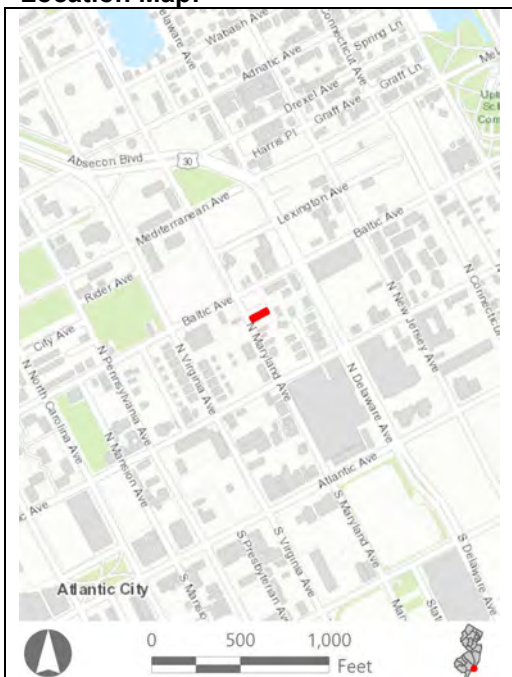


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 129 NORTH MARYLAND AVENUE	
Historic Name: N/A	
Present Use: Residential Activity, Permanent	
Historic Use: Residential Activity, Permanent	
Construction Date: 1910	Source: njtaxrecords.net
Alteration Date(s): N/A	Source: N/A
Designer: N/A	Physical Condition: Fair
Builder: N/A	Remaining Historic Fabric: Low
Style: Other	
Form: Other	Stories: 3
Type: N/A	Bays: 2
Roof Finish Materials: Unknown	
Exterior Finish Materials: Stucco	

Exterior Description: The building at 129 North Maryland Avenue is a three-story, two bay building clad in stucco. The primary façade of the building is symmetrical. The primary entrance is in the first-story right bay, with a narrow 1/1 window aligned in the left bay. The second and third stories feature symmetrically placed single pane 1/1 windows.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date: February 27, 2023
Surveyor: Grant Johnson and Laura Mancuso	
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C	

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 129 N MARYLAND AVE is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 129 N MARYLAND AVE is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 129 N MARYLAND AVE is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 127 NORTH MARYLAND AVENUE

Street Address: Street #: 127 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: MARYLAND Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 312

Local Place Name(s): N/A **Lot(s):** 2

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 127 North Maryland Avenue is a three-story, three bay building. The building is clad in vinyl siding and topped with a low-pitch, asphalt shingle roof.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

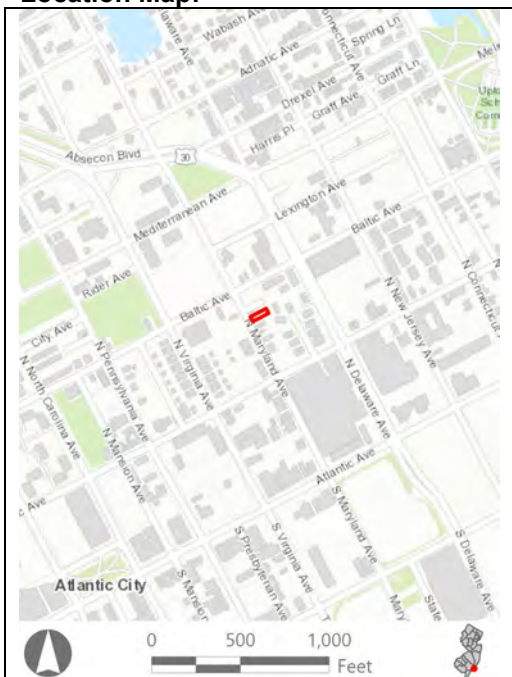


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	127 NORTH MARYLAND AVENUE		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1900	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Other		
Form:	Other	Stories:	3
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt shingle		
Exterior Finish Materials	Vinyl siding		

Exterior Description: The building at 127 North Maryland Avenue is a three-story, three bay building. The building is clad in vinyl siding and capped with an asphalt shingle roof. The first story is partially capped in a low-pitch roof, which joins it to the ell of the second and third stories in the rear of the building. The first story windows are held in the central and left bay and consist of three, 6/6 windows. The right bay holds two small steps up to the entrance. The second and third stories are arranged in an ell and are capped in a low-pitch roof. The windows on the façade are six, symmetrical, 6/6 windows, smaller than those on the first floor.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 127 N MARYLAND AVE is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 127 N MARYLAND AVE is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 127 N MARYLAND AVE is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 121 North Maryland Avenue

Street Address: Street #: 121 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: Maryland Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 312

Local Place Name(s): N/A **Lot(s):** 6

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 121 North Maryland Avenue is a three-story, two bay building. The building is clad in vinyl siding and topped with an asphalt shingle roof.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

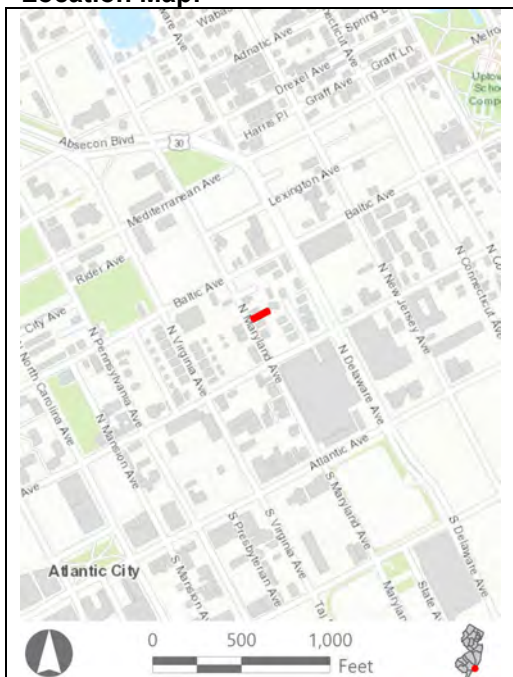


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 27, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 121 North Maryland Avenue

Historic Name: N/A

Present Use: Residential Activity, Permanent

Historic Use: Residential Activity, Permanent

Construction Date: 1900 **Source:** njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Fair

Builder: N/A **Remaining Historic Fabric:** Low

Style: Other

Form: Other **Stories:** 3

Type: N/A **Bays:** 2

Roof Finish Materials: Asphalt shingle

Exterior Finish Materials Vinyl siding

Exterior Description: The building at 121 North Maryland Avenue is a three-story, two bay building. The building is clad in vinyl siding and topped in an asphalt shingle roof. The first-story entry is sheltered by a two bay covered porch, which is lined with a simple railing. The entrance resides in the left bay with a small transom light. The right bay features a 1/1 window with a decorative grate. The second and third stories each hold two symmetrically placed 1/1 windows.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 121 North Maryland Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 121 North Maryland Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 121 North Maryland Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 117 NORTH MARYLAND AVENUE

Street Address: Street #: 117 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: MARYLAND Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 312

Local Place Name(s): N/A **Lot(s):** 9

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 117 North Maryland Avenue is a two-story, two bay building, clad primarily in stucco and capped with a tile roof.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 27, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Historic Sites #:

Site Map:



Additional Information: N/A

INTENSIVE LEVEL USE ONLY

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

1270

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	117 NORTH MARYLAND AVENUE		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1900	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Spanish Colonial Revival		
Form:	Other	Stories:	2
Type:	N/A	Bays:	2
Roof Finish Materials:	Tile, Spanish		
Exterior Finish Materials	Stucco		

Exterior Description: The building at 117 North Maryland Avenue is a two-story, two bay building clad in stucco and brick. The building is capped with a tile roof. Brick frames the stucco with quoins and partial cladding around the base of the building. The asymmetrical, primary façade features an extended left bay on the first story topped with a gabled parapet. The extended bay holds three, narrow, arched windows. The front entrance features five brick steps up to the landing, lined on the right side by a brick railing. The entrance is crowned by a gable pediment, providing partial shelter over the landing. The second story holds a small balcony in the left bay, and a rectangular window. The right bay holds two, narrow, arched windows.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 117 N MARYLAND AVE is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 117 N MARYLAND AVE is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 117 N MARYLAND AVE is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 218 NORTH SOUTH CAROLINA AVENUE

Street Address: Street #: 218 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: SOUTH CAROLINA Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 405

Local Place Name(s): N/A **Lot(s):** 6

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 218 North South Carolina Avenue is a one story commercial building, constructed from concrete.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 27, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Historic Sites #:

Site Map:



Additional Information: N/A

INTENSIVE LEVEL USE ONLY

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

1274

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 218 NORTH SOUTH CAROLINA AVENUE

Historic Name: N/A

Present Use: Residential Activity, Permanent

Historic Use: Residential Activity, Permanent

Construction Date: 1950 **Source:** njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Fair

Builder: N/A **Remaining Historic Fabric:** Low

Style: Other

Form: Other **Stories:** 1

Type: N/A **Bays:** 2

Roof Finish Materials: Asphalt Shingle

Exterior Finish Materials Concrete

Exterior Description: The building at 218 North South Carolina Avenue is a small single-story, two bay building constructed with concrete. The primary building façade features a paired, rectangular, single-pane window with a grate across the left bay. The right bay contains the primary entrance. The northerly façade features an elaborate, colorful mural across the concrete wall.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 218 NORTH SOUTH CAROLINA AVENUE is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 218 NORTH SOUTH CAROLINA AVENUE not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 218 NORTH SOUTH CAROLINA AVENUE is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 822 Lexington Avenue

Street Address: Street #: 822 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Lexington Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 415

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 822 Lexington Avenue is a single-story, single bay building. The building is clad in brick and vinyl siding.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	822 Lexington Avenue		
Historic Name:	N/A		
Present Use:	Institutional Activity, Religious activity		
Historic Use:	Institutional Activity, Religious activity		
Construction Date:	1960	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Poor
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Other		
Form:	Gable Front	Stories:	1
Type:	N/A	Bays:	1
Roof Finish Materials:	Asphalt shingle		
Exterior Finish Materials	Vinyl siding		

Exterior Description: The building at 822 Lexington Avenue is a single-story, single bay building clad in running bond brick and vinyl siding. The primary façade features a central stucco plane, flanked by bricks. Centrally above the door, a cross made up of square, textured glass tiles are laid into the stucco. The primary entrance is gated with a decorative iron double door gate. The southerly façade holds six, symmetrical, 1/1 windows with inset pediments above each. Every set of windows is separated by a brick column.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 822 Lexington Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 822 Lexington Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 822 Lexington Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 728 ADRIATIC AVENUE

Street Address: Street #: 728 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: ADRIATIC Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 434

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 728 Adriatic Avenue is a one-story, four-bay building. The building is clad in concrete.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:



Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	728 ADRIATIC AVENUE		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1940	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Other		
Form:	Other	Stories:	1
Type:	N/A	Bays:	4
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Concrete		

Exterior Description: The building at 728 Adriatic Avenue is a one-story, four-bay building. The building is clad in painted concrete and brick. The primary façade features two small nine-pane windows and a garage door. Sections to the right of the garage door are clad in painted brick and laid in a running bond. Four large square spaces on the façade have more decorative brickwork over the tops as if they were window openings.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 728 ADRIATIC AVE is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 728 ADRIATIC AVE is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 728 ADRIATIC AVE is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 362 North Pennsylvania Avenue

Street Address: Street #: 362 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: Pennsylvania Suffix: N/A Type: Ave

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 443

Local Place Name(s): N/A **Lot(s):** 14

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 362 North Pennsylvania Avenue is a two-story, two bay rowhouse. The building is clad in brick and is capped with an asphalt shingle roof.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

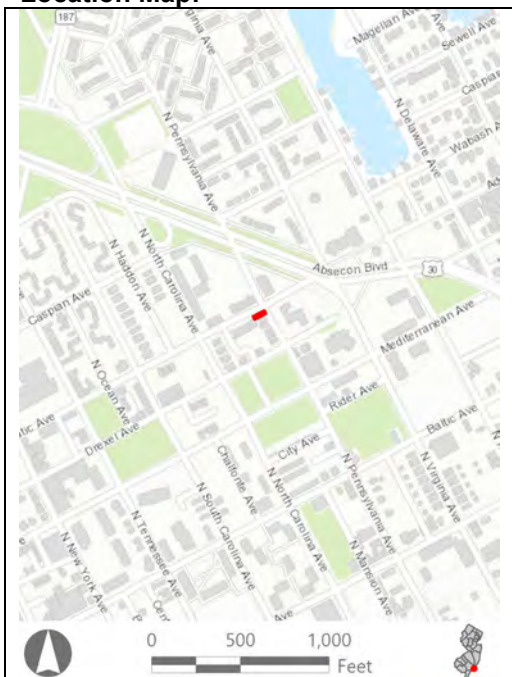


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 28, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	362 North Pennsylvania Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1900	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Other		
Form:	Row	Stories:	2
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt shingle		
Exterior Finish Materials	Brick		

Exterior Description: The building at 362 North Pennsylvania Avenue is a two-story, two-bay rowhouse. The building is clad in red brick and is capped with an asphalt shingle roof, which follows the curved fenestration of the second-story bay window. The first story is sheltered under a covered, wooden porch, framed by an iron railing and supported by three, decorative iron columns. The left bay holds a large 1/1 window. The second story holds a centered bay window, flanked on either side with red brick.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 362 North Pennsylvania Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 362 North Pennsylvania Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 362 North Pennsylvania Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 1226 Adriatic Avenue

Street Address: Street #: 1226 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Adriatic Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 451

Local Place Name(s): N/A **Lot(s):** 2

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 1226 Adriatic Avenue is a two-story row house on the end of a row of duplicate buildings with a pent roof, front porch, and vinyl and faux brick siding.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

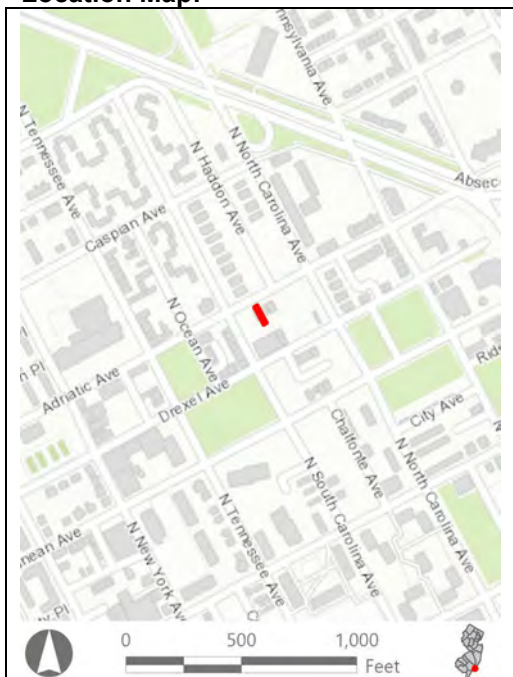


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 1226 Adriatic Avenue

Historic Name: N/A

Present Use: Residential Activity, Permanent

Historic Use: Residential Activity, Permanent

Construction Date: 1900 **Source:** njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Fair

Builder: N/A **Remaining Historic Fabric:** Low

Style: None

Form: Row **Stories:** 2

Type: N/A **Bays:** 1

Roof Finish Materials: Asphalt

Exterior Finish Materials Vinyl Siding

Exterior Description: The building at 1226 Adriatic Avenue is a two-story row house on the end of a row of duplicate buildings with a pent roof, front porch, and vinyl and faux brick siding. Fenestration consists of 1/1, double-hung vinyl windows. The width of the first story is covered by a pent roof, supported by modestly decorated wood brackets on brick piers, decorative wrought iron supports, concrete porch deck, with metal railings, a door and one window. The second story features a three-sided bay window. The west elevation is blank exposed brick. Above the second story is a pent roof that transitions back to a flat roof.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 1226 Adriatic Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1226 Adriatic Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 1226 Adriatic Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 1224 Adriatic Avenue

Street Address: Street #: 1224 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Adriatic Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 451

Local Place Name(s): N/A **Lot(s):** 3

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 1224 Adriatic Avenue is a two story, two bay rowhouse building clad in painted brick and topped with an asphalt shingle roof.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

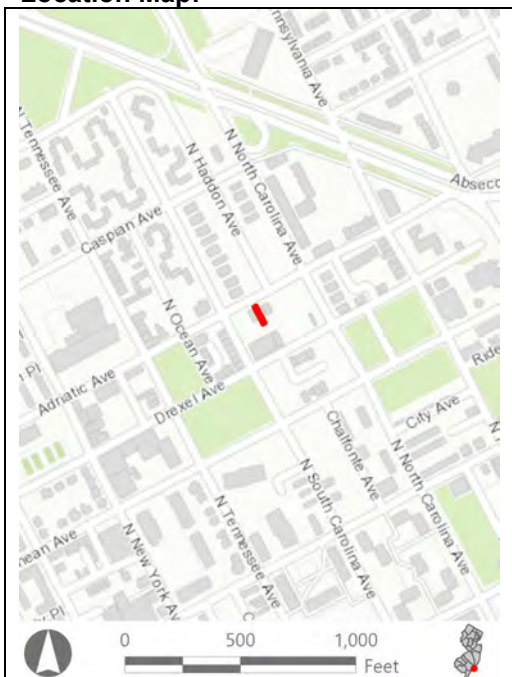


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	1224 Adriatic Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1900	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Other		
Form:	Row	Stories:	2
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt shingle		
Exterior Finish Materials	Brick		

Exterior Description: The building at 1224 Adriatic Avenue is a two story, two bay rowhouse. The building is clad in brick on the first story, vinyl siding on the second story and topped with an asphalt shingle roof. The first story features a covered porch that stretches across both bays lined with a metal railing. A rectangular 1/1 window is housed in the left bay, and the entrance is in the right bay. The second story holds a small bay window in the left bay with three 1/1 windows.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 1224 Adriatic Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1224 Adriatic Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 1224 Adriatic Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 1222 Adriatic Avenue

Street Address: Street #: 1222 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Adriatic Suffix: N/A Type: Ave

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 451

Local Place Name(s): N/A **Lot(s):** 4

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 1222 Adriatic Avenue is a two-story, two bay rowhouse. The building is clad in vinyl siding and topped with an asphalt shingle roof.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

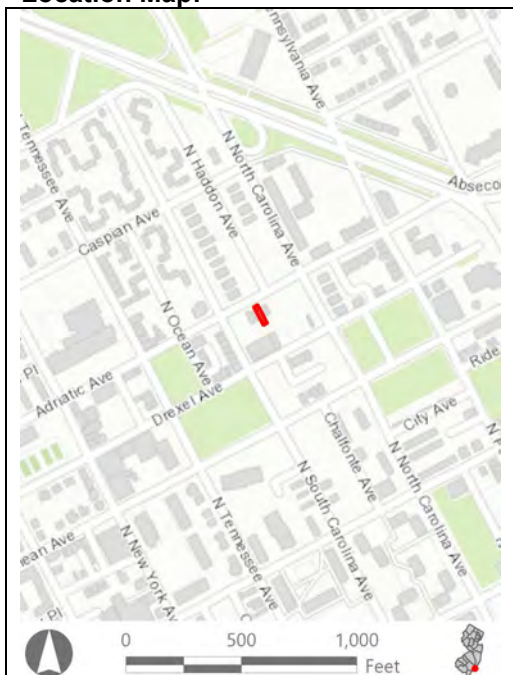


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 1222 Adriatic Avenue

Historic Name: N/A

Present Use: Residential Activity, Permanent

Historic Use: Residential Activity, Permanent

Construction Date: 1900 **Source:** njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Fair

Builder: N/A **Remaining Historic Fabric:** Low

Style: Other

Form: Rowhouse **Stories:** 2

Type: N/A **Bays:** 2

Roof Finish Materials: Asphalt shingle

Exterior Finish Materials Vinyl siding

Exterior Description: The building at 1222 Adriatic Avenue is a two-story, two-bay rowhouse. The building is clad in vinyl siding and topped with an asphalt shingle roof. Four concrete steps lead up to the primary entrance landing. To the right of the primary entrance is a small window box. The second story holds a centered bay window with three 1/1 windows.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 1222 Adriatic Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1222 Adriatic Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 1222 Adriatic Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

Date: February 28,
2023

BASE FORM

Historic Sites #:

Property Name: 912 North Arkansas Avenue

Street Address: Street #: 912 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: Arkansas Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 476

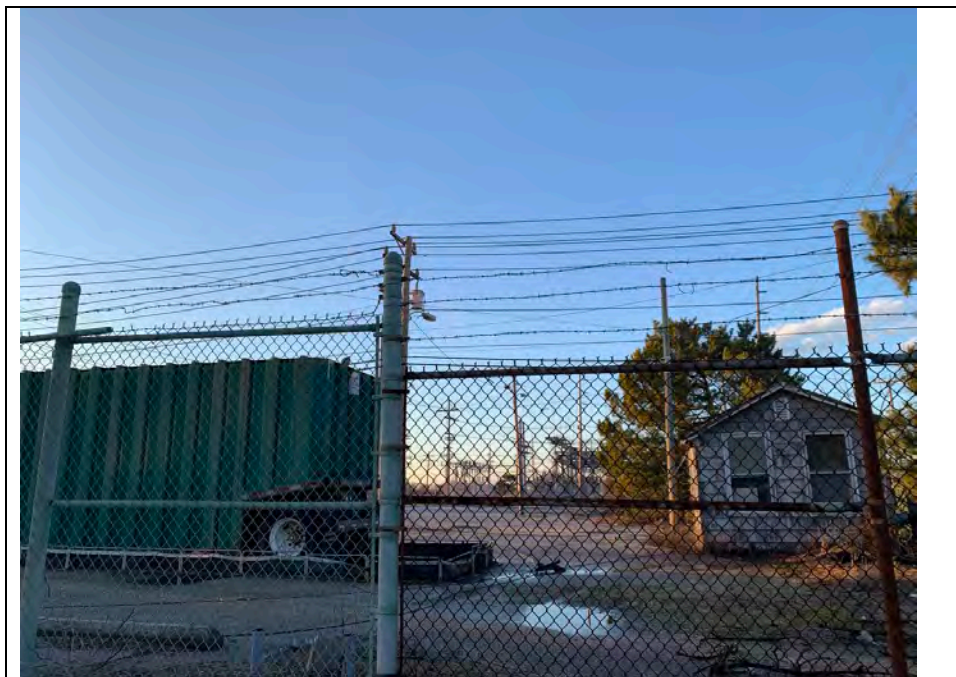
Local Place Name(s): N/A **Lot(s):** 19

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 912 North Arkansas Avenue is an oil storage facility and an associated structure.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 27, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Historic Sites #:

Site Map:



Additional Information: N/A

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 912 North Arkansas Avenue

Historic Name: N/A

Present Use: Residential Activity, Permanent

Historic Use: Residential Activity, Permanent

Construction Date: 1970 **Source:** njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Fair

Builder: N/A **Remaining Historic Fabric:** Low

Style: Other

Form: Shed **Stories:** 1

Type: N/A **Bays:** 1

Roof Finish Materials: Asphalt shingle

Exterior Finish Materials Wood shingle

Exterior Description: The building at 912 North Arkansas Avenue is an oil storage facility consisting of two tall cylindrical oil storage tanks and an associated structure. The associated structure is a small, single story, one bay shed building. The building features two single pane 1/1 windows on the visible façade.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 912 North Arkansas Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 912 North Arkansas Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 912 North Arkansas Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 700 North Rhode Island Avenue

Street Address: Street #: 700 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: Rhode Island Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 104

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 700 North Rhode Island Avenue is a two-story concrete block industrial warehouse.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:



Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	April 7, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: April 7, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	700 North Rhode Island Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	2013	Source:	Google Street View
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	
Builder:	N/A	Remaining Historic Fabric:	Low
Style:			
Form:		Stories:	2
Type:	N/A	Bays:	4
Roof Finish Materials:	Asphalt		
Exterior Finish Materials	Concrete block, vinyl, wood		

Exterior Description: The building at 700 North Rhode Island Avenue is a two-story concrete block industrial warehouse on a rusticated concrete block foundation. The northeast elevation has four bays, each separated by square pilasters that stop short of rising to the roof line. Fenestration includes 8/8, double-hung vinyl windows and six-pane windows of unknown operability with concrete sills, all with false muntins. The wall surface is characterized by mostly flat blocks interspersed with random rusticated blocks. The western bay on this elevation features a metal door and window on the first story, and a pair of windows on the second, all set within a full height band of wood panel siding. Above this bay on the roof is a shed roof dormer with a pair of smaller windows. The southeast elevation features a single large metal overhead door. The gable on this elevation is clad in vinyl siding that imitates wood shingles. The roof is clad in asphalt shingles.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	April 7, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 700 North Rhode Island Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 700 North Rhode Island Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 700 North Rhode Island Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: April 7, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 438 North Maryland Avenue

Street Address: Street #: 438 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: Maryland Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 541

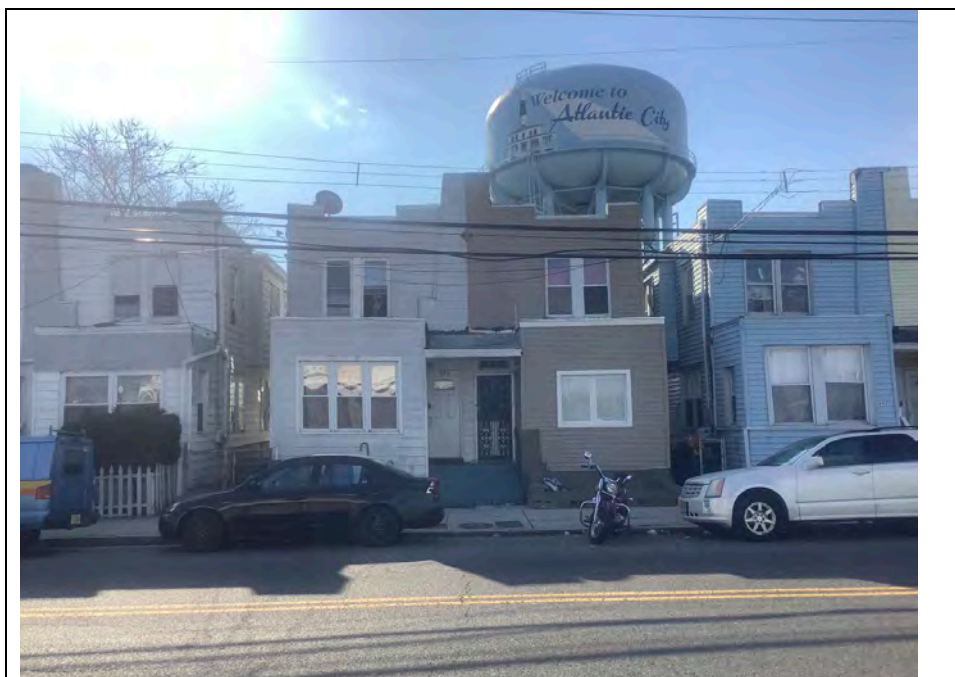
Local Place Name(s): N/A **Lot(s):** 16

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 438 North Maryland Avenue is a two-story, two-bay rowhouse. The building is clad in vinyl siding and topped with a parapet.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

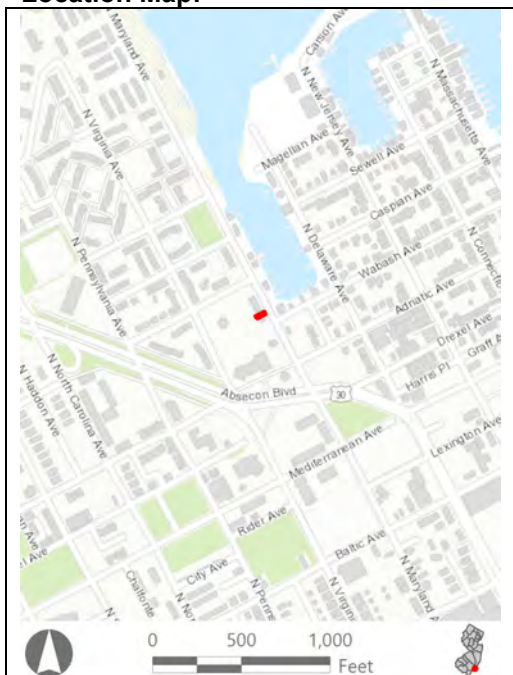


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 28, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 438 North Maryland Avenue

Historic Name: N/A

Present Use: Residential Activity, Permanent

Historic Use: Residential Activity, Permanent

Construction Date: 1900 **Source:** njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Fair

Builder: N/A **Remaining Historic Fabric:** Low

Style: Other

Form: Row **Stories:** 2

Type: N/A **Bays:** 2

Roof Finish Materials: Unknown

Exterior Finish Materials Vinyl siding

Exterior Description: The building at 438 North Maryland Avenue is a two-story, two-bay rowhouse. The building is clad in vinyl siding and topped with a parapet. The primary entrance resides in the right bay, and it is approached by three concrete steps. The left bay is extended and holds three 1/1 windows, centered in the bay. The second story holds two, centered 1/1 windows.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 438 North Maryland Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 438 North Maryland Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 438 North Maryland Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 436 North Maryland Avenue

Street Address: Street #: 436 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: Maryland Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 541

Local Place Name(s): N/A **Lot(s):** 17

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 436 North Maryland Avenue is a two-story row house with vinyl siding.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

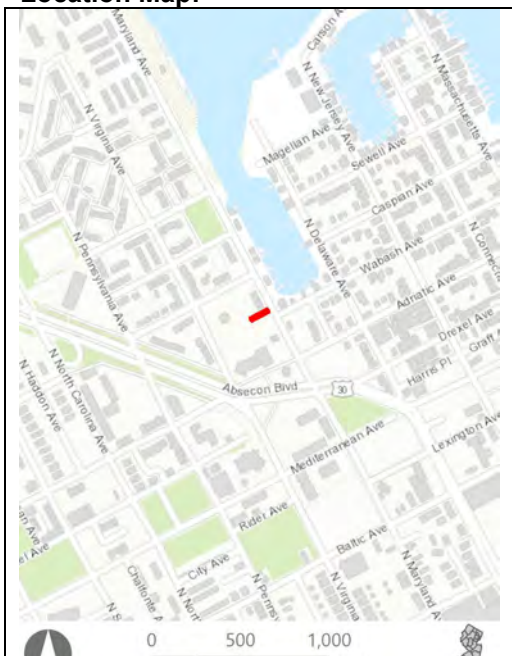


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 27, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	436 North Maryland Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1910	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Row	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 436 North Maryland Avenue is a two-story row house with vinyl siding. The residence shares a wall with an adjacent row house which mirrors the design. The building is three bays on the first story and two on the second. The entry is in the leftmost bay while the remainder of the first story is projected with a pair of 1/1 sash. The second story features a pair of 1/1 sash and, above the entry, what appears to be a chimney that extends above the roofline. The façade terminates with a stepped parapet.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 436 North Maryland Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 436 North Maryland Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 436 North Maryland Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 434 N MARYLAND AVE

Street Address: Street #: 434 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: MARYLAND Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 541

Local Place Name(s): N/A **Lot(s):** 20

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 434 North Maryland Avenue is a two-story row house with an engaged neighbor that is a mirror design.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

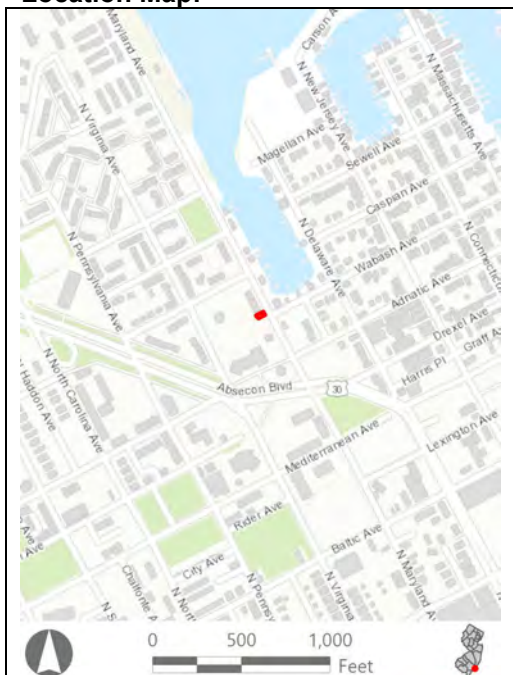


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 434 N MARYLAND AVE

Historic Name: N/A

Present Use: Residential Activity, Permanent

Historic Use: Residential Activity, Permanent

Construction Date: 1900 **Source:** njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Fair

Builder: N/A **Remaining Historic Fabric:** Low

Style: None

Form: Row **Stories:** 2

Type: N/A **Bays:** 2

Roof Finish Materials: Unknown

Exterior Finish Materials Vinyl Siding

Exterior Description: The building at 434 North Maryland Avenue is a two-story row house with an engaged neighbor that is a mirror design. The house is two stories with vinyl siding. The façade is two bays on the first story with a projecting left bay with a ribbon window shielded by a pent roof, and with the primary entrance in the right bay. Above the entry is a vinyl-clad chimney that rises above the parapet roof. The side elevation is three bays wide with a square oriel in the middle bay of the second story, and a projecting bay in the left bay of the first story. The fenestration is 1/1 replacement sash placed singly and in pairs.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 434 N MARYLAND AVE is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 434 N MARYLAND AVE is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 434 N MARYLAND AVE is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 450 North Maryland Avenue

Street Address: Street #: 450 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: Maryland Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 541

Local Place Name(s): N/A **Lot(s):** 6

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 450 North Maryland Avenue is a two-story row house with stucco and vinyl siding.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

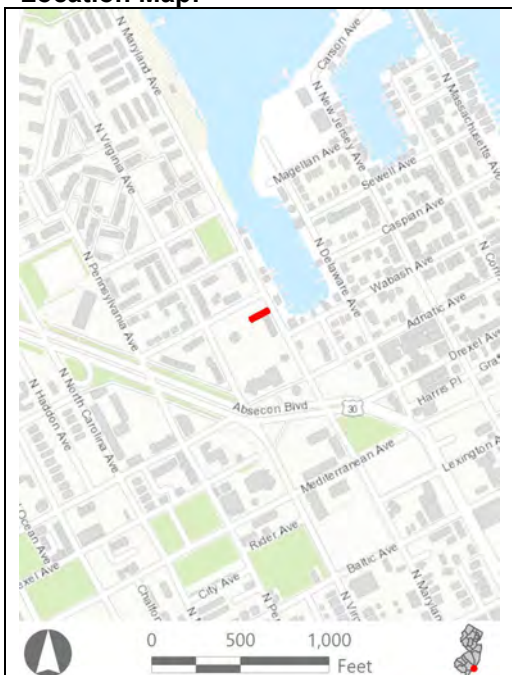


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

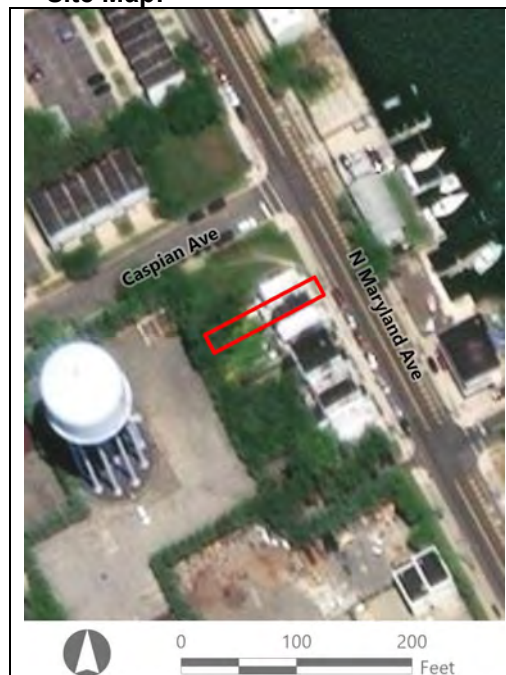
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	450 North Maryland Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1900	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Row	Stories:	2
Type:	N/A	Bays:	4
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Stucco		

Exterior Description: The building at 450 North Maryland Avenue is a two-story row house with stucco and vinyl siding. The row has a stepped parapet. The parapet is higher on one side where it used to be engaged with another building that is no longer extant. The building is two bays on the second story and four on the first. The entrance is in the rightmost bay with a shed-roof overhang. The remainder of the first-story façade is projected with a group of three 1/1 sash. Centered above the projection in the second-story façade is a pair of 1/1 sash.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 450 N Maryland Ave is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 450 N Maryland Ave is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 450 N Maryland Ave is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 448 North Maryland Avenue

Street Address: Street #: 448 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: Maryland Suffix: N/A Type: AVE

County(s): Atlantic Zip Code: 08401

Municipality(s): Atlantic City Block(s): 541

Local Place Name(s): N/A Lot(s): 7

Ownership: Private USGS Quad(s) Atlantic City

Description: The building at 448 North Maryland Avenue is a two-story half of a former duplex.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

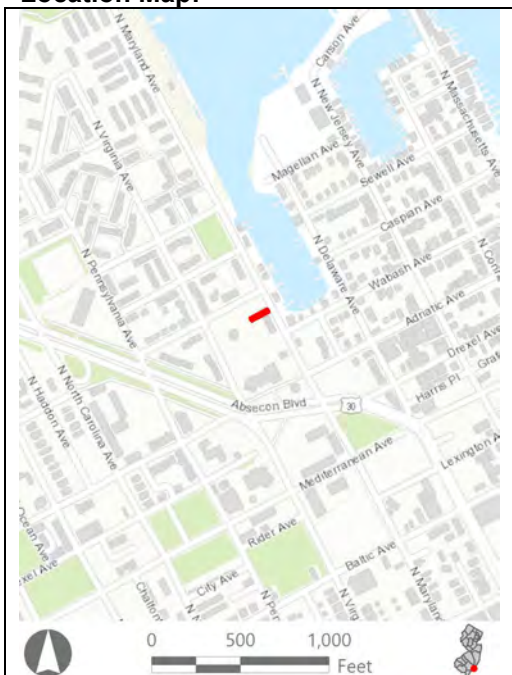


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 27, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

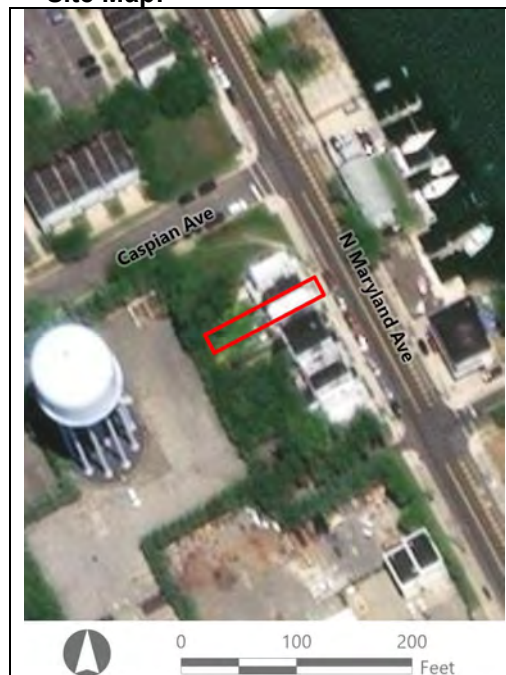
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	448 North Maryland Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1910	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Row	Stories:	2
Type:	N/A	Bays:	1
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Stucco		

Exterior Description: The building at 448 North Maryland Avenue is a two-story house consisting of one-half of a former side-by-side duplex. The fenestration consists of 1/1, double-hung vinyl windows. The first story (northeast) façade features a covered, recessed entrance and a one-bay forward projection. The projection is clad in vinyl resting on a concrete base and features a group of three windows. The rest of the house is clad in stucco. The second story features a bay with a pair of windows. The northwest elevation is blank. The building terminates in a parapet roof.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 448 North Maryland Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 448 North Maryland Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 448 North Maryland Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 446 North Maryland Avenue

Street Address: Street #: 446 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: Maryland Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 541

Local Place Name(s): N/A **Lot(s):** 8

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 446 North Maryland Avenue is two-story half of a former duplex.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

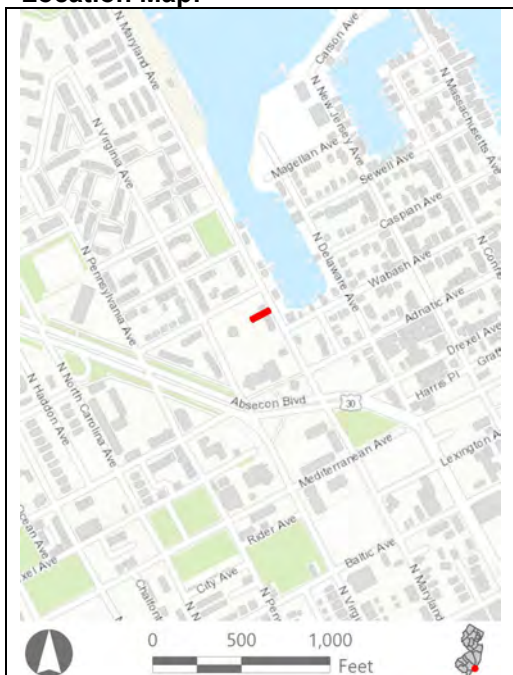


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 27, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 27,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 446 North Maryland Avenue
Historic Name: N/A
Present Use: Residential Activity, Permanent
Historic Use: Residential Activity, Permanent
Construction Date: 1910 **Source:** njtaxrecords.net
Alteration Date(s): N/A **Source:** N/A
Designer: N/A **Physical Condition:** Fair
Builder: N/A **Remaining Historic Fabric:** Low
Style: None
Form: Row **Stories:** 2
Type: N/A **Bays:** 1
Roof Finish Materials: Unknown
Exterior Finish Materials: Stucco

Exterior Description: The building at 446 North Maryland Avenue is a highly modified half of a two-story duplex clad in stucco. The building (northeast) façade features a right-of-center recessed entrance beneath a short roof. The entry is flanked by a two-story flat-roofed forward projecting bay. The fenestration consists of large fixed-pane windows. The second-story side elevation features single-bay box bay projections. The building terminates in a flat parapet roof.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 446 North Maryland Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 446 North Maryland Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 446 North Maryland Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 444 North Maryland Avenue

Street Address: Street #: 444 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: Maryland Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 541

Local Place Name(s): N/A **Lot(s):** 9

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 444 North Maryland Avenue is a two-story half of a former duplex.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

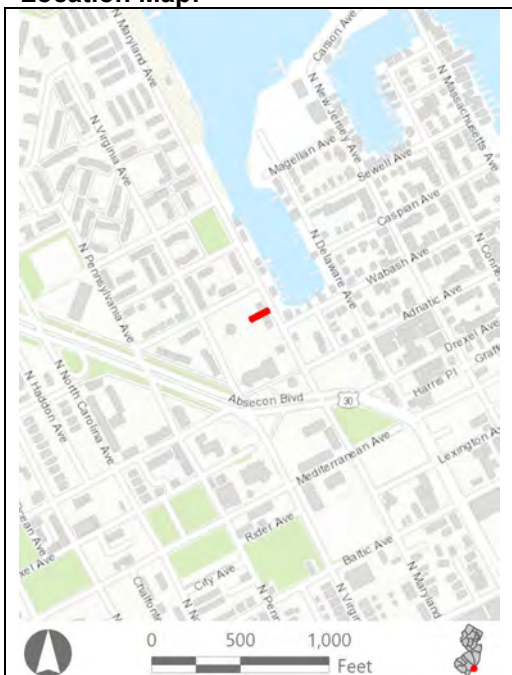
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	444 North Maryland Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1910	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Row	Stories:	2
Type:	N/A	Bays:	1
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 444 North Maryland Avenue is a highly modified half of a two-story duplex clad vinyl. The building (northeast) façade features a right-of-center recessed entrance beneath a short roof. The entry is flanked by flat-roofed forward projecting bay on the first story. The projection features a three-bay oriel window with casement windows. The remaining fenestration consists of 1/1, double-hung vinyl windows. Above the entrance a tapered chimney, wrapped in vinyl, extends beyond the flat roof parapet. The second-story side elevation features single-bay box bay projections.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 444 North Maryland Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 444 North Maryland Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 444 North Maryland Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 806 Wabash Avenue

Street Address: Street #: 806 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Wabash Suffix: N/A Type: Ave

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 543

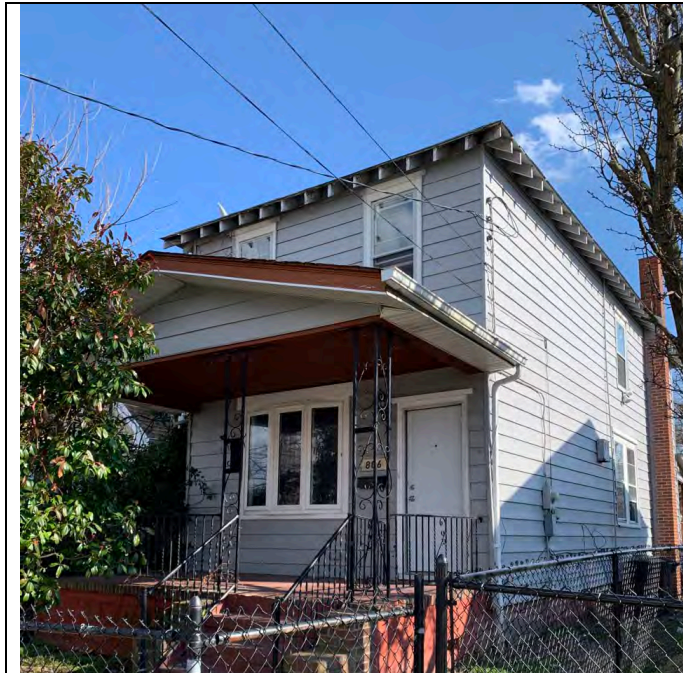
Local Place Name(s): N/A **Lot(s):** 2

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 806 Wabash Avenue is a two-story, two-bay building. The building is clad in vinyl siding and topped with an asphalt shingle roof.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

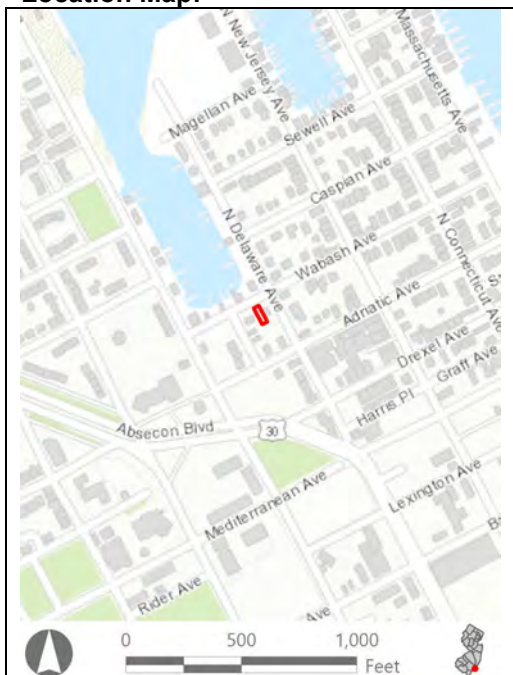


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 28, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	806 Wabash Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1900	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Other		
Form:	Other	Stories:	2
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt shingle		
Exterior Finish Materials	Vinyl siding		

Exterior Description: The building at 806 Wabash Avenue is a two-story, two-bay building. The building is clad in vinyl siding and topped with an asphalt shingle roof. The first-story bays are sheltered under a gable-front, covered porch. The left bay holds three vertical, rectangular windows. The entrance is held in the right bay and is approached by four brick steps. The second-story features two symmetrical 1/1 windows and exposed rafters under the eaves of the roof.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 806 Wabash Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 806 Wabash Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 806 Wabash Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

Date: February 28,
2023

BASE FORM

Historic Sites #:

Property Name: 413 Delta Avenue

Street Address: Street #: 413 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Delta Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 543

Local Place Name(s): N/A **Lot(s):** 9

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 413 Delta Avenue is a two-story gambrel-front Dutch Colonial Revival residence with an enclosed porch and porte-cochere.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

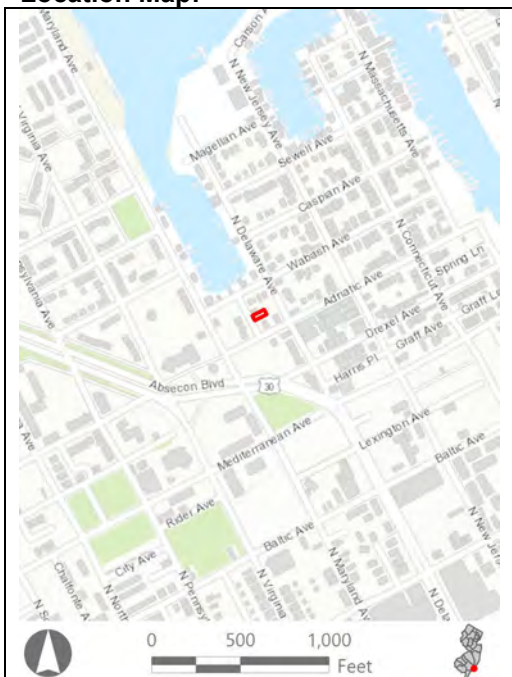
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	413 Delta Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1900	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Dutch Colonial Revival		
Form:	Other	Stories:	2
Type:	N/A	Bays:	1
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Stucco		

Exterior Description: The building at 413 Delta Avenue is a two-story gambrel-front Dutch Colonial Revival residence with an enclosed porch and porte-cochere. The house is clad with aluminum siding on the second story and stucco on the first. The gambrel is flanked by shed-roof dormers and a single picture window occupies the façade. The first-story porch has an arched parapet that is mirrored in the attached porte-cochere. A ribbon window with 1/1 sash occupies the façade of the porch. The primary entrance is on the side of the porch in the porte-cochere and is deeply recessed.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 413 Delta Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 413 Delta Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 413 Delta Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 809 WABASH AVENUE

Street Address: Street #: 809 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: WABASH Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 544

Local Place Name(s): N/A **Lot(s):** 13

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 809 Wabash Avenue is a three-story, four-bay building clad in shingles and topped with an asphalt shingle roof.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

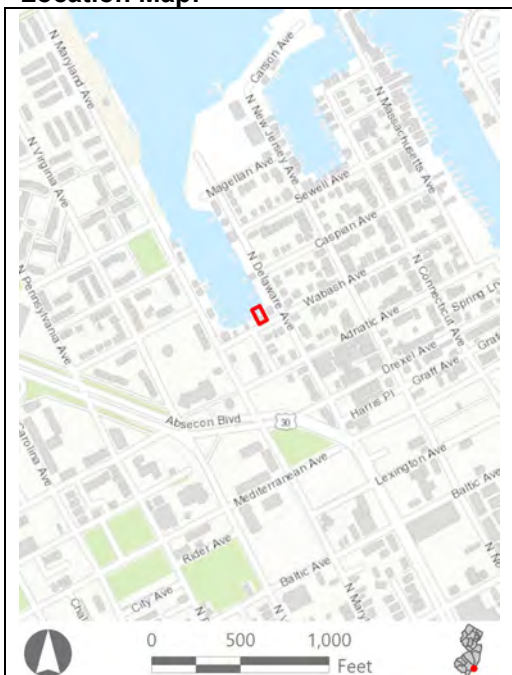


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 28, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	809 WABASH AVE		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1900	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Shingle		
Form:	Other	Stories:	3
Type:	N/A	Bays:	4
Roof Finish Materials:	Asphalt shingle		
Exterior Finish Materials	Shingle		

Exterior Description: The building at 809 Wabash Avenue is a two-story, four-bay, shingle building, with a gable-front, asphalt shingle roof. The two left bays are extended out in front of the right two bays, creating an ell shape. All the windows are symmetrical 1/1. The left two bays hold the entrance and covered porch, supported by two columns and a simple railing. A small, five-step set of stairs can be used to reach the porch.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 809 WABASH AVE is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 809 WABASH AVE is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 809 WABASH AVE is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

Date: February 28,
2023

BASE FORM

Historic Sites #:

Property Name: 449 North Maryland Avenue

Street Address: Street #: 449 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: Maryland Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 544

Local Place Name(s): N/A **Lot(s):** 3

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The resource at 449 North Maryland Avenue is a one-story rectangular building with a side-gabled roof and wood clapboard siding atop a CMU foundation.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 27, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Historic Sites #:

Site Map:



Additional Information: N/A

INTENSIVE LEVEL USE ONLY

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Date: February 27, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 449 North Maryland Avenue

Historic Name: N/A

Present Use: Commercial Activity

Historic Use: Commercial Activity

Construction Date: 1900 **Source:** njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Fair

Builder: N/A **Remaining Historic Fabric:** Low

Style: None

Form: Commercial **Stories:** 1

Type: N/A **Bays:** 5

Roof Finish Materials: Asphalt Shingle

Exterior Finish Materials Wood, Clapboard

Exterior Description: The resource at 449 North Maryland Avenue is a one-story rectangular building with a side-gabled roof and wood clapboard siding atop a CMU foundation. The building is five bays wide with paired casement sash and an entry in the second bay from the north end. The side elevations have no fenestration or doors. There is a plywood shed on the north elevation with a single door facing the street.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 449 North Maryland Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 449 North Maryland Avenue not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 449 North Maryland Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 441 North Maryland Avenue

Street Address: Street #: 441 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: Maryland Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 554

Local Place Name(s): N/A **Lot(s):** 5

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The resource at 441 North Maryland Avenue is a two-story corner commercial building with a flat roof, second-story balcony, Permastone first story, and vinyl second.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 27, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	441 North Maryland Avenue		
Historic Name:	N/A		
Present Use:	Commercial Activity		
Historic Use:	Commercial Activity		
Construction Date:	1960	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Poor
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Commercial	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The resource at 441 North Maryland Avenue is a two-story corner commercial building with a flat roof, second-story balcony, Permastone first story, and vinyl second. The first-story storefront has wide bays with rolltop doors. The corner is clipped and appears to be the entry. The second story appears to be residential and has irregularly placed 1/1 replacement windows. There is a pedestrian door that provides access to the balcony that wraps around both street-facing elevations.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 441 North Maryland Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 441 North Maryland Avenue not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 441 North Maryland Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 451 N DELAWARE AVE

Street Address: Street #: 451 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: DELAWARE Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 545

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 451 North Delaware Avenue is a one-story ranch house with a cross-gable roof, and vinyl and brick siding.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

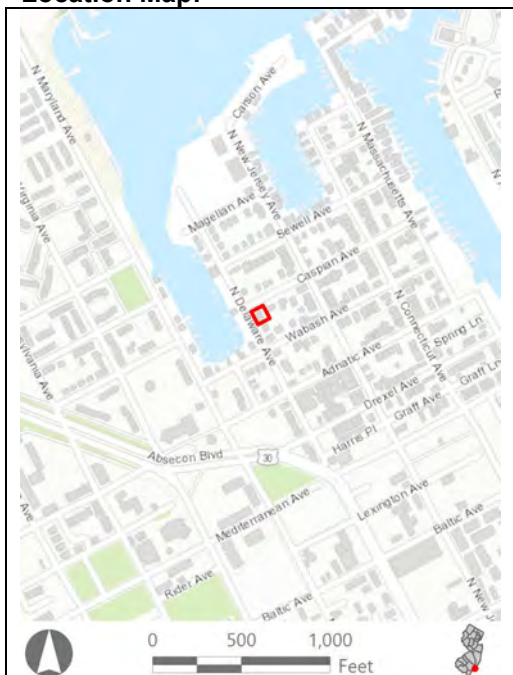


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 27, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: <u>451 N DELAWARE AVE</u>	
Historic Name: <u>N/A</u>	
Present Use: <u>Residential Activity, Permanent</u>	
Historic Use: <u>Residential Activity, Permanent</u>	
Construction Date: <u>1958</u>	Source: <u>njtaxrecords.net</u>
Alteration Date(s): <u>N/A</u>	Source: <u>N/A</u>
Designer: <u>N/A</u>	Physical Condition: <u>Good</u>
Builder: <u>N/A</u>	Remaining Historic Fabric: <u>Low</u>
Style: <u>None</u>	
Form: <u>Ranch</u>	Stories: <u>1</u>
Type: <u>N/A</u>	Bays: <u>5</u>
Roof Finish Materials: <u>Asphalt Shingle</u>	
Exterior Finish Materials <u>Brick</u>	

Exterior Description: The building at 451 North Delaware Avenue is a one-story ranch house with a cross-gable roof, and vinyl and brick siding. The residence is five bays wide with the southernmost bay an addition that is half the depth of the rest of the building. The fenestration is 1/1 replacement sash except for the addition which is a three-sided oriel window. The entry is on the side of a projecting gabled bay with a ribbon window.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name: <u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date: <u>February 27, 2023</u>
Surveyor: <u>Grant Johnson and Laura Mancuso</u>	
Organization: <u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>	

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 451 N DELAWARE AVE is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 451 N DELAWARE AVE is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 451 N DELAWARE AVE is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 743 Wabash Avenue

Street Address: Street #: 743 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Wabash Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 545

Local Place Name(s): N/A **Lot(s):** 17

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 743 Wabash Avenue is a one-story hipped-roof transitional ranch house with vinyl siding and a high foundation with stone veneer.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

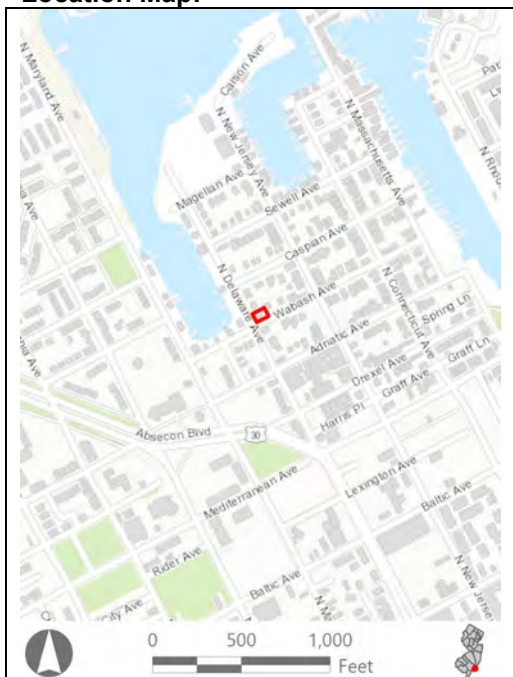


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 27, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	743 Wabash Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1961	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Ranch	Stories:	1
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 743 Wabash Avenue is a one-story hipped-roof transitional ranch house with vinyl siding and a high foundation with stone veneer. The façade is three bays wide with the left bay projected. The entrance is in the side of the projecting bay. The fenestration is 1/1 replacement sash except for the projecting bay which features a picture window.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 743 Wabash Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 743 Wabash Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 743 Wabash Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

Date: February 27,
2023

BASE FORM

Historic Sites #:

Property Name: 447 North Delaware Avenue

Street Address: Street #: 447 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: Delaware Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 545

Local Place Name(s): N/A **Lot(s):** 18

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 447 North Delaware Avenue is a one-story hipped-roof transitional ranch with vinyl siding and a high foundation on one side clad in faux stone veneer.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

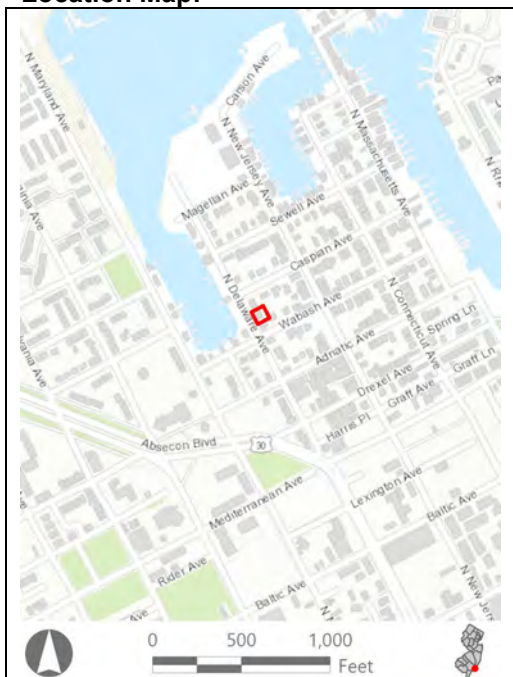
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	447 North Delaware Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	ca. 1960	Source:	Stylistic Evidence
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Ranch	Stories:	1
Type:	N/A	Bays:	4
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 447 North Delaware Avenue is a one-story hipped-roof transitional ranch with vinyl siding and a high foundation on one side clad in faux stone veneer. The building is four bays wide with a center entry. The entry is flanked on one side by a slightly projecting bay with a picture window, and on the other side by a pair of widely spaced 1/1 replacement windows.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 447 North Delaware Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 447 North Delaware Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 447 North Delaware Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 401 N DELAWARE AVE

Street Address: Street #: 401 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: DELAWARE Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 546

Local Place Name(s): N/A **Lot(s):** 15

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 401 North Delaware Avenue is a two-story duplex with vinyl siding and a simple parapet.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:



Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

Historic Sites #:

Site Map:



Additional Information: N/A

INTENSIVE LEVEL USE ONLY

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

1370

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	401 N DELAWARE AVE		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1929	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Duplex	Stories:	2
Type:	N/A	Bays:	2
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 401 North Delaware Avenue is a two-story duplex with vinyl siding. The building is topped with a simple parapet. The front façade features a porch on the first and second story, with stairs that connect the two to provide access for the second story occupants. The entrances are on the primary façade in the right-most bay. The remainder of the primary façade features two 1/1 windows on each story. The southeastern façade is five bays. This façade features 10 asymmetrical windows hung 1/1.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 401 N DELAWARE AVE is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 401 N DELAWARE AVE is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 401 N DELAWARE AVE is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 403 North Delaware Avenue

Street Address: Street #: 403 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: Delaware Suffix: N/A Type: Ave

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 546

Local Place Name(s): N/A **Lot(s):** 17

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 403 Delaware Avenue is a one-story, five-bay building, clad in vinyl siding.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

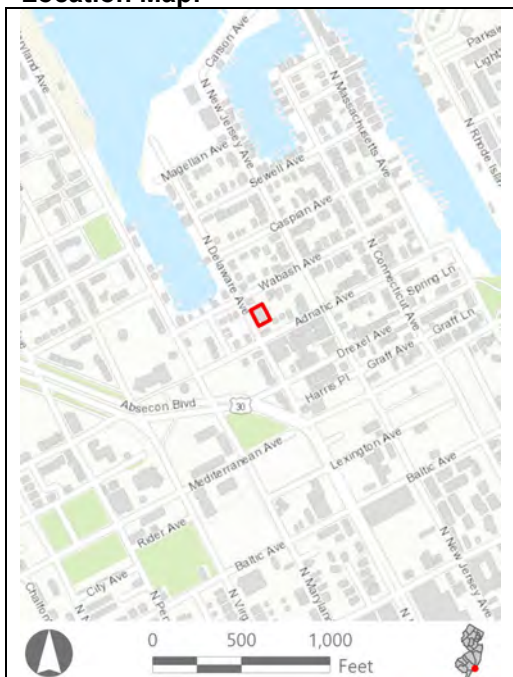
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	403 North Delaware Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1900	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Other		
Form:	Ranch	Stories:	1
Type:	N/A	Bays:	5
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Vinyl siding		

Exterior Description: The building at 403 Delaware Avenue is a one-story, five-bay building, clad in vinyl siding, and partially in stone. The two right bays each hold two, paired, 1/1 windows. The entrance is held in the central bay, approached by a narrow walkway. To the left of the door is a central picture window, flanked by narrow, 1/1 windows, which is a typical feature found on ranch houses. Ashlar coursed stone partially clads the primary façade and rises to the bottom of the windows. Over the fifth bay, a stone chimney is visible on the low-pitch roof.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 403 North Delaware Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 403 North Delaware Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 403 North Delaware Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

Date: February 28,
2023

BASE FORM

Historic Sites #:

Property Name: 559 North Delaware Avenue

Street Address: Street #: 559 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: Delaware Suffix: N/A Type: Ave

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 553

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 559 North Delaware Avenue is a single-story, six-bay building and features vinyl siding.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

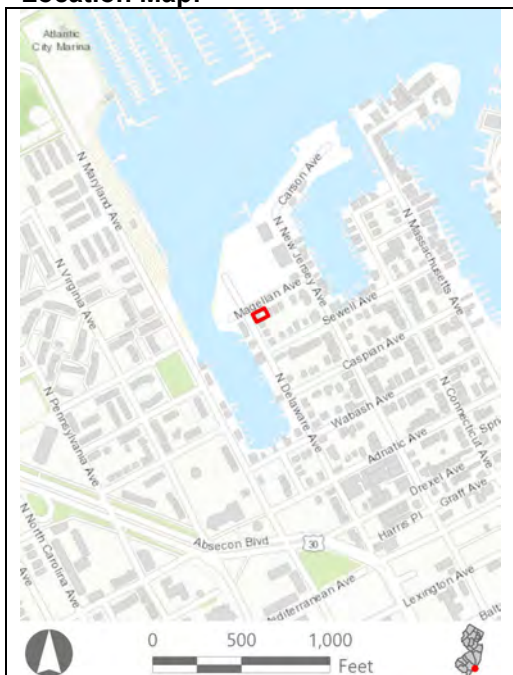


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 27, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	559 North Delaware Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1900	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	1
Type:	N/A	Bays:	4
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 599 North Delaware Avenue is a single-story, six-bay building clad in horizontal vinyl siding. The asymmetrical roof is capped in asphalt shingle and comes down in an overhang, providing partial cover for the four leftmost bays. Two wooden steps lead up to a small, one-bay, uncovered porch that frames the primary entrance. The left three bays feature a central picture window, flanked by two fractional windows. The rightmost bays feature two, smaller, single 1/1 windows. The secondary façade, which faces northwesterly, features two, small, asymmetrical windows and a small, brick chimney can be seen on the roof.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 559 North Delaware Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 559 North Delaware Avenue not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 559 North Delaware Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 714 MAGELLAN AVE

Street Address: Street #: 714 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: MAGELLAN Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 553

Local Place Name(s): N/A **Lot(s):** 10

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 714 Magellan Avenue is a two-story row house with an engaged neighbor that is a mirror design.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

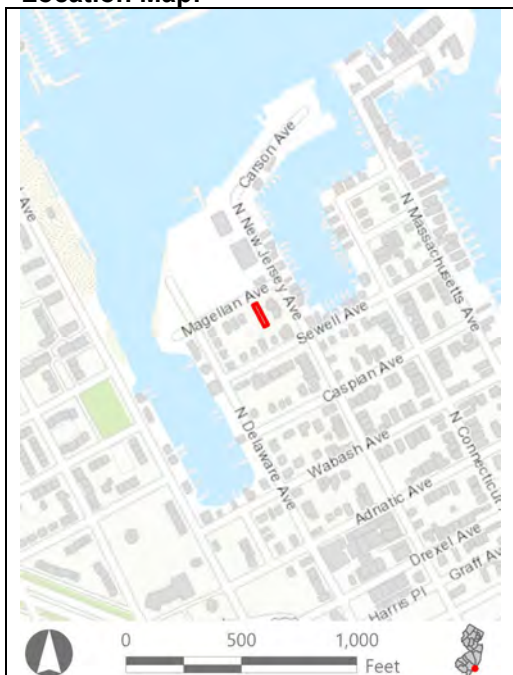


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 28, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: <u>714 MAGELLAN AVE</u>	
Historic Name: <u>N/A</u>	
Present Use: <u>Residential Activity, Permanent</u>	
Historic Use: <u>Residential Activity, Permanent</u>	
Construction Date: <u>1925</u>	Source: <u>njtaxrecords.net</u>
Alteration Date(s): <u>N/A</u>	Source: <u>N/A</u>
Designer: <u>N/A</u>	Physical Condition: <u>Fair</u>
Builder: <u>N/A</u>	Remaining Historic Fabric: <u>Low</u>
Style: <u>None</u>	
Form: <u>Row</u>	Stories: <u>2</u>
Type: <u>N/A</u>	Bays: <u>2</u>
Roof Finish Materials: <u>Unknown</u>	
Exterior Finish Materials <u>Stucco</u>	

Exterior Description: The building at 714 Magellan Avenue is a two-story row house with an engaged neighbor that is a mirror design. The residence is two bays wide and three bays deep with stucco cladding. The first-story façade is projected with a picture window in the right bay and the primary entrance in the left bay. The second-story façade has paired 1/1 sash in the right bay and a single 1/1 sash in the left. The façade terminates at the flat roof with a stepped parapet. A hipped-roof square oriel occupies the center of the second story on the side elevation.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 714 MAGELLAN AVE is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 714 MAGELLAN AVE is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 714 MAGELLAN AVE is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 712 Magellan Avenue

Street Address: Street #: 712 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Magellan Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 553

Local Place Name(s): N/A **Lot(s):** 11

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 712 Magellan Avenue is a two-story row house with stucco and vinyl siding.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

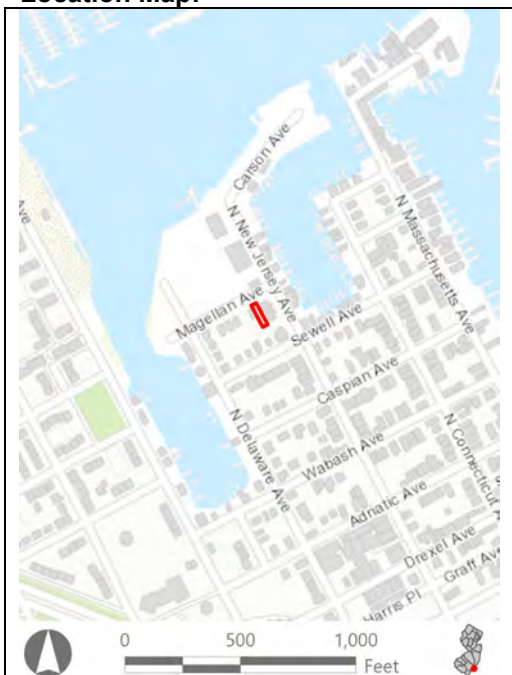


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 27, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: <u>712 Magellan Avenue</u>	
Historic Name: <u>N/A</u>	
Present Use: <u>Residential Activity, Permanent</u>	
Historic Use: <u>Residential Activity, Permanent</u>	
Construction Date: <u>1900</u>	Source: <u>njtaxrecords.net</u>
Alteration Date(s): <u>N/A</u>	Source: <u>N/A</u>
Designer: <u>N/A</u>	Physical Condition: <u>Fair</u>
Builder: <u>N/A</u>	Remaining Historic Fabric: <u>Low</u>
Style: <u>None</u>	
Form: <u>Row</u>	Stories: <u>2</u>
Type: <u>N/A</u>	Bays: <u>2</u>
Roof Finish Materials: <u>Unknown</u>	
Exterior Finish Materials <u>Stucco</u>	

Exterior Description: The building at 712 Magellan Avenue is a two-story row house with stucco and vinyl siding. The residence shares a wall with an adjacent row house which mirrors the design. The building is two bays wide and four bays deep. The first story is projected with the entry in the right bay and a pair of 1/1 replacement sash in the left bay. The second story features a pair of 1/1 sash in the left bay and an infilled window in the right bay. The façade terminates with a stepped parapet.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 712 Magellan Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 712 Magellan Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 712 Magellan Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 560 North New Jersey Avenue

Street Address: Street #: 560 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: New Jersey Suffix: N/A Type: Ave

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 553

Local Place Name(s): N/A **Lot(s):** 12

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 560 North New Jersey Avenue is a one-story, Ranch residence clad in asbestos siding and capped by a hip roof covered in asphalt shingles.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

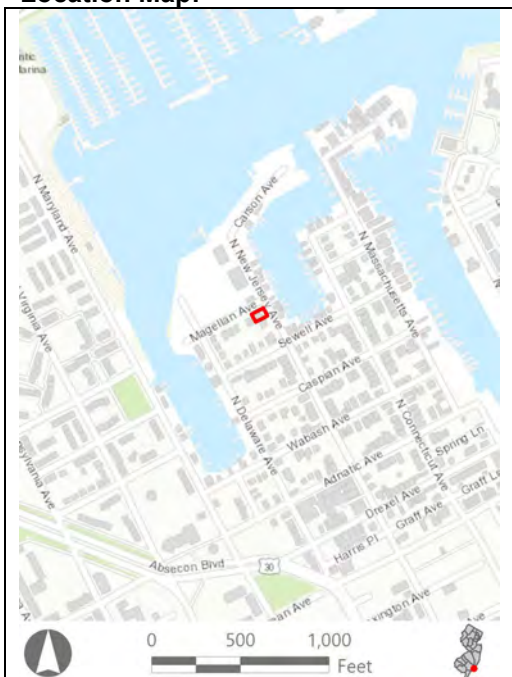


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	560 North New Jersey Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1960	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Other		
Form:	Ranch	Stories:	1
Type:	N/A	Bays:	4
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Asbestos Siding		

Exterior Description: The building at 560 North New Jersey Avenue is a 1960 Ranch residence resting on a concrete block foundation, clad in asbestos siding, and capped by a hip roof covered in asphalt shingles. The façade faces northeast and features a band of faux stone veneer, a half-width front porch capped by a hip-roof extension, and a pergola above the remaining facade. Fenestration consists of 1/1 windows and there is a bay window on the façade.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 560 North New Jersey Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 560 North New Jersey Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 560 North New Jersey Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 734 Magellan Avenue

Street Address: Street #: 734 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Magellan Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 553

Local Place Name(s): N/A **Lot(s):** 2

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 734 Magellan Avenue is a two-story row house with an engaged neighbor that is a mirror design.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

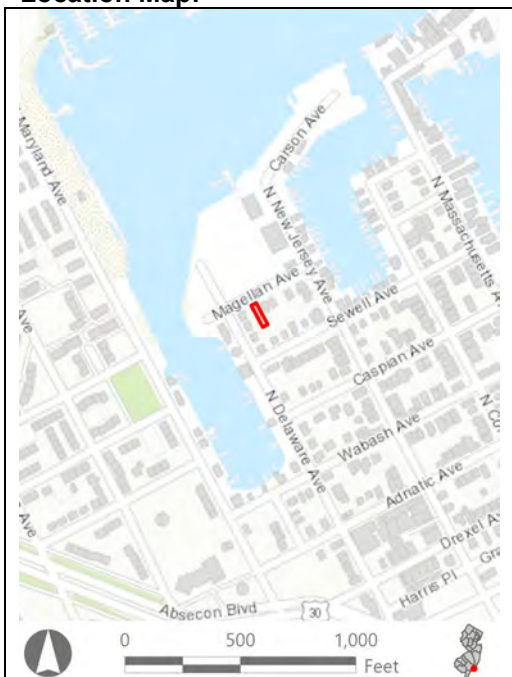


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 28, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	734 Magellan Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1925	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Row	Stories:	2
Type:	N/A	Bays:	2
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 734 Magellan Avenue is a two-story row house with an engaged neighbor that is a mirror design. The residence is two bays wide and three bays deep with vinyl siding and a brick-clad foundation. The first-story façade features a projecting bay with a ribbon window with 1/1 sash. To the left of the projecting bay is the primary entrance. The second-story façade has one 1/1 sash in the left bay and paired 1/1 sash in the right bay. The façade terminates at the flat roof with a stepped parapet. The side elevation has 1/1 sash, both singly and paired. A hipped-roof square oriel occupies the center of the second story. There is a one-story shed-roof rear wing.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 734 Magellan Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 734 Magellan Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 734 Magellan Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 745 SEWELL AVENUE

Street Address: Street #: 745 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: SEWELL Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 553

Local Place Name(s): N/A **Lot(s):** 21

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 745 Sewell Avenue is a two-story, three bay building clad in stone and vinyl siding and capped with an asphalt shingle roof.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

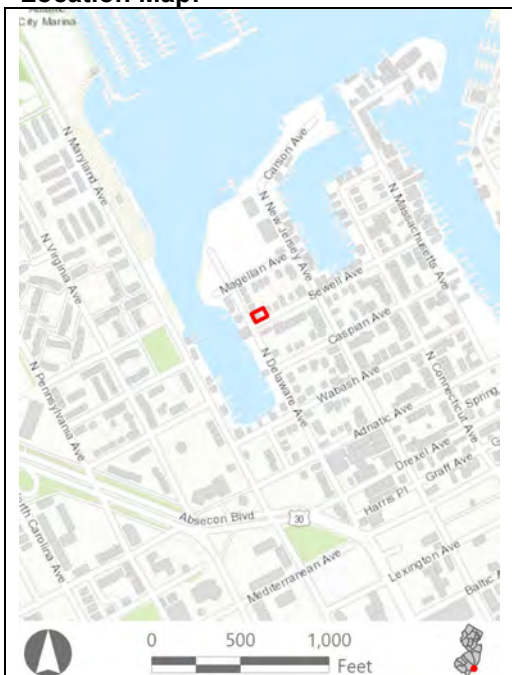


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 27, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	745 SEWELL AVENUE		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1900	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Other		
Form:	Duplex	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt shingle		
Exterior Finish Materials	Vinyl siding		

Exterior Description: The building at 745 Sewell Avenue is a two-story, three-bay duplex building clad on the primary façade first story in ashlar stone, and on the second story, and the rest of the building in vinyl siding. The primary entrance resides in the central bay of the first story. The left bay features two paired 1/1 windows, while the right bay features two paired 1/1 rectangular windows. The second story features four windows in total. Two paired 1/1 windows are held in the central bay and a single 1/1 window in the left and right bays. Each window and window pair is flanked with coordinating shutters. The southwesterly façade features the secondary entrance to the duplex and contains four asymmetrical windows.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 745 SEWELL AVE is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 745 SEWELL AVE is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 745 SEWELL AVE is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 27,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 545 North Delaware Avenue

Street Address: Street #: 545 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: Delaware Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 553

Local Place Name(s): N/A **Lot(s):** 22

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 545 North Delaware Avenue is a single-story, four-bay building. The building is clad in vinyl siding and is topped with an asymmetrical asphalt shingle roof.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

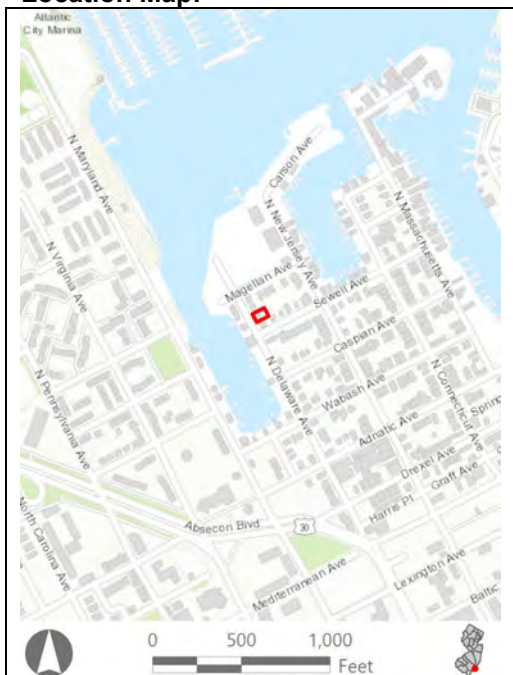


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 27, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	545 North Delaware Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1958	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Unknown		
Form:	Other	Stories:	1
Type:	N/A	Bays:	4
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 545 North Delaware Avenue is a single-story, four-bay building clad in horizontal vinyl siding and topped with an asymmetrical asphalt shingle roof, which provides partial cover for the leftmost bays and the primary entrance. Three concrete steps lead up to a landing at the primary entrance lined with railings. The leftmost bay features three 1/1 windows. The rightmost bays feature two, smaller 1/1 windows. From the street, a small, brick chimney is visible near the rear of the roof.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 545 North Delaware Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 545 North Delaware Avenue not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 545 North Delaware Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 553 North Delaware Avenue

Street Address: Street #: 545 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: Delaware Suffix: N/A Type: Ave

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 553

Local Place Name(s): N/A **Lot(s):** 23

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 553 North Delaware Avenue is a single-story, four-bay building. It is clad in vinyl siding and topped with an asymmetrical asphalt shingle roof.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

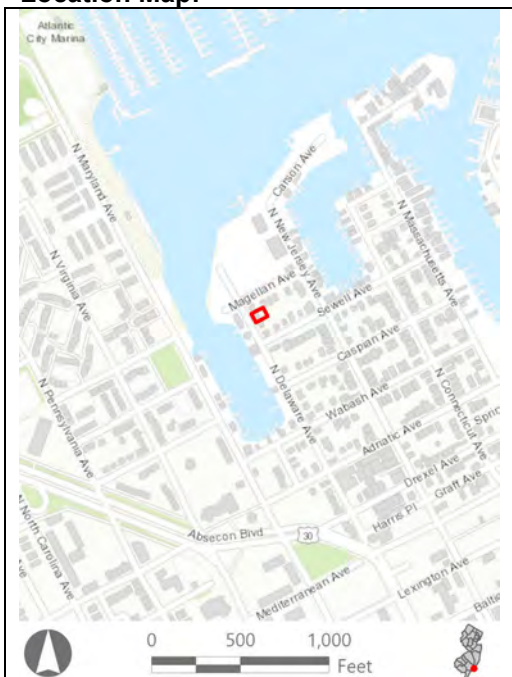


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 27, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	553 North Delaware Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1900	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Unknown		
Form:	N/A	Stories:	1
Type:	N/A	Bays:	4
Roof Finish Materials:	Asphalt shingle		
Exterior Finish Materials	Vinyl siding		

Exterior Description: The building at 553 North Delaware Avenue is a single-story, four-bay building clad in vinyl siding and topped with an asymmetrical asphalt shingle roof which creates a partial cover for the entrance and the leftmost bays. Three steps lead up to a landing with railings that frames the primary entrance. The leftmost bay features three single hung 6/6 windows. The rightmost bays feature two, smaller, single hung 6/6 windows.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 553 North Delaware Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 553 North Delaware Avenue not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 553 North Delaware Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 732 Magellan Avenue

Street Address: Street #: 732 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Magellan Suffix: N/A Type: AVE

County(s): Atlantic Zip Code: 08401

Municipality(s): Atlantic City Block(s): 553

Local Place Name(s): N/A Lot(s): 3

Ownership: Private USGS Quad(s) Atlantic City

Description: The building at 732 Magellan Avenue is a two-story row house clad in vinyl siding.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 27, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 732 Magellan Avenue

Historic Name: N/A

Present Use: Residential Activity, Permanent

Historic Use: Residential Activity, Permanent

Construction Date: 1900 **Source:** njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Fair

Builder: N/A **Remaining Historic Fabric:** Low

Style: None

Form: Row **Stories:** 2

Type: N/A **Bays:** 4

Roof Finish Materials: Unknown

Exterior Finish Materials Vinyl Siding

Exterior Description: The building at 732 Magellan Avenue is a two-story row house clad in vinyl siding. The residence is three bays on the second story and four on the first. The first story is projected with the entry in the rightmost bay. This story is clad in brick up to waist level. The fenestration on the façade is 1/1 replacement sash.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 732 Magellan Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 732 Magellan Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 732 Magellan Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey: _____
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

Date: February 27,
2023

BASE FORM

Historic Sites #:

Property Name: 728 Magellan Avenue

Street Address: Street #: 728 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Magellan Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 553

Local Place Name(s): N/A **Lot(s):** 4

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 728 Magellan Avenue is a two-story row house with an engaged neighbor that is a mirror design.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 728 Magellan Avenue

Historic Name: N/A

Present Use: Residential Activity, Permanent

Historic Use: Residential Activity, Permanent

Construction Date: 1900 **Source:** njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Fair

Builder: N/A **Remaining Historic Fabric:** Low

Style: None

Form: Row **Stories:** 2

Type: N/A **Bays:** 2

Roof Finish Materials: Unknown

Exterior Finish Materials Vinyl Siding

Exterior Description: The building at 728 Magellan Avenue is a two-story row house with an engaged neighbor that is a mirror design. The residence is two bays wide and three bays deep with vinyl siding. The first-story façade is projecting with a picture window in the right bay and the primary entrance in the left bay. The second-story façade has paired 1/1 replacement sash. The façade terminates at the flat roof with a stepped parapet. A hipped-roof square oriel occupies the center of the second story on the side elevation.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 728 Magellan Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 728 Magellan Avenue ADDRESS is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 728 Magellan Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 726 Magellan Avenue

Street Address: Street #: 726 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Magellan Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 553

Local Place Name(s): N/A **Lot(s):** 5

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 726 Magellan Avenue is a two-story row house with an engaged neighbor that is a mirror design.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 28, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>726 Magellan Avenue</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1900</u>	Source:	<u>njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Fair</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Row</u>	Stories:	<u>2</u>
Type:	<u>N/A</u>	Bays:	<u>2</u>
Roof Finish Materials:	<u>Unknown</u>		
Exterior Finish Materials	<u>Vinyl Siding</u>		

Exterior Description: The building at 726 Magellan Avenue is a two-story row house with an engaged neighbor that is a mirror design. The residence is two bays wide and three bays deep with vinyl siding. The first-story façade is projected with a group of three 1/1 sash in the left bay and the primary entrance in the right bay. The second-story façade has paired 1/1 sash in the left bay and a single 1/1 sash in the right. The façade terminates at the flat roof with a stepped parapet. A hipped-roof square oriel occupies the center of the second story on the side elevation.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 28, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 726 Magellan Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 726 Magellan Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 726 Magellan Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 919 North Dr. Martin Luther King Boulevard

Street Address: Street #: 919 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: Dr. Martin Luther King Suffix: N/A Type: BLVD

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 609

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Non-Profit **USGS Quad(s)** Atlantic City

Description: The building at 919 North Doctor Martin Luther King Boulevard is a two-story, three bay building. The building is clad in brick.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

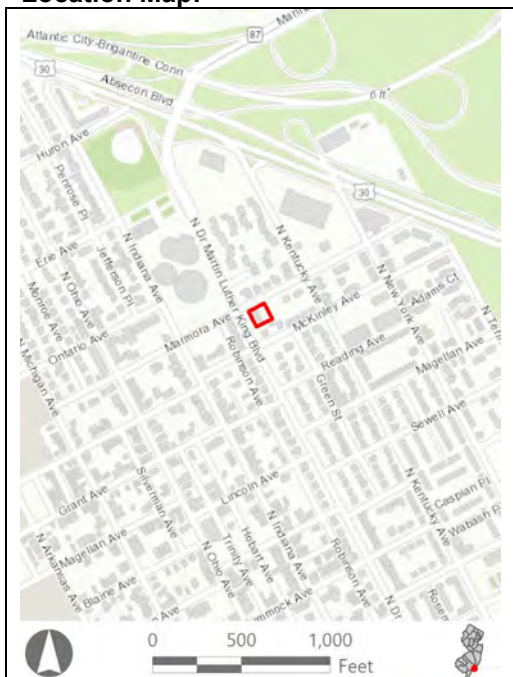


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	919 North Dr. Martin Luther King Boulevard		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1980	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Other		
Form:	Split-Level	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Brick		

Exterior Description: The building at 919 North Doctor Martin Luther King Boulevard is a two-story, three-bay, split-level duplex. The building is clad in running bond brick and wood siding. The primary façade features two primary entrances in the central bay, sheltered under a gabled entry porch. The left bay features four paired single, 1/1 windows. The windows are flanked by decorative shutters. The rightmost bay features three paired 1/1 windows flanked by decorative shutters. The second story spans the central and left bays and holds two sets of paired windows that match the style of the other windows. The northerly façade features the garage door, and a small 1/1 window on the first story, and asymmetrical windows set onto the wood siding.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 919 North Doctor Martin Luther King Boulevard is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 919 North Doctor Martin Luther King Boulevard is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 919 North Doctor Martin Luther King Boulevard is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 818 NORTH MARYLAND AVENUE #K

Street Address: Street #: 818 N/A Apartment #: K N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: MARYLAND Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 589

Local Place Name(s): N/A **Lot(s):** 2

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 818 North Maryland Avenue #K, is a low-scale detached apartment complex. Each apartment block is a two-story, two-bay building, clad in brick and topped with an asphalt shingle roof.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:



Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 818 NORTH MARYLAND AVENUE #K

Historic Name: N/A

Present Use: Residential Activity, Permanent

Historic Use: Residential Activity, Permanent

Construction Date: 1978 **Source:** njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** _____

Builder: N/A **Remaining Historic Fabric:** Low

Style: Other

Form: Apartment **Stories:** 2

Type: N/A **Bays:** 2

Roof Finish Materials: Asphalt shingle

Exterior Finish Materials Brick

Exterior Description: The building at 818 North Maryland Avenue #K, is a low-scale detached apartment complex. Each apartment block is a two-story, two-bay building, clad in brick on the first story and vinyl siding on the second story. Each building is topped with an asphalt shingle roof. The first story holds the entrance in the left bay, with two small steps leading to the landing. The left bay holds a 1/1 window flanked with shutters. On the second story the symmetrical windows are horizontal, rectangular 1/1 windows, also flanked with shutters.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 818 N MARYLAND AVE #K is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 818 N MARYLAND AVE #K is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 818 N MARYLAND AVE #K is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 1062 Brigantine Boulevard

Street Address: Street #: 1062 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Brigantine Suffix: N/A Type: BLVD

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 589

Local Place Name(s): N/A **Lot(s):** 5

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The buildings at 1062 Brigantine Boulevard are a complex of apartments clad in brick and vinyl siding. The buildings are capped with asphalt shingle roofs.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 27, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 1062 Brigantine Boulevard
Historic Name: N/A
Present Use: Residential Activity, Permanent
Historic Use: Residential Activity, Permanent
Construction Date: 1960 **Source:** njtaxrecords.net
Alteration Date(s): N/A **Source:** N/A
Designer: N/A **Physical Condition:** Good
Builder: N/A **Remaining Historic Fabric:** Low
Style: Other
Form: Apartment **Stories:** 2
Type: N/A **Bays:** 2
Roof Finish Materials: Asphalt shingle
Exterior Finish Materials: Brick

Exterior Description: The buildings at 1062 Brigantine Boulevard are a complex of apartments clad in brick and vinyl siding and capped with asphalt shingle roofs. The buildings, which hold the individual apartments all follow a similar design. The dark brick siding clads the entire first story of the building and the second story is clad in light vinyl siding. On some units, the brick clads both the first and second story of one bay. There is a paired, 1/1 window contained in the left bay on the first and second floors. The right bay holds a paired 1/1 on the second and a smaller, individual 1/1 in the right bay. The entrances to each unit are centered between bays.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 1062 Brigantine Boulevard is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1062 Brigantine Boulevard is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 1062 Brigantine Boulevard is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 701 NORTH MARYLAND AVENUE

Street Address: Street #: 701 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: MARYLAND Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 567

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 701 North Maryland Avenue is a large commercial lot with an associated building.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

Historic Sites #:

Site Map:



Additional Information: N/A

INTENSIVE LEVEL USE ONLY

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 701 NORTH MARYLAND AVENUE

Historic Name: N/A

Present Use: Commercial Activity

Historic Use: Commercial Activity

Construction Date: 1940 **Source:** njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Poor

Builder: N/A **Remaining Historic Fabric:** Low

Style: Other

Form: Other **Stories:** 1

Type: N/A **Bays:** 2

Roof Finish Materials: Unknown

Exterior Finish Materials Concrete

Exterior Description: The building at 701 Maryland Avenue is a small, concrete building capped with a low pitch roof. It is open on the southeasterly and northeasterly facades. The northerly façade holds a set of six concrete stairs that lead to an entrance landing. There are two, small, paired single pane windows on the northerly façade to the right of the door.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 701 N MARYLAND AVE is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 701 N MARYLAND AVE is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 701 N MARYLAND AVE is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 827 NORTH MASSACHUSETTS AVENUE

Street Address: Street #: 827 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: MASSACHUSETTS Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 560

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 827 North Massachusetts Avenue is a three-story, three bay building. The building is clad in vinyl siding and is capped with an asphalt shingle roof.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

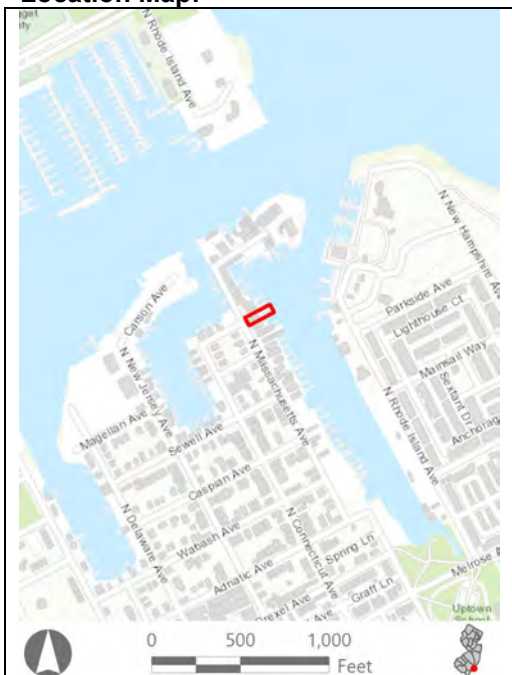


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 27, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>827 NORTH MASSACHUSETTS AVENUE</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1922</u>	Source:	<u>njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Fair</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>Other</u>		
Form:	<u>Other</u>	Stories:	<u>3</u>
Type:	<u>N/A</u>	Bays:	<u>3</u>
Roof Finish Materials:	<u>Asphalt shingle</u>		
Exterior Finish Materials	<u>Vinyl siding</u>		

Exterior Description: The building at 827 North Massachusetts Avenue is a three-story, three bay building. The building is clad in vinyl siding and is capped with an asphalt shingle roof. The first story appears to be a storage area, there are no publicly visible entrances. The second story holds an entrance on the northerly façade at the top of a set of stairs lined on both sides with railing. On the westerly façade, there is a balcony that stretches across all three bays. There is a centrally located door, providing access to the balcony, topped with a decorative pediment which is a highlight of the fenestration and roof overhang around the top of the second story. There are two, 1/1 windows symmetrically placed on either side of the door. The third story, on the westerly façade, holds a central 8/8 window topped with a decorative pediment that echoes the pediment over the balcony door. The northerly façade holds two asymmetrical windows on the second story and seven asymmetrical windows of varying sizes on the third story. The northerly side of the roof also holds two eyebrow dormers which each cap a window.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties</u>	Date:	<u>February 27, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 827 N MASSACHUSETTS AVE is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 827 N MASSACHUSETTS AVE is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 827 N MASSACHUSETTS AVE is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 1030 Sewell Avenue

Street Address: Street #: 1030 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Sewell Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 591

Local Place Name(s): N/A **Lot(s):** 2

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 130 Sewell Avenue is a one-story ranch house with vinyl siding.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 27,
2023

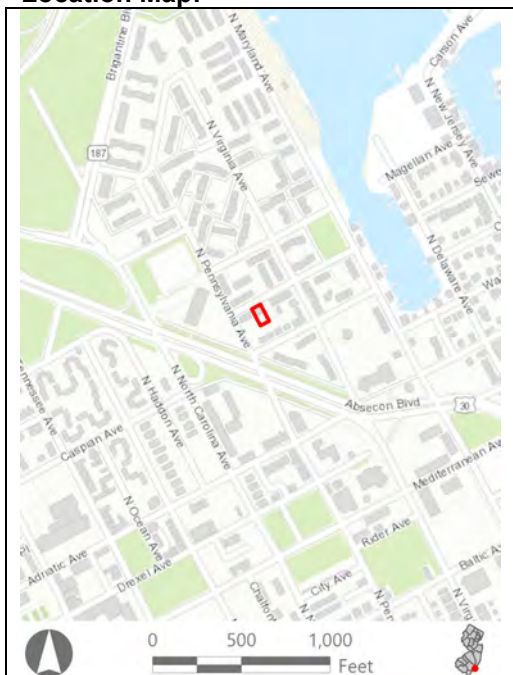
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	1030 Sewell Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	ca. 1950	Source:	Stylistic Evidence
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Ranch	Stories:	1
Type:	N/A	Bays:	4
Roof Finish Materials:			
Exterior Finish Materials			

Exterior Description: The building at 130 Sewell Avenue is a one-story ranch house with vinyl siding. The residence is four bays wide and one bay deep. The entrance is in the center of the façade. To the right of the entry is a slightly projected bay with a group of three 1/1 sash. To the left of the entry, the parged foundation is high. Because of the foundation, the windows are short, 1/1 replacement sash with faux shutters.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 1030 Sewell Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1030 Sewell Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 1030 Sewell Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 1029 CASPIAN AVENUE

Street Address: Street #: 1029 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: CASPIAN Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 591

Local Place Name(s): N/A **Lot(s):** 11

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 1029 Caspian Avenue is a two-story, three-bay building. The building is clad in vinyl siding and topped with an asphalt shingle roof.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:



Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	1029 CASPIAN AVE		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1900	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Other		
Form:	Split-Level	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt shingle		
Exterior Finish Materials	Vinyl siding		

Exterior Description: The building at 1029 Caspian Avenue is a two-story, three-bay, split-level building. The building is clad in vinyl siding and topped with an asphalt shingle roof. The primary entrance resides at the top of a set of stairs in the central bay. The left bay holds two, paired 1/1 windows. The rightmost bay is elevated slightly from the others and holds four, vertical, rectangular windows. The second-story spans across the central and left bays and holds two symmetrical 1/1 windows flanked by shutters.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 1029 CASPIAN AVE is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1029 CASPIAN AVE is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 1029 CASPIAN AVE is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 1037 Caspian Avenue

Street Address: Street #: 1037 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Caspian Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 591

Local Place Name(s): N/A **Lot(s):** 12

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 1037 Caspian Avenue is a one-story ranch house with faux board-and-batten siding.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

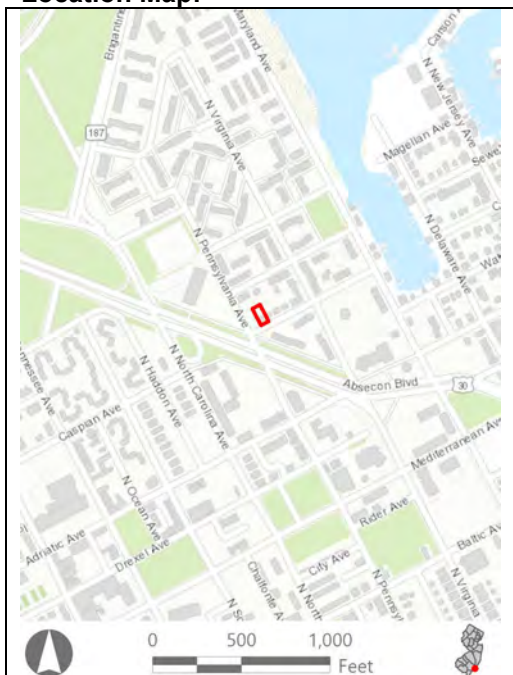


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: <u>1037 Caspian Avenue</u>	
Historic Name: <u>N/A</u>	
Present Use: <u>Residential Activity, Permanent</u>	
Historic Use: <u>Residential Activity, Permanent</u>	
Construction Date: <u>1960</u>	Source: <u>njtaxrecords.net</u>
Alteration Date(s): <u>N/A</u>	Source: <u>N/A</u>
Designer: <u>N/A</u>	Physical Condition: <u>Good</u>
Builder: <u>N/A</u>	Remaining Historic Fabric: <u>Low</u>
Style: <u>None</u>	
Form: <u>Ranch</u>	Stories: <u>1</u>
Type: <u>N/A</u>	Bays: <u>4</u>
Roof Finish Materials: <u>Asphalt Shingle</u>	
Exterior Finish Materials <u>Other</u>	

Exterior Description: The building at 1037 Caspian Avenue is a one-story ranch house with faux board-and-batten siding. The residence is four bays wide with a center entrance. To the right of the entry is a picture window. To the left of the entry is a high brick foundation. Above are two widely spaced 1/1 replacement sash.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 1037 Caspian Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1037 Caspian Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 1037 Caspian Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

Date: February 27,
2023

BASE FORM

Historic Sites #:

Property Name: 555 North New Jersey Avenue

Street Address: Street #: 555 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: New Jersey Suffix: N/A Type: Ave

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 565

Local Place Name(s): N/A **Lot(s):** 8

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 555 North New Jersey Avenue is a two-story, four-bay building. The building is clad in wooden shingle and topped with an asphalt shingle roof.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

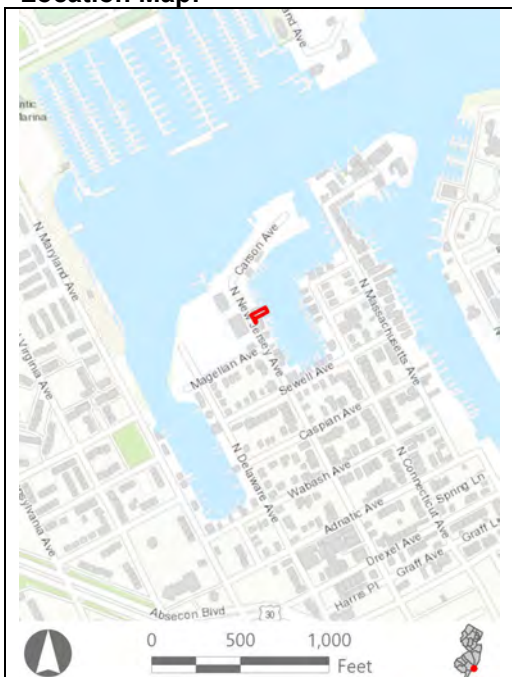


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 555 North New Jersey Avenue

Historic Name: N/A

Present Use: Residential Activity, Permanent

Historic Use: Residential Activity, Permanent

Construction Date: 1920 **Source:** njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Good

Builder: N/A **Remaining Historic Fabric:** Low

Style: Shingle

Form: Other **Stories:** 2

Type: N/A **Bays:** 4

Roof Finish Materials: Asphalt shingle

Exterior Finish Materials Wooden shingle

Exterior Description: The building at 555 North New Jersey Avenue is a two-story, four-bay building. The building is clad in wooden shingle and topped with an asphalt shingle roof. The first-story bays are sheltered under an asphalt shingle covered porch. The porch is supported by six wooden beams. The leftmost bay holds a simple 1/1 window. To the right of the window is the primary entrance. The third bay holds a bay window with a central picture window, flanked by narrow, 1/1 windows. The fourth bay on the first story holds a metal staircase which leads up to a small, one bay balcony on the second story. Along with the shingle-clad balcony, the second story features five, asymmetrical 1/1 windows.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 555 North New Jersey Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 555 North New Jersey Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 555 North New Jersey Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 610 NORTH NEW JERSEY AVENUE

Street Address: Street #: 218 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: NEW JERSEY Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 563

Local Place Name(s): N/A **Lot(s):** 2

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 610 North New Jersey Avenue is a single-story, three-bay building. The building is clad in concrete.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 28, 2023

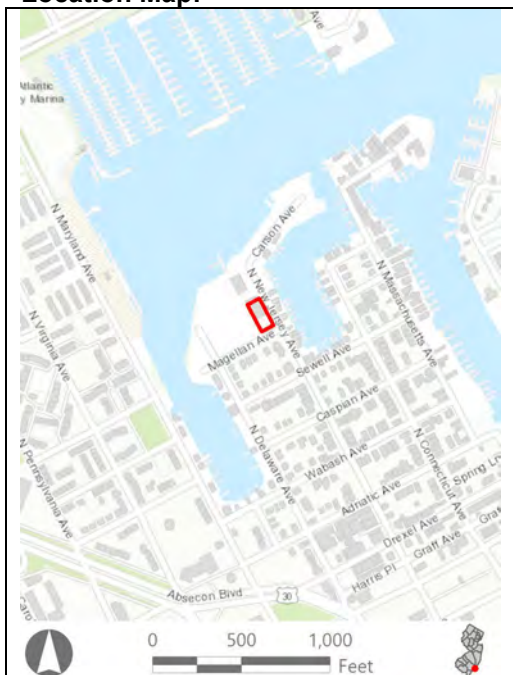
Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	610 NORTH NEW JERSEY AVENUE		
Historic Name:	N/A		
Present Use:	Commercial Activity		
Historic Use:	Commercial Activity		
Construction Date:	1920	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Other		
Form:	Commercial	Stories:	1
Type:	N/A	Bays:	3
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Concrete		

Exterior Description: The building at 610 North New Jersey Avenue is a single-story, three-bay building. The building is clad in concrete with a few stucco elements. The building features a stucco fenestration that wraps around the center of the building. The windows are asymmetrical, vertical, and narrow. The low-pitch roof line is periodically broken by the caps of faux columns along the roof of the building.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 610 NORTH NEW JERSEY AVENUE is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 610 NORTH NEW JERSEY AVENUE not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 610 NORTH NEW JERSEY AVENUE is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 732 NORTH MARYLAND AVENUE #A

Street Address: Street #: 732 N/A Apartment #: A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: MARYLAND Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 589

Local Place Name(s): N/A **Lot(s):** 3

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 732 North Maryland Avenue #A is one unit in a complex of colonial revival style duplexes. The buildings are clad in brick and topped with asphalt shingle roofs.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:



Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

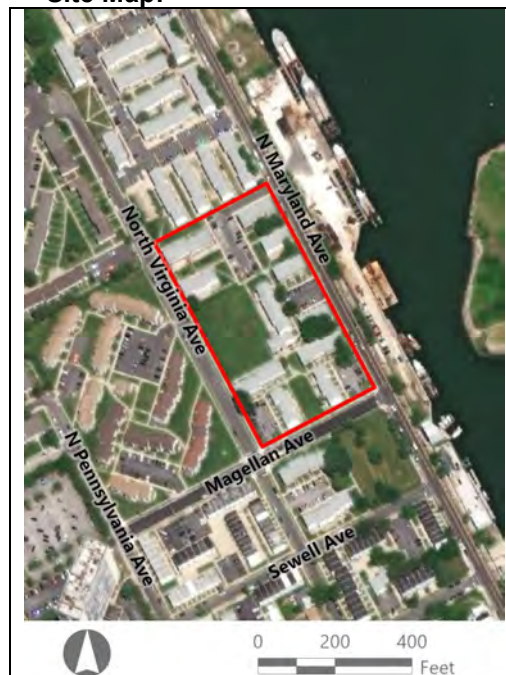
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 732 N MARYLAND AVE #A

Historic Name: N/A

Present Use: Residential Activity, Permanent

Historic Use: Residential Activity, Permanent

Construction Date: 1968 **Source:** njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Excellent

Builder: N/A **Remaining Historic Fabric:** Low

Style: Colonial Revival

Form: Duplex **Stories:** 2

Type: N/A **Bays:** 2

Roof Finish Materials: Asphalt shingle

Exterior Finish Materials Brick

Exterior Description: The building at 732 North Maryland Avenue #A is one unit in a complex of colonial revival style duplexes. The buildings are clad in brick and topped with asphalt shingle roofs. The first-story windows are 1/1 paired windows flanked by shutters. The entrances are sheltered under an asphalt shingle roof overhang. The second-story windows are 1/1, symmetrically spaced windows, flanked by shutters.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: ADDRESS is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, ADDRESS is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, ADDRESS is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

Date: February 28,
2023

BASE FORM

Historic Sites #:

Property Name: 423 Carson Avenue

Street Address: Street #: 423 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Carson Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 566

Local Place Name(s): N/A **Lot(s):** 15

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 423 Carson Avenue is a two-story house with a prominent full-width gable roof over a patio.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

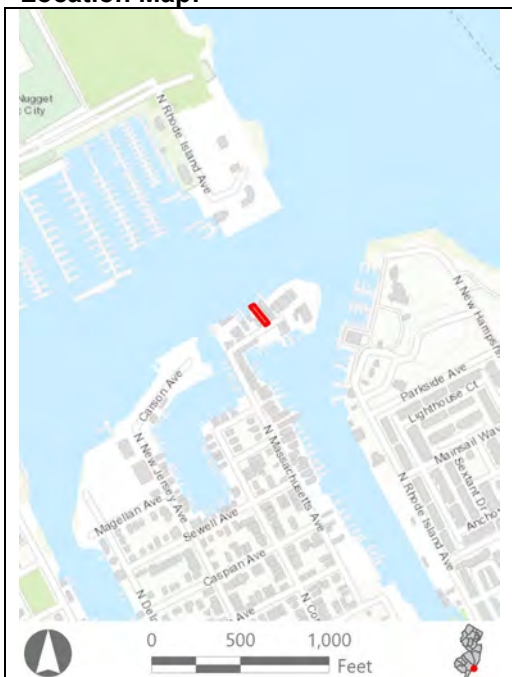


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 27, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

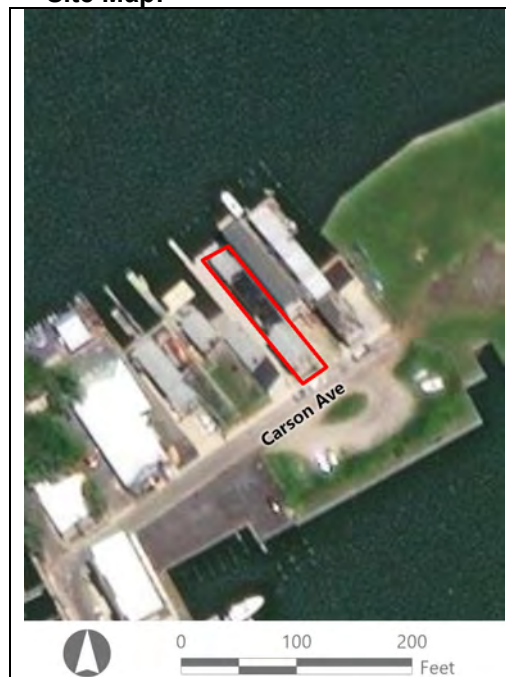
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	423 Carson Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1920	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Gable Front	Stories:	2
Type:	N/A	Bays:	2
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Wood, Shingles		

Exterior Description: The building at 423 Carson Avenue is a two-story house. The first story is sided in wood clapboards and the second story in wood shingles. The fenestration consists of 1/1, double-hung vinyl windows et in modestly trabeated wood surrounds. The (southeast) façade features a concrete patio covered by a full-width gable roof, supported by turned wood spindles. The façade has a central doorway flanked by windows. A long, one-story wood boathouse addition extends to the northwest. The roof has wide eaves and decorative exposed joists.

Interior Description: N/A

Setting: The resource is in a residential area, located between the State Marina near Clam Creek and Gardners Basin. During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 423 Carson Avenue is associated with early-twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 423 Carson Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 423 Carson Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 427 CARSON AVE

Street Address: Street #: 427 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: CARSON Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 566

Local Place Name(s): N/A **Lot(s):** 13

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The resource at 427 Carson Avenue is a one-story gable-front residence with unpainted wood shingle siding.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

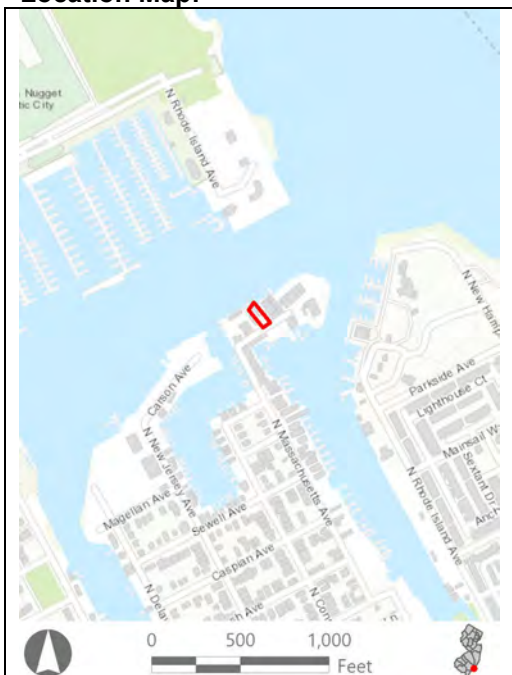


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 28, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

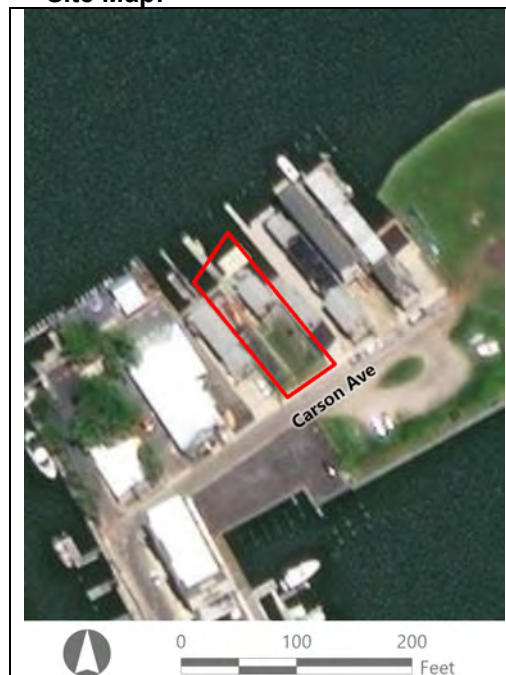
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>427 CARSON AVE</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1950</u>	Source:	<u>njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Gable Front</u>	Stories:	<u>1</u>
Type:	<u>N/A</u>	Bays:	<u>3</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Wood, Shingles</u>		

Exterior Description: The resource at 427 Carson Avenue is a one-story gable-front residence with unpainted wood shingle siding. The façade is three bays wide with the primary entrance in the left bay. A gabled-roof overhang above the entry is supported by angled posts or braces. The fenestration is a mix of fixed and 1/1 replacement sash. There is a single attic window in the gable of the façade.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 28, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 427 CARSON AVE is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 427 CARSON AVE is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 427 CARSON AVE is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 28,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 477 CARSON AVENUE

Street Address: Street #: 477 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: CARSON Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 566

Local Place Name(s): N/A **Lot(s):** 10

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 477 Carson Avenue is a single-story, single-bay building. The building is clad in wooden siding and topped with a corrugated metal roof.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

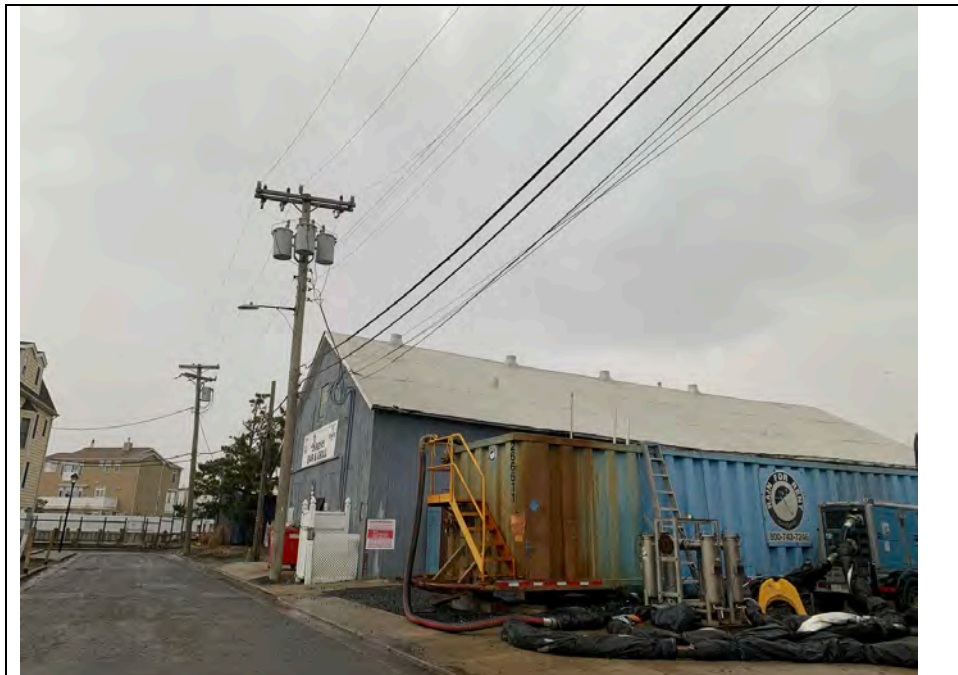
New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

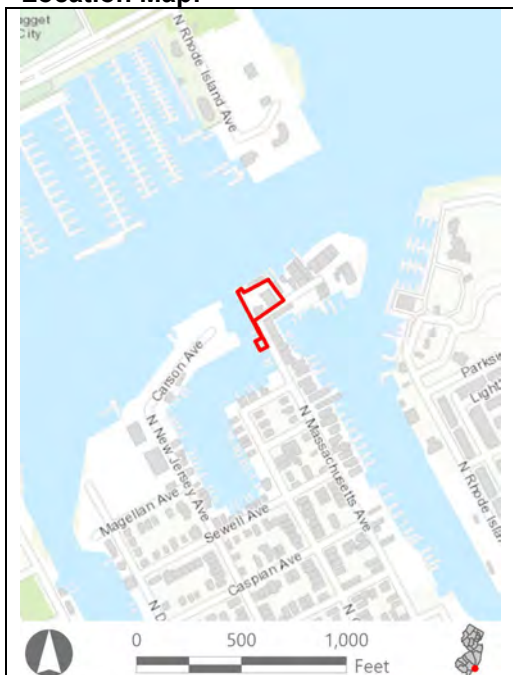
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

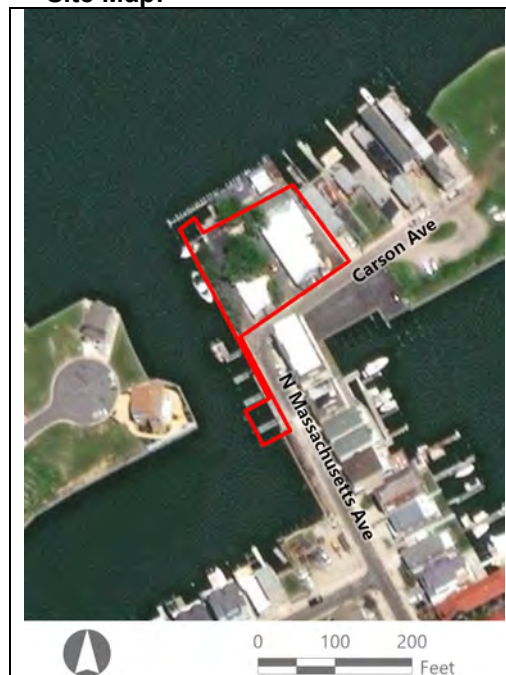
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	477 CARSON AVENUE		
Historic Name:	N/A		
Present Use:	Commercial Activity		
Historic Use:	Commercial Activity		
Construction Date:	1910	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Other		
Form:	Other	Stories:	1
Type:	N/A	Bays:	1
Roof Finish Materials:	Metal		
Exterior Finish Materials	Wood siding		

Exterior Description: The building at 477 Carson Avenue is a single-story, single-bay building. The building is clad in wooden siding and topped with a corrugated metal roof. The building is barn-like and features several, asymmetrical, small, 1/1 windows. The property also holds an additional associated building clad in stucco, with a low-pitch roof. This building features four, small windows on the primary façade.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 477 CARSON AVENUE is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 477 CARSON AVENUE is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 477 CARSON AVENUE is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 600 North New Jersey Avenue

Street Address: Street #: 600 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: New Jersey Suffix: N/A Type: Ave

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 563

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 600 North New Jersey Avenue is a single-story, three-bay building. The building is clad in concrete and capped in a flat roof.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:



Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	600 North New Jersey Avenue		
Historic Name:	N/A		
Present Use:	Commercial Activity		
Historic Use:	Commercial Activity		
Construction Date:	1930	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Other		
Form:	Other	Stories:	1
Type:	N/A	Bays:	3
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Concrete		

Exterior Description: The building at 600 North New Jersey Avenue is a single-story, three-bay building. The building is clad in concrete and is capped with a flat roof. The primary façade features the entrance, which is sheltered under a gabled pediment, supported by decorative brackets. Centered in the left and right bays there are 3/3 windows. The building features a light, stucco fenestration that wraps around the building near the roofline.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 600 North New Jersey Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 600 North New Jersey Avenue not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 600 North New Jersey Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 537 North New Jersey Avenue

Street Address: Street #: 537 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: New Jersey Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 556

Local Place Name(s): N/A **Lot(s):** 32

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 537 North New Jersey Avenue is a three-story gable-on-hip residence with vinyl siding and a half-masonry first story with two garage bays.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

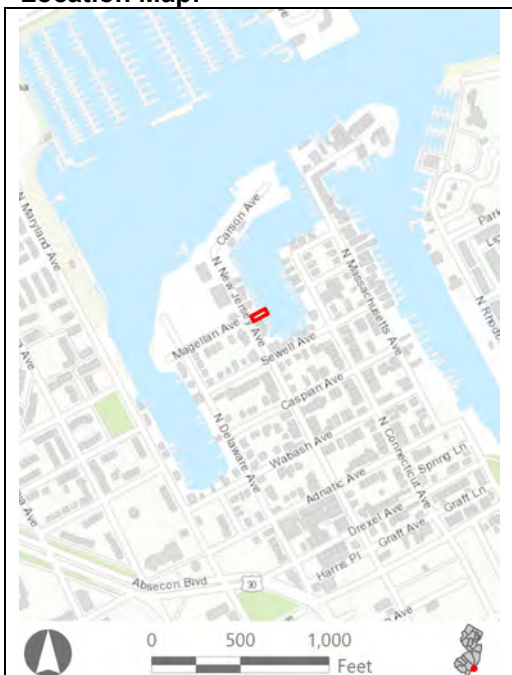


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 28, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfppl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 28,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 537 North New Jersey Avenue

Historic Name: N/A

Present Use: Residential Activity, Permanent

Historic Use: Residential Activity, Permanent

Construction Date: 1900 **Source:** njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Good

Builder: N/A **Remaining Historic Fabric:** Low

Style: None

Form: Other **Stories:** 3

Type: N/A **Bays:** 3

Roof Finish Materials: Asphalt Shingle

Exterior Finish Materials Vinyl Siding

Exterior Description: The building at 537 North New Jersey Avenue is a three-story gable-on-hip residence with vinyl siding and a half-masonry first story with two garage bays. The façade is divided into three bays with the center upper façade projected. The fenestration is 1/1 replacement sash on the upper stories set four across with two windows in the central projecting bay. A single-bay balcony is atop the projecting bay. A pent roof separates the first and second stories. There is a pedestrian door in the first story to the left of the garage bays.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 537 North New Jersey Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 537 North New Jersey Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 537 North New Jersey Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 535 NORTH NEW JERSEY AVENUE

Street Address: Street #: 535 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: NEW JERSEY Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 556

Local Place Name(s): N/A **Lot(s):** 30

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 535 North New Jersey Avenue is a four-story, two-bay building. The building is clad in vinyl siding and is capped with an asphalt shingle roof.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 28, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Historic Sites #:

Site Map:



Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

(Known or potential Sites – if yes, please describe briefly)

1486

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>535 N NEW JERSEY AVE</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1909</u>	Source:	<u>njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Excellent</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>Other</u>		
Form:	<u>Duplex</u>	Stories:	<u>4</u>
Type:	<u>N/A</u>	Bays:	<u>2</u>
Roof Finish Materials:	<u>Asphalt shingle</u>		
Exterior Finish Materials	<u>Vinyl siding</u>		

Exterior Description: The building at 535 North New Jersey Avenue is a four-story, two-bay building. The building is clad in vinyl siding and is capped with a gable front, asphalt shingle roof. The first story holds the primary entrance in the left bay and the garage in the right bay. The first-story bays are partially sheltered under an asphalt shingle roof overhang. The second story holds a large picture window in the left bay, and two small 1/1 windows in the right. The third and fourth stories, feature covered balconies in the right bay and a large Palladian window in the left.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 28, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 535 N NEW JERSEY AVE is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 535 N NEW JERSEY AVE is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 535 N NEW JERSEY AVE is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 531 North New Jersey Avenue

Street Address: Street #: 531 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: New Jersey Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 556

Local Place Name(s): N/A **Lot(s):** 29

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 531 North New Jersey Avenue is a two-story vernacular residence constructed circa 1980, clad in wood shingle siding, and capped by a flat roof with pent roofs covered in asphalt shingles, and an interior garage in the northernmost portion of the façade.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

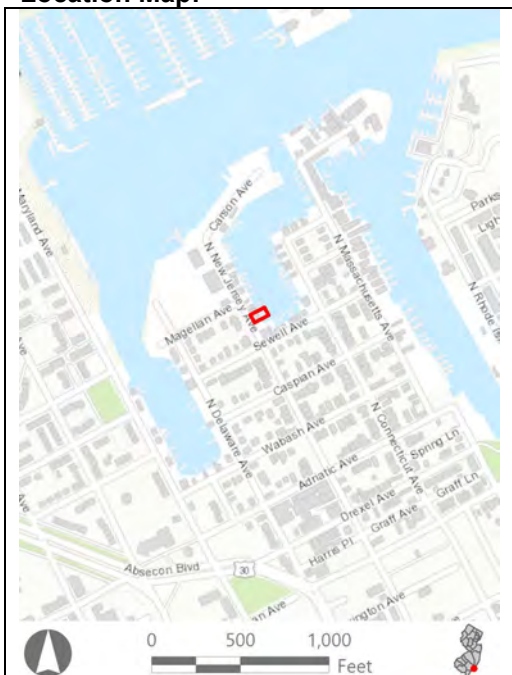


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 28, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 28,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	531 North New Jersey Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	ca. 1980	Source:	Stylistic Evidence
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Wood, Shingles		

Exterior Description: The building at 531 North New Jersey Avenue is a two-story vernacular residence constructed circa 1980, clad in wood shingle siding, and capped by a flat roof with pent roofs covered in asphalt shingles. The façade faces southwest and features a centered, raised, main entrance accessed by a short flight of concrete stairs and topped by a multi-pane fixed arched window, a slightly projecting northern bay with an interior garage and a one-story bay window above the garage, and a two-story bay window to the south of the main entrance with a secondary entrance at ground level in the southernmost portion of the façade.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 531 North New Jersey Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 531 North New Jersey Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 531 North New Jersey Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 814 N VIRGINIA AVE

Street Address: Street #: 814 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: VIRGINIA Suffix: N/A Type: AVE

County(s): Atlantic Zip Code: 08401

Municipality(s): Atlantic City Block(s): 589

Local Place Name(s): N/A Lot(s): 6

Ownership: Private USGS Quad(s) Atlantic City

Description: The resource at 814 North Virginia Avenue is a complex of apartments composed of a series of engaged saltbox-type houses.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

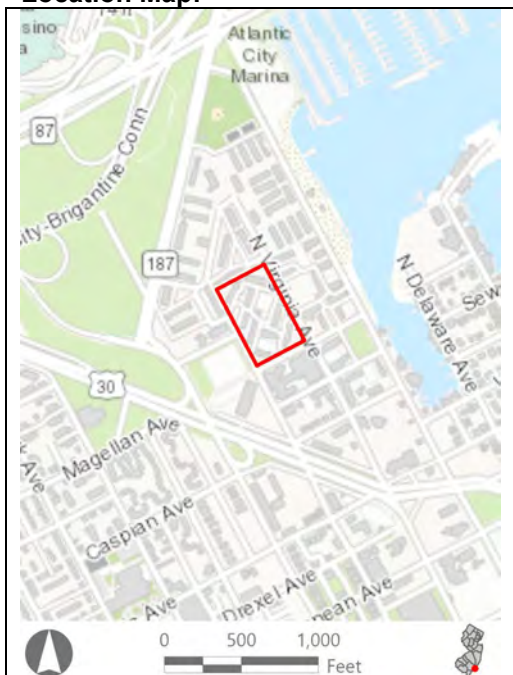


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 28, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 814 N VIRGINIA AVE

Historic Name: N/A

Present Use: Residential Activity, Permanent

Historic Use: Residential Activity, Permanent

Construction Date: 1980 **Source:** njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Good

Builder: N/A **Remaining Historic Fabric:** Low

Style: None

Form: Apartment **Stories:** 2

Type: N/A **Bays:** 4

Roof Finish Materials: Asphalt Shingle

Exterior Finish Materials Vinyl Siding

Exterior Description: The resource at 814 North Virginia Avenue is a complex of apartments composed of a series of engaged saltbox-type houses. Each building is four bays wide and is either stepped forward or stepped back from its engaged neighbor. Each building is two stories with either 1/1 sash windows or paired casement sash windows and is clad in vinyl siding. Each building has two units that are reached by a pair of pedestrian doors in the central bay of the façade. A shed roof supported by projecting piers enframes the entry bay of each building.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 814 N VIRGINIA AVE is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 814 N VIRGINIA AVE is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 814 N VIRGINIA AVE is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 712 Magellan Avenue

Street Address: Street #: 712 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Magellan Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 553

Local Place Name(s): N/A **Lot(s):** 11

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 712 Magellan Avenue is a two-story row house with stucco and vinyl siding.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

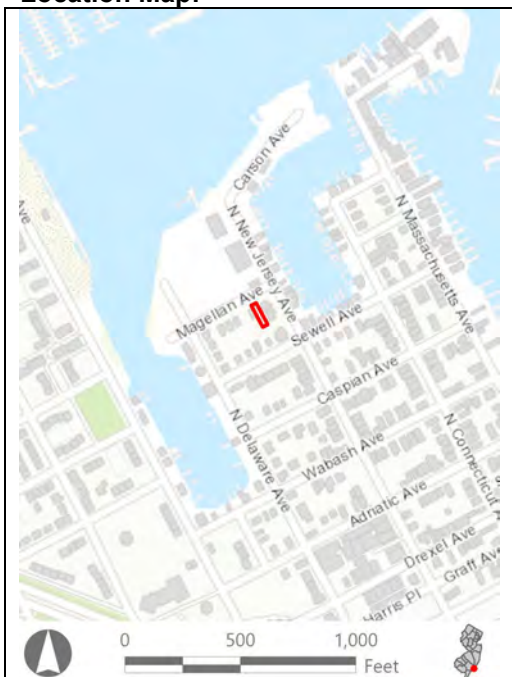


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 27, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 712 Magellan Avenue

Historic Name: N/A

Present Use: Residential Activity, Permanent

Historic Use: Residential Activity, Permanent

Construction Date: 1900 **Source:** njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Fair

Builder: N/A **Remaining Historic Fabric:** Low

Style: None

Form: Row **Stories:** 2

Type: N/A **Bays:** 2

Roof Finish Materials: Unknown

Exterior Finish Materials Stucco

Exterior Description: The building at 712 Magellan Avenue is a two-story row house with stucco and vinyl siding. The residence shares a wall with an adjacent row house which mirrors the design. The building is two bays wide and four bays deep. The first story is projected with the entry in the right bay and a pair of 1/1 replacement sash in the left bay. The second story features a pair of 1/1 sash in the left bay and an infilled window in the right bay. The façade terminates with a stepped parapet.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 712 Magellan Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 712 Magellan Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 712 Magellan Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 722 MAGELLAN AVE

Street Address: Street #: 711 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: MAGELLAN Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 553

Local Place Name(s): N/A **Lot(s):** 7

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 722 Magellan Avenue is a two-story row house with an engaged neighbor that is a mirror design.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 28, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 722 MAGELLAN AVE

Historic Name: N/A

Present Use: Residential Activity, Permanent

Historic Use: Residential Activity, Permanent

Construction Date: 1900 **Source:** njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Fair

Builder: N/A **Remaining Historic Fabric:** Low

Style: None

Form: Row **Stories:** 2

Type: N/A **Bays:** 2

Roof Finish Materials: Unknown

Exterior Finish Materials Vinyl Siding

Exterior Description: The building at 722 Magellan Avenue is a two-story row house with an engaged neighbor that is a mirror design. The residence is two bays wide and three bays deep with vinyl siding. The first-story façade is projected with a group of three 1/1 sash in the left bay and the primary entrance in the right bay. The second-story façade has paired 1/1 sash in the left bay and a single 1/1 sash in the right. The façade terminates at the flat roof with a stepped parapet. A hipped-roof square oriel occupies the center of the second story on the side elevation.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 722 MAGELLAN AVE is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 722 MAGELLAN AVE is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 722 MAGELLAN AVE is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 627 SEWELL AVE

Street Address: Street #: 627 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: SEWELL Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 556

Local Place Name(s): N/A **Lot(s):** 27

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 627 Sewell Avenue is a one-story hipped-roof bungalow with a recessed porch and vinyl siding.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

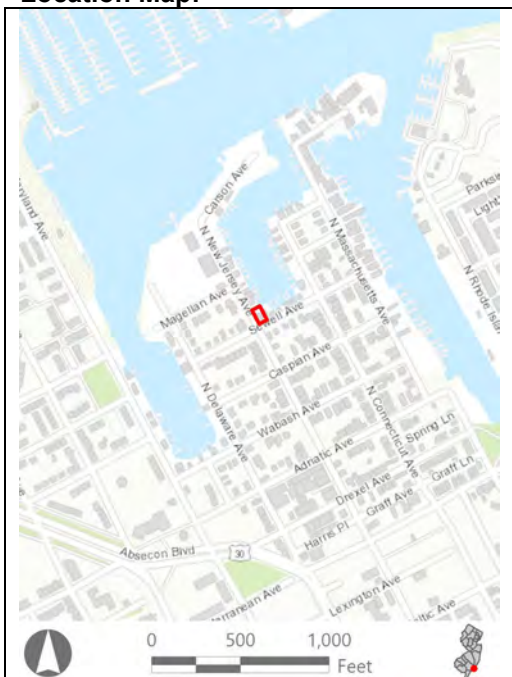
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: <u>627 SEWELL AVE</u>	
Historic Name: <u>N/A</u>	
Present Use: <u>Residential Activity, Permanent</u>	
Historic Use: <u>Residential Activity, Permanent</u>	
Construction Date: <u>1910</u>	Source: <u>njtaxrecords.net</u>
Alteration Date(s): <u>N/A</u>	Source: <u>N/A</u>
Designer: <u>N/A</u>	Physical Condition: <u>Good</u>
Builder: <u>N/A</u>	Remaining Historic Fabric: <u>Low</u>
Style: <u>None</u>	
Form: <u>Bungalow</u>	Stories: <u>1</u>
Type: <u>N/A</u>	Bays: <u>3</u>
Roof Finish Materials: <u>Asphalt Shingle</u>	
Exterior Finish Materials <u>Vinyl Siding</u>	

Exterior Description: The building at 627 Sewell Avenue is a one-story hipped-roof bungalow with a recessed porch and vinyl siding. There is a hipped roof dormer above the porch with a single fixed sash window. The porch has square supports atop a concrete deck. The facade is three bays wide with the primary entrance in the central bay flanked by a pair of 1/1 sash on one side and a single 1/1 sash on the other. The fenestration on the side elevations is 1/1 sash paired and singly placed.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name: <u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date: <u>February 28, 2023</u>
Surveyor: <u>Grant Johnson and Laura Mancuso</u>	
Organization: <u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>	

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 627 SEWELL AVE is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 627 SEWELL AVE is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 627 SEWELL AVE is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

Date: February 28,
2023

BASE FORM

Historic Sites #:

Property Name: 724 Magellan Avenue

Street Address: Street #: 724 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Magellan Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 553

Local Place Name(s): N/A **Lot(s):** 6

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 724 Magellan Avenue is a two-story row house with an engaged neighbor that is a mirror design.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:



Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 724 Magellan Avenue

Historic Name: N/A

Present Use: Residential Activity, Permanent

Historic Use: Residential Activity, Permanent

Construction Date: 1925 **Source:** njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Fair

Builder: N/A **Remaining Historic Fabric:** Low

Style: None

Form: Row **Stories:** 2

Type: N/A **Bays:** 2

Roof Finish Materials: Unknown

Exterior Finish Materials Vinyl Siding

Exterior Description: The building at 724 Magellan Avenue is a two-story row house with an engaged neighbor that is a mirror design. The residence is two bays wide and three bays deep with vinyl siding. The first-story façade is projected with a ribbon window with 1/1 sash in the right bay and the primary entrance in the left bay. The second-story façade has paired 1/1 sash in the right bay and a single 1/1 sash in the left. The façade terminates at the flat roof with a stepped parapet. A hipped-roof square oriel occupies the center of the second story on the side elevation.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 724 Magellan Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 724 Magellan Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 724 Magellan Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 740 SEWELL AVE

Street Address: Street #: 740 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: SEWELL Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 554

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 740 Sewell Avenue is a one-story ranch house with a gabled roof and a shed-roof sunroom with window walls.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

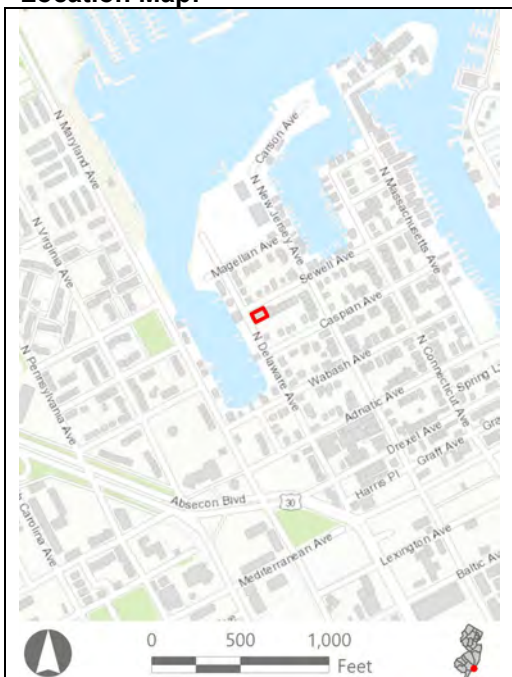
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	740 SEWELL AVE		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1900	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Ranch	Stories:	1
Type:	N/A	Bays:	6
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 740 Sewell Avenue is a one-story ranch house with a gabled roof and a shed-roof sunroom with window walls. The residence is six bays wide with vinyl siding and 1/1 sash fenestration. A large five-sash oriel window occupies the rightmost bay. To the left of the oriel is the entrance. Both the entry and oriel are shielded by an extended roof eave.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 740 SEWELL AVE is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 740 SEWELL AVE is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 740 SEWELL AVE is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 28,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 555 North Maryland Avenue

Street Address: Street #: 555 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: Maryland Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 594

Local Place Name(s): N/A **Lot(s):** 5

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The resource at 555 North Maryland Avenue is a four-story building with a three-story aluminum-clad tower atop a five-bay CMU garage.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

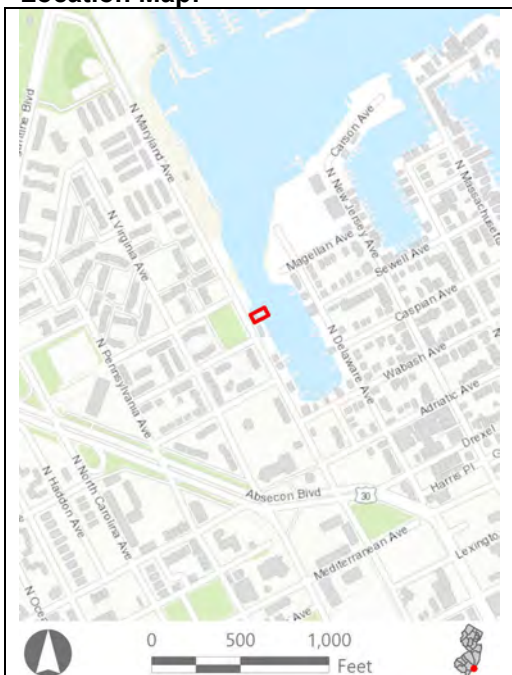


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 555 North Maryland Avenue

Historic Name: N/A

Present Use: Residential Activity, Permanent

Historic Use: Residential Activity, Permanent

Construction Date: 1900 **Source:** njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Poor

Builder: N/A **Remaining Historic Fabric:** Low

Style: None

Form: Apartment **Stories:** 4

Type: N/A **Bays:** 5

Roof Finish Materials: Unknown

Exterior Finish Materials Aluminum Siding

Exterior Description: The resource at 555 North Maryland Avenue is a four-story building with a three-story aluminum-clad tower atop a five-bay CMU garage. The first story features three garage doors flanked by pedestrian doors. Engaged wood columns between bays support a pent roof between the first and second stories. Stone lions rest atop the corners of the story where they extend beyond the upper stories. The tower above is two bays wide and one bay deep with single-pane fixed sash. The corners of the façade are curved with metal sheeting. Applied decorative fans are atop the fenestration on the façade.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 555 North Maryland Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 555 North Maryland Avenue not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 555 North Maryland Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &
Organization: Environmental Services, D.P.C

Date: February 27,
2023

BASE FORM

Historic Sites #:

Property Name: 501 N MARYLAND AVE

Street Address: Street #: 501 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: MARYLAND Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 594

Local Place Name(s): N/A **Lot(s):** 7

Ownership: Public **USGS Quad(s)** Atlantic City

Description: The resource at 501 North Maryland Avenue is a one-story gable-front building with wood shingle siding.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:



Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

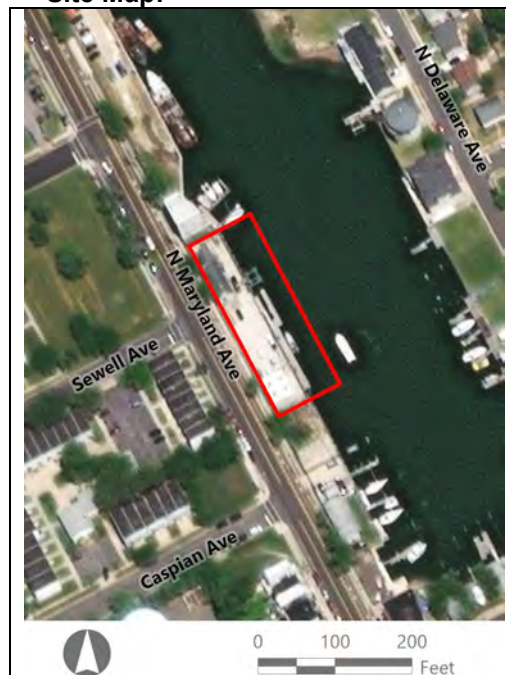
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	501 N MARYLAND AVE		
Historic Name:	N/A		
Present Use:	Institutional Activities, Government Services		
Historic Use:	Institutional Activities, Government Services		
Construction Date:	1950	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	1
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Wood, Shingles		

Exterior Description: The resource at 501 North Maryland Avenue is a one-story gable-front building with wood shingle siding. The building is sited parallel to the road behind a chain link fence. It is three bays wide and three bays deep with 1/1 sash fenestration. The entrance is in the center bay of the façade with an elevated single-bay entry porch with a gable roof. A shed-roof dormer occupies the rearmost bay on the street-facing side elevation.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 501 N MARYLAND AVE is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 501 N MARYLAND AVE is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 501 N MARYLAND AVE is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 507 North Delaware Avenue

Street Address: Street #: 507 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: Delaware Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 554

Local Place Name(s): N/A **Lot(s):** 26

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 507 North Delaware Avenue is a one-and-one-half-story Cape Cod with brick and vinyl siding.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

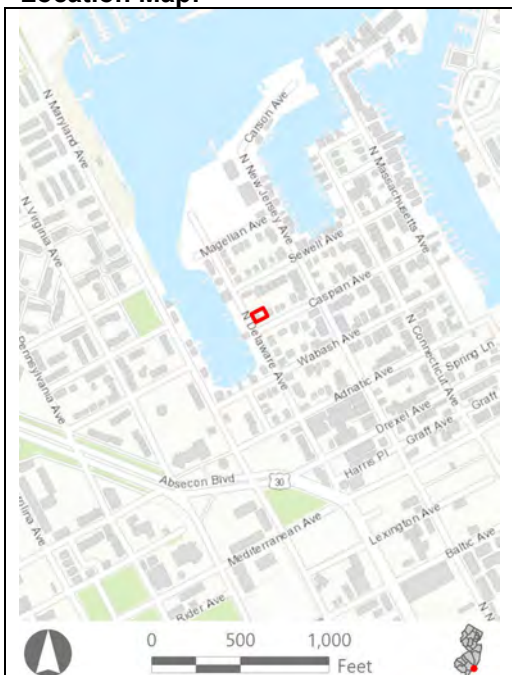


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 27, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 507 North Delaware Avenue

Historic Name: N/A

Present Use: Residential Activity, Permanent

Historic Use: Residential Activity, Permanent

Construction Date: 1955 **Source:** njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Good

Builder: N/A **Remaining Historic Fabric:** Low

Style: None

Form: Cape Cod **Stories:** 1.5

Type: N/A **Bays:** 3

Roof Finish Materials: Asphalt Shingle

Exterior Finish Materials Brick

Exterior Description: The building at 507 North Delaware Avenue is a one-and-one-half-story Cape Cod with brick and vinyl siding. The residence is three bays wide with a center entrance shielded by a metal awning supported by wrought-iron posts. The entry is flanked by large nine-pane windows. There is a wide shed-roof dormer with a hexagonal porthole window flanked by 1/1 sash. A one-story hipped-roof wing is attached to the south elevation and is set back from the façade.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 507 North Delaware Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 507 North Delaware Avenue not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 507 North Delaware Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 700 North Virginia Avenue

Street Address: Street #: 700 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: Virginia Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 590

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Public **USGS Quad(s)** Atlantic City

Description: The resource at 700 North Virginia Avenue is a complex of masonry row houses.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

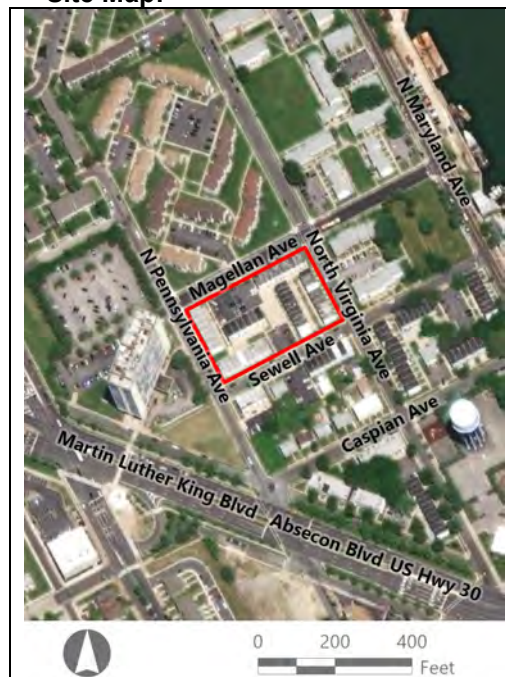
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	700 North Virginia Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1970	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Apartment	Stories:	2
Type:	N/A	Bays:	1
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The resource at 700 North Virginia Avenue is a complex of masonry row houses. Each row house is two stories and has a single bay on the front and rear elevations. Each row is separated from its neighbor by a party wall that extends beyond the exterior wall plane and roofline. The roof is flat, and the exterior walls are vinyl and stucco clad. The fenestration is 1/1 sash in pairs on the second story and singly on the first story adjacent to the entrance. Sliding patio doors provide a second form of egress on the rear elevation.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 700 North Virginia Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 700 North Virginia Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 700 North Virginia Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

Date: February 28,
2023

BASE FORM

Historic Sites #:

Property Name: 501 N SOUTH CAROLINA AVE

Street Address: Street #: 501 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: SOUTH CAROLINA Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 596

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The resource at 510 N. South Carolina Avenue is a garden-type apartment complex.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:



Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

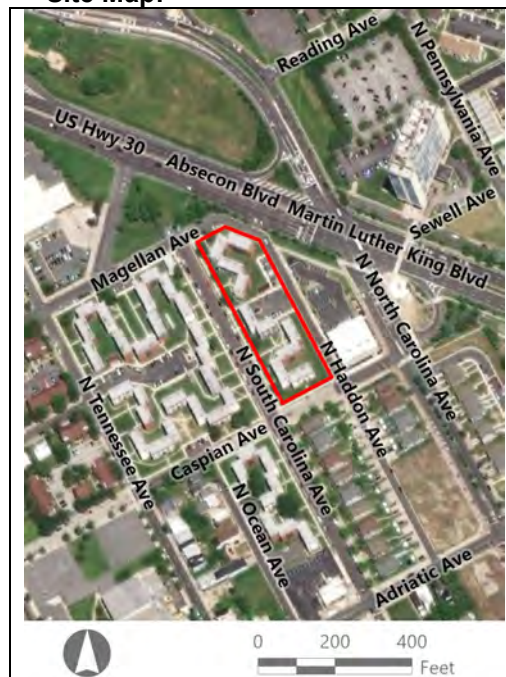
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	501 N SOUTH CAROLINA AVE		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1950	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Apartment	Stories:	3
Type:	N/A	Bays:	5
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The resource at 510 N. South Carolina Avenue is a garden-type apartment complex. Apartment blocks are rectangular with a flat roof, set atop a high basement with vinyl siding. Each block is three stories with fenestration on the long elevation and devoid of openings on the short elevations. Entry elevations are slightly recessed with regular fenestration of 1/1 sash grouped in ones, twos, and threes. The entry into each block is in the center bay with a shed-roof overhang supported by angled piers. Each entry is half-glazed and is flanked by sidelights.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 501 N SOUTH CAROLINA AVE is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 501 N SOUTH CAROLINA AVE is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 501 N SOUTH CAROLINA AVE is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: Starkman General Products Company Inc

Street Address: Street #: 1001 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: New York Suffix: N/A Type: Ave

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 662

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 1001 North New York Avenue is a one-story industrial building.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

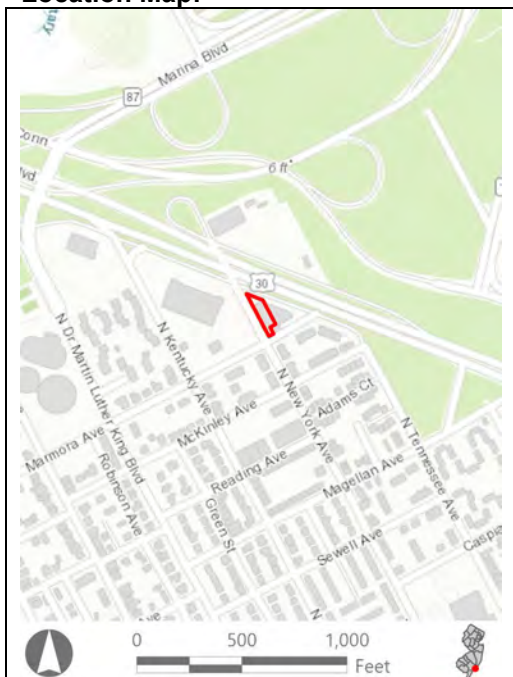
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: Starkman General Products Company Inc
Historic Name: N/A
Present Use: Industrial Activity
Historic Use: Industrial Activity
Construction Date: 1940 **Source:** njtaxrecords.net
Alteration Date(s): N/A **Source:** N/A
Designer: N/A **Physical Condition:** Fair
Builder: N/A **Remaining Historic Fabric:** Low
Style: None
Form: Other **Stories:** 1
Type: N/A **Bays:** n/a
Roof Finish Materials: Unknown
Exterior Finish Materials Brick, stucco

Exterior Description: The building at 1001 North New York Avenue is a one-story brick and stucco industrial building. It is mostly unadorned and featureless and shares a northeastern wall with the building at 1415 Marmora Avenue. A small stucco-clad vestibule with an asphalt shingled gable is located on the northwest elevation. A low parapet with modestly castellated corners is on this elevation. A metal overhead bay door is on the southwest wall, while two loading docks with bay doors flank a projection off the southeast side.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 1001 North New York Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1001 North New York Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 1001 North New York Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 1415 Marmora Avenue

Street Address: Street #: 1415 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Marmora Suffix: N/A Type: Ave

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 662

Local Place Name(s): N/A **Lot(s):** 4

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 1415 Marmora Avenue is a one-story concrete block industrial building.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 28, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 1415 Marmora Avenue
Historic Name: N/A
Present Use: Industrial Activity
Historic Use: Industrial Activity
Construction Date: 1940 **Source:** njtaxrecords.net
Alteration Date(s): N/A **Source:** N/A
Designer: N/A **Physical Condition:** Fair
Builder: N/A **Remaining Historic Fabric:** Low
Style: None
Form: Other **Stories:** 1
Type: N/A **Bays:** n/a
Roof Finish Materials: Unknown
Exterior Finish Materials: Concrete

Exterior Description: The building at 1415 Marmora Avenue is a one-story concrete block industrial building. It is mostly unadorned and featureless and shares a southwestern wall with the building at 1001 North New York Avenue. A short pent roof has a short span on the northeast elevation, on which there is a single metal door. An additional doorway and window appear to have been in-filled. A long, narrow fixed window at head level is on the short eastern elevation. An overhead loading bay door and two metal doors are on the southeast elevation.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 1415 Marmora Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1415 Marmora Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 1415 Marmora Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 725 North Dr Martin Luther King Boulevard

Street Address: Street #: 725 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: Dr Martin Luther King Suffix: N/A Type: Blvd

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 611

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 725 North Doctor Martin Luther King Boulevard is a two-story split-level house.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 28, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Historic Sites #:

Site Map:



Additional Information: N/A

INTENSIVE LEVEL USE ONLY

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	725 North Dr Martin Luther King Boulevard		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1980	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Split-level	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl		

Exterior Description: The building at 725 North Doctor Martin Luther King Boulevard is a two-story split-level house with a full-height recessed entrance in the center bay. The fenestration consists primarily of 1/1, double-hung vinyl windows. The first story is clad in Formstone and features a garage door at the south bay, and a pair of windows at the north bay flanked by vinyl shutters. The second story features one Chicago-style window in the north bay and two windows on the south bay. The side elevations are mostly blank except for cornice returns. A secondary entrance on the rear is flanked by windows on the first story, and the second story has four window bays. The gabled roof is clad in asphalt shingles and a concrete block chimney rises from the northeast slope.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 725 North Doctor Martin Luther King Boulevard is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 725 North Doctor Martin Luther King Boulevard is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 725 North Doctor Martin Luther King Boulevard is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

Date: February 28,
2023

BASE FORM

Historic Sites #:

Property Name: 736 N DR MARTIN LUTHER KING BLVD

Street Address: Street #: 736 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: DR MARTIN LUTHER KING Suffix: N/A Type: BLVD

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 612

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building located at 736 North Doctor Martin Luther King Boulevard is a two-story split-level house.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

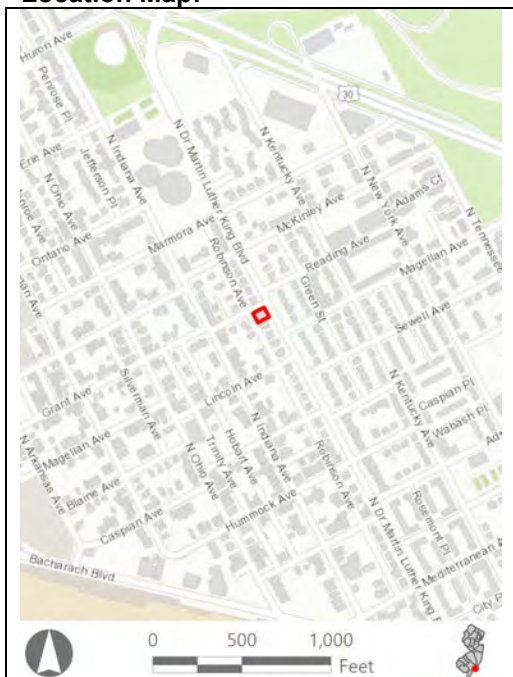


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	736 N DR MARTIN LUTHER KING BLVD		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1962	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Split-level	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt		
Exterior Finish Materials	Vinyl		

Exterior Description: The building located at 736 North Doctor Martin Luther King Boulevard is a two-story split-level house on a concrete foundation. The fenestration consists primarily of 1/1, double-hung vinyl windows. The first story is clad in Formstone and features a garage door at the north bay, and a pair of windows at the south bay covered by bars and flanked by vinyl shutters. The second story features a row of five casement windows in the south bay and two windows on the north bay. The side elevations have two bays on each story. A secondary entrance on the rear is flanked by windows on the first story, and the second story has four window bays. The gabled roof is clad in asphalt shingles and a concrete block chimney rises from the southwest slope.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 736 N DR MARTIN LUTHER KING BLVD is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 736 N DR MARTIN LUTHER KING BLVD is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 736 N DR MARTIN LUTHER KING BLVD is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 1720 Grant Avenue

Street Address: Street #: 1720 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Grant Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 617

Local Place Name(s): N/A **Lot(s):** 3

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 1720 Grant Avenue is a one-story house with an attached garage.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

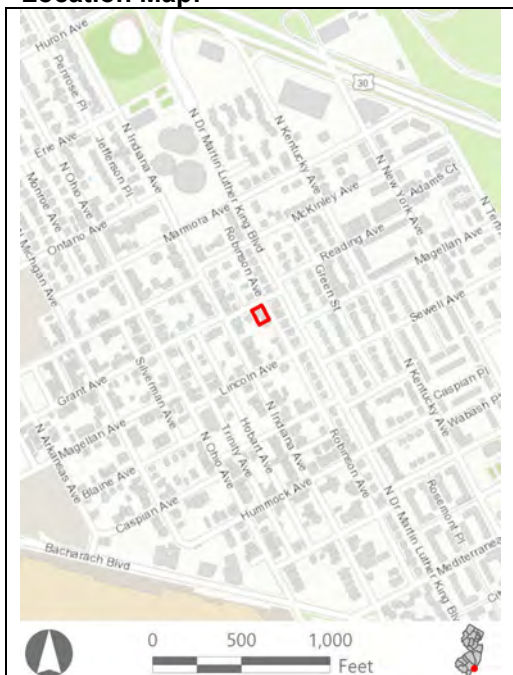


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 27, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	1720 Grant Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1900	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Gable Front	Stories:	1
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Stone, Veneer		

Exterior Description: The building at 1720 Grant Avenue is a one-story house with an attached garage. The house is clad entirely in a stone veneer. The (northwest) façade features a grade-level patio covered by a metal awning. On the façade wall is a central door with a large picture window to the east and a double-hung window to the west. Aside from the picture window, fenestration consists of 1/1, double-hung wood windows with metal grates covering half of the bottom sash, all set in simple wood surrounds. A secondary entrance is located on the southwest elevation. A one-bay garage is attached by a hyphen with an angular roof. The roof is clad in asphalt shingles.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: The building at 1720 Grant Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1720 Grant Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 1720 Grant Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

Date: February 27,
2023

BASE FORM

Historic Sites #:

Property Name: 1440 Absecon Boulevard

Street Address: Street #: 1440 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: ABESCON Suffix: N/A Type: BLVD

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 677

Local Place Name(s): N/A **Lot(s):** 3

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 1440 Absecon Boulevard is a two-story house on a concrete foundation.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

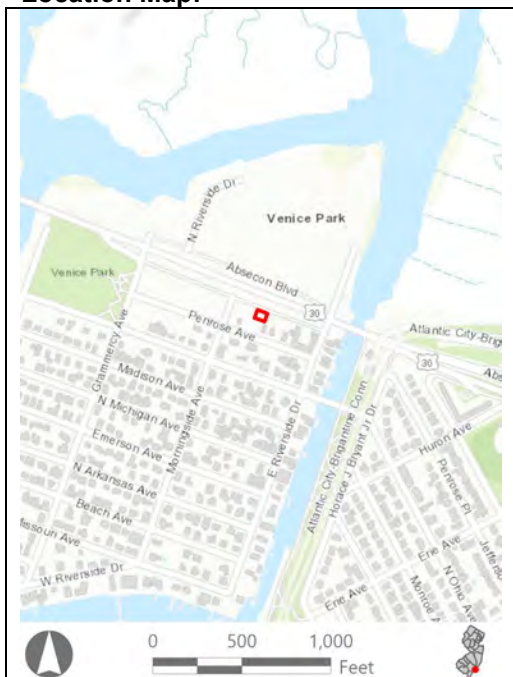
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	1440 ABSECON BLVD		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1900	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Asbestos Siding		

Exterior Description: The building at 1440 Absecon Boulevard is a two-story house on a concrete foundation clad in asbestos shingles. The (northeast) façade features a horizontal symmetry in the fenestration, with 1/1, double-hung aluminum windows on the west bay and Chicago-style windows on the east bay, flanking a central doorway covered by a gable portico. A narrow, full height, bay projects from the southeast elevation and has a secondary entrance. The northwest elevation features to base on each floor. The asphalt clad roof features modest cornice returns.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 1440 ABSECON BLVD is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1440 ABSECON BLVD is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 1440 ABSECON BLVD is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 1400 Absecon Boulevard

Street Address: Street #: 1400 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Absecon Suffix: N/A Type: Blvd

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 677

Local Place Name(s): N/A **Lot(s):** 8

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 1400 Absecon Boulevard is a multi-unit single-story motel. The units are clad in brick and capped in a built-up tar and gravel roof.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:



Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 1400 Absecon Boulevard
Historic Name: N/A
Present Use: Residential Activity, Transient, nonfamily
Historic Use: Residential Activity, Transient, nonfamily
Construction Date: 1940 **Source:** njtaxrecords.net
Alteration Date(s): N/A **Source:** N/A
Designer: N/A **Physical Condition:** Good
Builder: N/A **Remaining Historic Fabric:** Low
Style: Other
Form: U-Plan **Stories:** 1
Type: N/A **Bays:** N/A
Roof Finish Materials: Built-up tar and gravel
Exterior Finish Materials: Brick

Exterior Description: The building at 1400 Absecon Boulevard is a multi-unit single-story motel. The units are clad in brick and capped in a low-pitch, built-up tar, and gravel roof. The units are set up in a U-shape, and each unit has a primary entrance and two single-pane windows. Herringbone-style molding is featured under the paired windows of each unit.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 1400 Absecon Boulevard is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1400 Absecon Boulevard is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 1400 Absecon Boulevard is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 1600 ABSECON BOULEVARD

Street Address: Street #: 1600 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: ABESCON Suffix: N/A Type: BLVD

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 659

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 1600 Absecon Boulevard is a set of units for a motel. The units are single-story, clad in stucco, and capped with an asphalt shingle roof.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:



Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	1600 ABSECON BLVD		
Historic Name:	N/A		
Present Use:	Residential Activity, Transient, nonfamily		
Historic Use:	Residential Activity, Transient, nonfamily		
Construction Date:	1950	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Other		
Form:	Other	Stories:	1
Type:	N/A	Bays:	N/A
Roof Finish Materials:	Asphalt shingle		
Exterior Finish Materials	Stucco		

Exterior Description: The building at 1600 Absecon Boulevard is a set of units for a motel. The units are single-story, clad in stucco, and capped with an asphalt shingle roof. The units are arranged in an ell shape. Each unit holds a door with a row of door lights in the top panel. Adjacent to the entrance, two, six pane windows are set into the bay flanked by shutters.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 1600 ABSECON BLVD is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1600 ABSECON BLVD is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 1600 ABSECON BLVD is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 1300 North Indiana Avenue

Street Address: Street #: 1300 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: Indiana Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 674

Local Place Name(s): N/A **Lot(s):** 6

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 1300 North Indiana Avenue is a one-and-one-half-story house featuring a saltbox-style roof.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

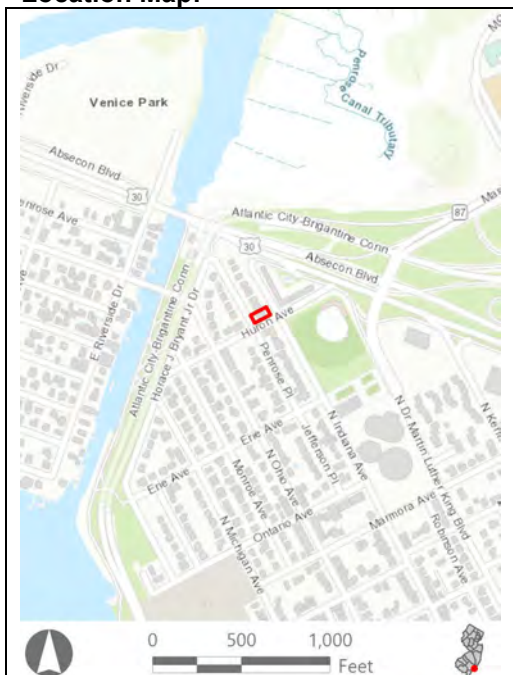


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	1300 North Indiana Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	ca.1950	Source:	Stylistic Evidence
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	1.5
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Brick		

Exterior Description: The building at 1300 North Indiana Avenue is a one-and-one-half-story house on a concrete foundation. The (northeast) façade consists of a one-story attached garage with an overhead door, and a Roman brick-veneered bay with a Chicago-style window and a recessed entrance. The door opens onto a shallow concrete patio and features one sidelight. The façade bay is surmounted by a shallow, flat gable. The remaining fenestration consists of 1/1, double-hung vinyl windows. There is a secondary entrance from a grade-level patio on the southeast elevation located on the first story along with a Chicago-style window beneath a pent roof. The southwest elevation features a split-level second-story overhang and two asymmetrical window bays on each story. The saltbox-style roof slopes downward to the façade.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: The building at 1300 North Indiana Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1300 North Indiana Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 1300 North Indiana Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 1915 Huron Avenue

Street Address: Street #: 1915 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Huron Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 672

Local Place Name(s): N/A **Lot(s):** 4

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 1915 Huron Avenue is a two-story split-level house with aluminum siding and stone veneer.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

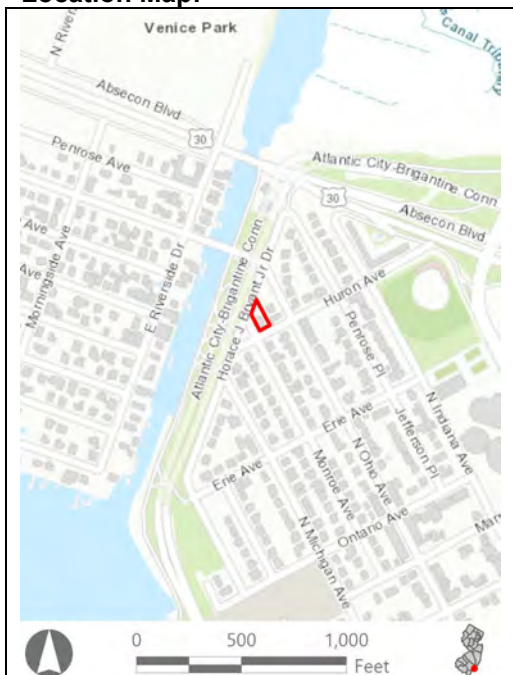


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 27, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	1915 Huron Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1965	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Split-Level	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Aluminum Siding		

Exterior Description: The building at 1915 Huron Avenue is a two-story split-level house with aluminum siding and stone veneer. The house is three bays wide and divided into a two-bay, two-story volume and a one-bay, one-story volume. The two-story volume has a carport on the masonry first story, which is partially below grade. The fenestration is rectangular 2/2 sash with horizontal divisions. The one-story volume features the primary entrance and a picture window.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 1915 Huron Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1915 Huron Ave is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 1915 Huron Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 914 NORTH INDIANA AVENUE

Street Address: Street #: 914 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: INDIANA Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 620

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 914 North Indiana Avenue is a one-story, three-bay building. The building is clad in vinyl siding and capped in an asphalt shingle roof.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

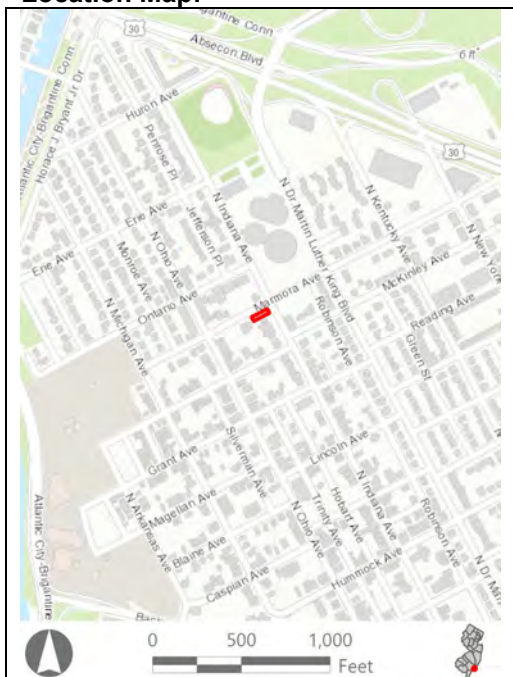


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 28, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	914 NORTH INDIANA AVENUE		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1953	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Other		
Form:	Other	Stories:	1
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt shingle		
Exterior Finish Materials	Vinyl siding		

Exterior Description: The building at 914 North Indiana Avenue is a one-story, three-bay building. The building is clad in vinyl siding and capped in an asphalt shingle roof. The primary entrance is in the central bay and has a partially sheltered landing. A 1/1 window is located just to the left of the door. The left bay holds a large 1/1 window. The right bay holds a narrow 1/1 window.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 914 N INDIANA AVE is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 914 N INDIANA AVE is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 914 N INDIANA AVE is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 912 North Indiana Avenue

Street Address: Street #: 912 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: Indiana Suffix: N/A Type: Ave

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 620

Local Place Name(s): N/A **Lot(s):** 2

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 912 North Indiana Avenue is a single-story, two bay building clad in stucco with a half-masoned façade.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

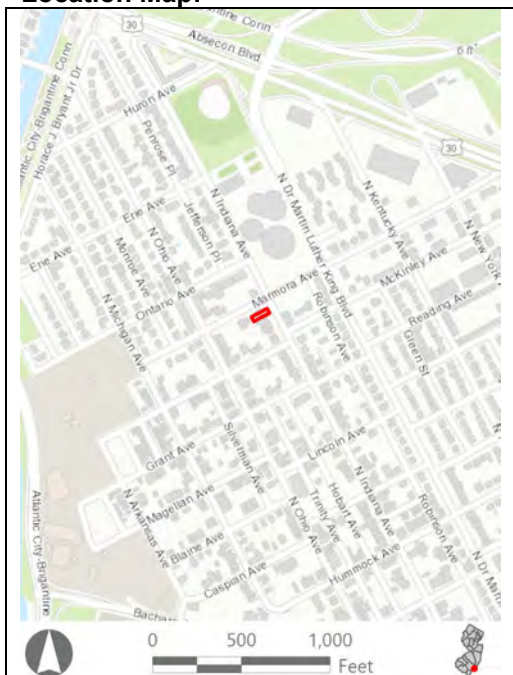
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 912 Indiana Avenue

Historic Name: N/A

Present Use: Residential Activity, Permanent

Historic Use: Residential Activity, Permanent

Construction Date: 1953 **Source:** njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Excellent

Builder: N/A **Remaining Historic Fabric:** Low

Style: Other

Form: Duplex **Stories:** 1

Type: N/A **Bays:** 2

Roof Finish Materials: Asphalt shingle

Exterior Finish Materials Stucco

Exterior Description: The building at 912 North Indiana Avenue is a single-story, two bay building clad in stucco with a half-masoned façade. The right bay holds the primary entrance, which can be approached by three concrete steps. The left bay holds a 1/1 window flanked by shutters.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 912 Indiana Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 912 Indiana Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 912 Indiana Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 910 North Indiana Avenue

Street Address: Street #: 910 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: Indiana Suffix: N/A Type: Ave

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 620

Local Place Name(s): N/A **Lot(s):** 3

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 910 North Indiana Avenue is a single-story, two-bay building. The building is clad in stucco with partial brick masonry, and capped in an asphalt shingle roof.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

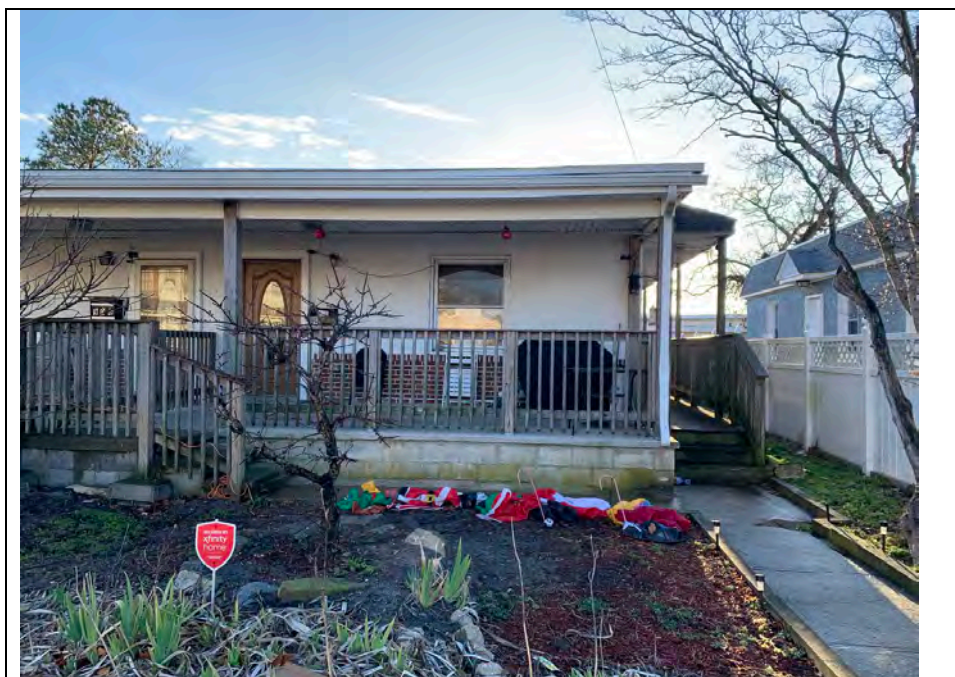
New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

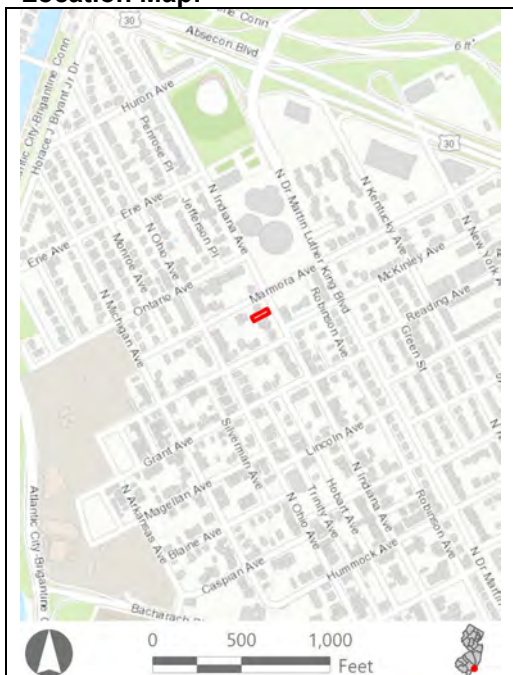
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfppl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 28, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 910 North Indiana Avenue

Historic Name: N/A

Present Use: Residential Activity, Permanent

Historic Use: Residential Activity, Permanent

Construction Date: 1953 **Source:** njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Excellent

Builder: N/A **Remaining Historic Fabric:** Low

Style: None

Form: Duplex **Stories:** 1

Type: N/A **Bays:** 2

Roof Finish Materials: Asphalt shingle

Exterior Finish Materials Stucco

Exterior Description: The building at 910 North Indiana Avenue is a single-story, two-bay building. The building is clad in stucco with partial brick masonry and capped in an asphalt shingle roof. The primary façade is sheltered by the roof overhang. The entrance is held in the left bay. In the right bay a 1/1 window is centered in the bay above the brick masonry.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 910 North Indiana Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 910 North Indiana Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 910 North Indiana Ave is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 28, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 1230 North Indiana Avenue

Street Address: Street #: 449 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: Indiana Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 663

Local Place Name(s): N/A **Lot(s):** 5

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 1230 North Indiana Avenue is a two-story split-level residence with simulated stone and vinyl cladding.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	1230 North Indiana Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1965	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Split-Level	Stories:	2
Type:	N/A	Bays:	4
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 1230 North Indiana Avenue is a two-story split-level residence consisting of a two-story pyramidal-roofed volume and a single-story side-gabled volume. The first floor of the primary elevation only is clad in simulated stone, while vinyl siding is used elsewhere. Fenestration consists of one-over-one windows in singles and pairs. A bay window with a pent roof is located on the north elevation. The house has a single-story gable-roofed addition with vinyl siding and vinyl windows.

Interior Description: N/A

Setting: The resource occupies a mid-block lot in a suburban residential part of Atlantic City. During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

The building at 1230 North Indiana Avenue was built circa 1965 in an area that was developed primarily between 1940 and 1970 (NETR, 2023).

Significance: 1230 North Indiana Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1230 North Indiana Avenue not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 1230 North Indiana Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 1222 North Indiana Avenue

Street Address: Street #: 1222 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: Indiana Suffix: N/A Type: Ave

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 556

Local Place Name(s): N/A **Lot(s):** 32

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 1222 North Indiana Avenue is a two-story Colonial Revival style residence with a low side-gable roof, a narrow entry porch, and a single-story wing.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

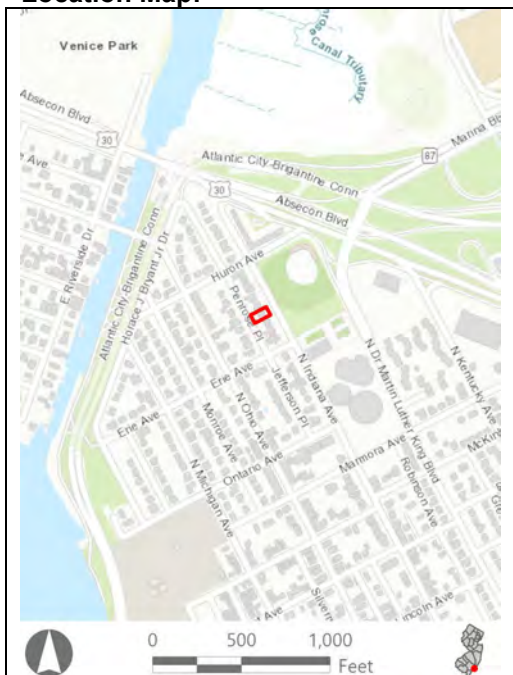
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	1222 North Indiana Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1965	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Medium
Style:	Colonial Revival		
Form:	Saltbox	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Brick; Vinyl Siding		

Exterior Description: The building at 1222 North Indiana Avenue is a two-story Colonial Revival style residence with a low side-gable roof, a narrow entry porch, and a single-story wing. The building has a saltbox shape, with only one story at the rear. The roof of the wing (possibly a converted attached garage) extends to form a pent roof sheltering the main entry. The exterior is clad in brick at the first floor of the primary elevation only, and vinyl siding elsewhere. Fenestration consists of vinyl windows in singles and pairs.

Interior Description: N/A

Setting: The resource occupies a mid-block lot in a suburban residential neighborhood characterized by homes of a similar scale and vintage. During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

The building at 1222 North Indiana Avenue was constructed circa 1965 in a residential part of Atlantic City that primarily developed between about 1940 and 1970 (NETR, 2023).

Significance: 1222 North Indiana Avenue is associated with mid-twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1222 North Indiana Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 1222 North Indiana Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

Date: February 27,
2023

BASE FORM

Historic Sites #:

Property Name: 1142 North Indiana Avenue

Street Address: Street #: 1142 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: Indiana Suffix: N/A Type: Ave

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 657

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 1142 North Indiana Avenue is a two-story split-level residence with a converted garage at the rear of the property.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

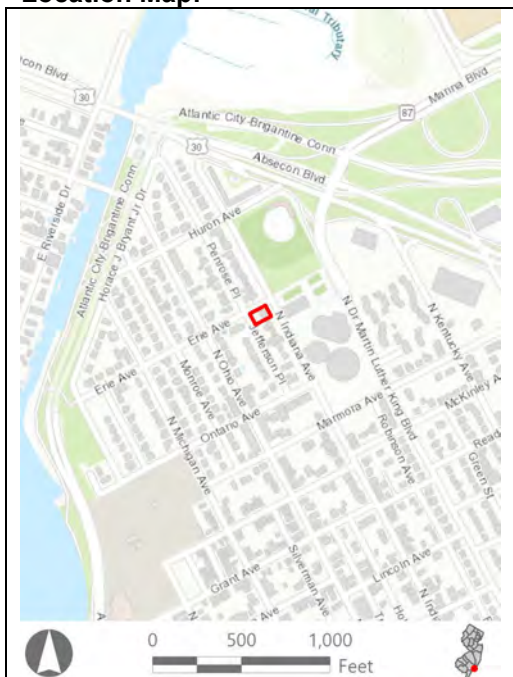


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 27, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 1142 North Indiana Avenue	
Historic Name: N/A	
Present Use: Residential Activity, Permanent	
Historic Use: Residential Activity, Permanent	
Construction Date: 1951	Source: njtaxrecords.net
Alteration Date(s): N/A	Source: N/A
Designer: N/A	Physical Condition: Good
Builder: N/A	Remaining Historic Fabric: Medium
Style: None	
Form: Split Level	Stories: 2
Type: N/A	Bays: 4
Roof Finish Materials: Asphalt Shingle	
Exterior Finish Materials Brick; Asbestos	

Exterior Description: The building at 1142 North Indiana Avenue is a two-story split-level residence consisting of a two-story two-bay pyramidal-roofed volume and a single-story two-bay side-gable volume containing the primary entrance within a shallow entry porch. Fenestration includes single one-over-one windows as well as tripartite picture windows. Cladding materials are a mix of brick, wood clapboard, and asbestos shingle. A single-story garage converted to an accessory dwelling unit is located at the rear of the property.

Interior Description: N/A

Setting: The resource occupies a corner lot in a suburban residential neighborhood characterized by homes of a similar scale and vintage. During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

The building at 1142 North Indiana Avenue was constructed circa 1951 in a part of Atlantic City that developed primarily during the mid-twentieth-century (NETR, 2023).

Significance: 1142 North Indiana Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1142 North Indiana Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 1142 North Indiana Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 1616 MARMORA AVE

Street Address: Street #: 1616 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: MARMORA Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 609

Local Place Name(s): N/A **Lot(s):** 4

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 161 Marmora Avenue is a two-story stucco clad Four Square type residence with a pyramidal roof and an entry porch.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

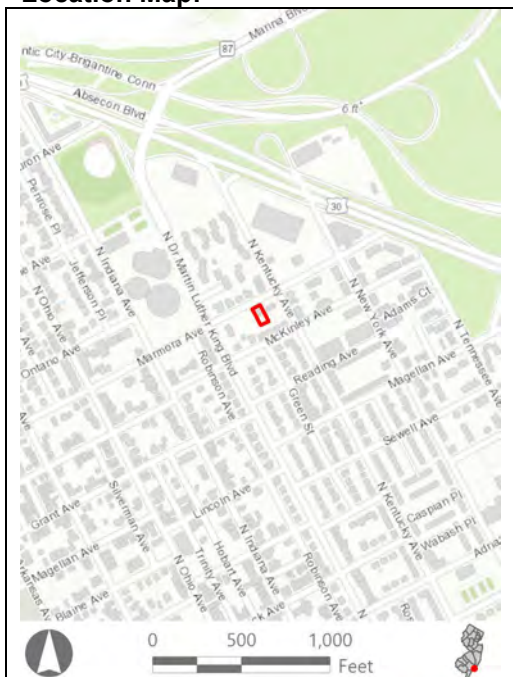


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	1616 MARMORA AVE		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1960	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Four Square	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Stucco		

Exterior Description: The building at 161 Marmora Avenue is a two-story stucco clad Four Square type residence with a pyramidal roof sheathed in asphalt shingle. The house has a square footprint with a small, single-story rear addition. The primary (north) elevation is symmetrically arranged with a centered door flanked by paired windows on the first floor, and paired windows in the outer bays on the second floor. Windows are generally one-over-one vinyl sash. The single-story entry porch has a metal canopy supported on wrought iron columns.

Interior Description: N/A

Setting: The resource occupies a mid-block lot in a residential neighborhood characterized by detached and row houses of the twentieth century. During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

The building at 1616 Marmora Avenue was constructed circa 1960 in a residential neighborhood that developed primarily in the mid-twentieth century (NETR, 2023).

Significance: 1616 Marmora Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1616 MARMORA AVE is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 1616 MARMORA AVE is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 1011 North Ohio Avenue

Street Address: Street #: 1011 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: OHIO Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 628

Local Place Name(s): N/A **Lot(s):** 9

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 1011 North Ohio Avenue is a two-story brick rowhouse with a flat roof and a single-story entry porch.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:



Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 1011 North Ohio Avenue

Historic Name: N/A

Present Use: Residential Activity, Permanent

Historic Use: Residential Activity, Permanent

Construction Date: 1925 **Source:** njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Fair

Builder: N/A **Remaining Historic Fabric:** Low

Style: None

Form: Row **Stories:** 2

Type: N/A **Bays:** 2

Roof Finish Materials: Unknown

Exterior Finish Materials Brick

Exterior Description: The building at 1011 North Ohio Avenue is a two-story brick rowhouse with a flat roof and a single-story entry porch. The primary elevation is two bays wide, with a window and door at the first floor and two windows at the second floor. Windows are one-over-one sash with brick sills and lintels. The building's roof cornice has been covered in vinyl siding. The entry porch is supported by non-historic square posts and has non-historic railings.

Interior Description: N/A

Setting: The resource occupies a mid-block lot in a row of similarly scaled, narrow rowhouses. During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

The group of rowhouses including 1011 North Ohio Avenue was constructed between 1920 and 1930 in what was, at the time, the northern edge of residential development in Atlantic City. The remainder of the immediate neighborhood was largely built out by the early post-World War II period. Much of the neighborhood has been redeveloped in recent years (NETR, 2023).

Significance: 1011 North Ohio Avenue is associated with early-twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1011 North Ohio Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 1011 North Ohio Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 27, 2023

BASE FORM

Historic Sites #:

Property Name: 912 Stenton Place

Street Address: Street #: 912 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Stenton Suffix: N/A Type: PL

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 2

Local Place Name(s): N/A **Lot(s):** 4

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 912 Stenton Place is a two-story American Foursquare residence constructed in 1924 with a hipped roof covered in asphalt shingles, asbestos shingle siding, and a front porch.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

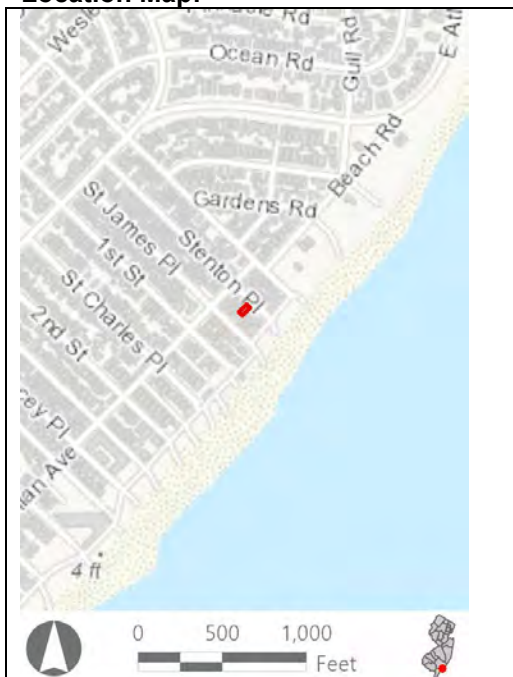


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	912 Stenton Place		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1924	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Medium
Style:	None		
Form:	Four Square	Stories:	2
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Asbestos Siding		

Exterior Description: The building at 912 Stenton Place is a two-story American Foursquare constructed in 1924 and located four houses from the beach. The house rests on a brick foundation, is clad in asbestos siding and is capped by a hip roof covered in asphalt shingles. The façade faces northeast and exhibits a full-width front porch with a hipped roof supported by square posts sheltering a central entrance flanked by windows. Fenestration consists of 6/1 windows, with paired windows on the side elevations.

Interior Description: N/A

Setting: The building at 912 Stenton Place is located in a densely populated beachside community in Ocean City, within the first block from the beach. The lots are long and narrow, and the residences are constructed close to each other. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 912 Stenton Place is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 912 Stenton Place is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 912 Stenton Place is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 826 North Street

Street Address: Street #: 826 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: North Suffix: N/A Type: ST

County(s): Cape May Zip Code: 08226

Municipality(s): Ocean City Block(s): 4

Local Place Name(s): N/A Lot(s): 11

Ownership: Private USGS Quad(s) Ocean City

Description: The building at 826 North Street is a two-story vernacular residence constructed in 1935 with a gable front roof covered in asphalt shingles, vinyl siding, and a front porch sheltering a central entrance.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

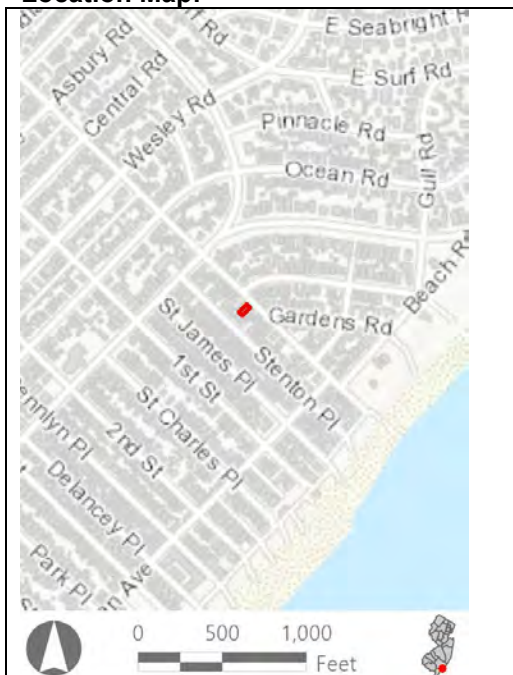


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>826 North Street</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1935</u>	Source:	<u>Njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Fair</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Gable Front</u>	Stories:	<u>2</u>
Type:	<u>N/A</u>	Bays:	<u>2</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Vinyl Siding</u>		

Exterior Description: The building at 826 North Street is a two-story vernacular residing constructed in 1935 and located in a dense residential neighborhood. The house is clad in vinyl siding and is capped by a front-gable roof covered in asphalt shingles. The façade faces northeast and exhibits a full-width front porch with a hipped roof supported by square posts sheltering a central entrance flanked by windows. Fenestration consists of 6/1 windows flanked by faux shutters. A concrete block chimney is located on the side elevation, and a metal louvered-vent is located within the front gable eave.

Interior Description: N/A

Setting: The building at 826 North Street is located in a densely populated beachside community in Ocean City, approximately 950 feet from the beach. The lots are long and narrow, and the residences are constructed close to each other. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. This building is located within this development. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. This development is just to the north of this building. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 826 North Street is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 826 North Street is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 826 North Street is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: Harris House Motor Inn

Street Address: Street #: 1200 1230 Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Boardwalk Suffix: N/A Type: N/A

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 1201

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Ocean City

Description: The Harris House Motor Inn is a two-story motel constructed circa 1970 with a pent roof, tan diagonal board siding, and a second-story balcony with parking underneath.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>Harris House Motor Inn</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Transient, nonfamily</u>		
Historic Use:	<u>Residential Activity, Transient, nonfamily</u>		
Construction Date:	<u>ca. 1970</u>	Source:	<u>Stylistic Evidence</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Medium</u>
Style:	<u>None</u>		
Form:	<u>Commercial</u>	Stories:	<u>2</u>
Type:	<u>N/A</u>	Bays:	<u>8</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Wood, Flush</u>		

Exterior Description: The Harris House Motor Inn is a two-story motel constructed circa 1970 and located within the first block from the beach. The motel is L-shaped and clad in diagonal board siding and is capped by a flat roof with a pent roof covered in asphalt shingles running the perimeter of the building. The lobby is located off of Ocean Avenue and consists of metal framed plate glass. The second story of the motel extends south from the lobby on raised piers providing a carport for arriving guests and sheltered parking. Individual rooms are delineated by a solid panel door and large metal-framed plate glass windows. A metal railing runs the perimeter of the second floor, and an inground pool is located within the courtyard.

Interior Description: N/A

Setting: The Harris House Motor Inn is located adjacent to the boardwalk in Ocean City in an area consisting of commercial buildings and other motels. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The Harris House Motor Inn is associated with mid-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, the Harris House Motor Inn is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, the Harris House Motor Inn is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 880 Park Place

Street Address: Street #: 880 882 Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Park Suffix: N/A Type: PL

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 303

Local Place Name(s): N/A **Lot(s):** 21

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building located at 880 Park Place is a two-story vernacular multi-family residence constructed in 1974 with a gable-front roof, vinyl siding, and a two-story inset front porch.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

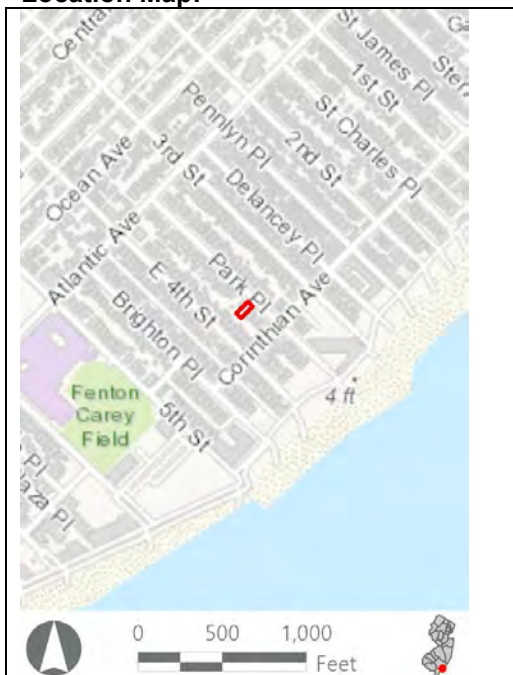


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	880 Park Place		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1974	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	Medium
Style:	None		
Form:	Gable Front	Stories:	2
Type:	N/A	Bays:	2
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 880 Park Place is a two-story vernacular multi-family residence constructed in 1974 and located two blocks from the beach. The house rests on a concrete foundation, is clad in vinyl siding and is capped by a front-gable roof covered in asphalt shingles. The façade faces northeast and exhibits a full-width, two-story inset front porch supported by Doric columns. The porches shelter two sliding-glass doors on each floor. Other fenestration consists of 1/1 windows. Vinyl scalloped siding is present in the front gable eave.

Interior Description: N/A

Setting: The building at 880 Park Place is located in a densely populated beachside community in Ocean City, within the second block from the beach. The lots are long and narrow, and the residences are constructed close to each other. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. This building is located within that area. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 880 Park Place is associated with mid-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 880 Park Place is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 880 Park Place is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: Franconia Apartments

Street Address: Street #: 1132 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Avenue Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 1102

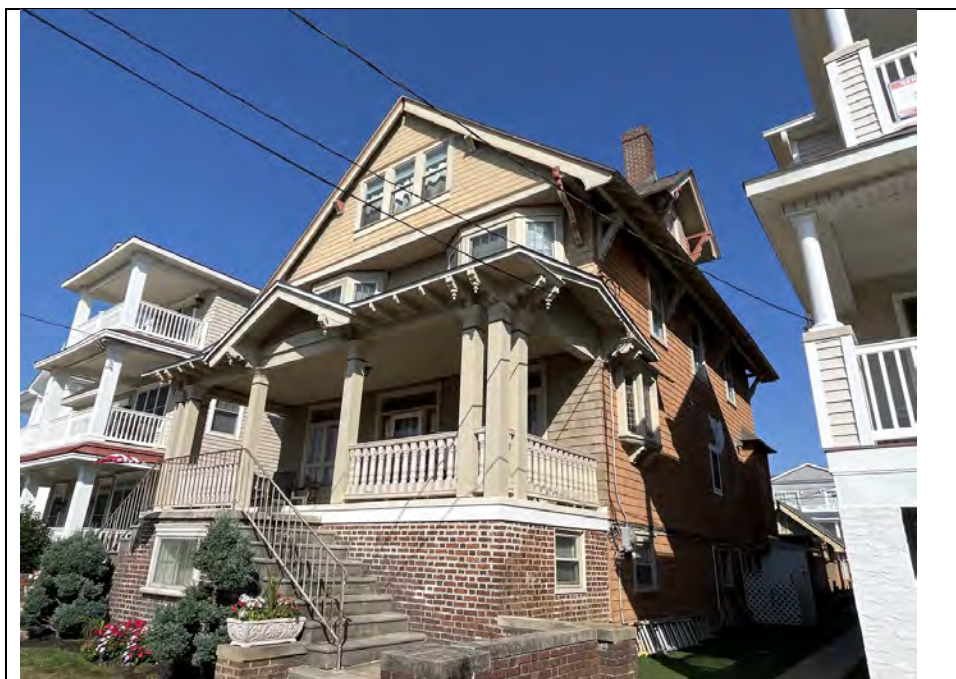
Local Place Name(s): N/A **Lot(s):** 23

Ownership: Private **USGS Quad(s)** Ocean City

Description: The Franconia Apartments is an elevated two-and-a-half-story Craftsman-style residence constructed in 1920 with a gable-front roof, wood shingle siding, gable roof dormers, eave brackets, oriel windows, and a front porch with square columns.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

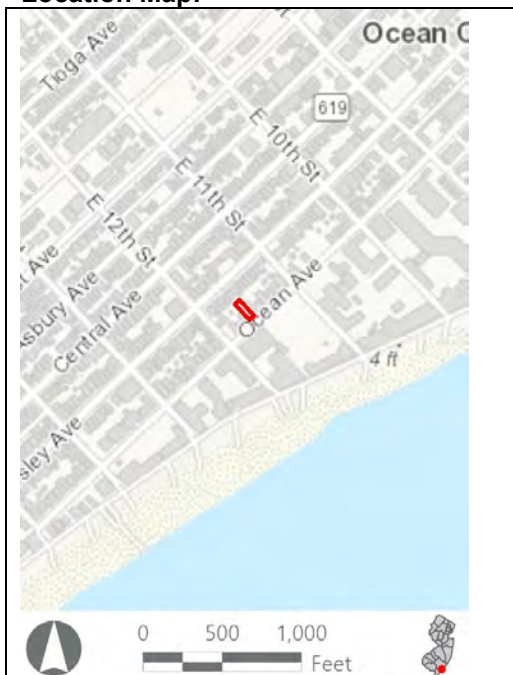


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>Franconia Apartments</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1920</u>	Source:	<u>www.njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Excellent</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>High</u>
Style:	<u>Craftsman</u>		
Form:	<u>Four Square</u>	Stories:	<u>3</u>
Type:	<u>N/A</u>	Bays:	<u>3</u>
Roof Finish Materials:	<u>Unknown</u>		
Exterior Finish Materials	<u>Wood, Shingles</u>		

Exterior Description: The Franconia Apartments is a two-and-a-half-story Craftsman residence constructed in 1920 and located a block from the beach. The building rests on a raised brick foundation, is clad in wood shingles and is capped by a front-gable roof covered in asphalt shingles. The roof features a front-gable dormer on both side elevations. The façade faces southeast towards Ocean Avenue and exhibits a full-width, shed-roof front porch with a gable-front pediment supported by decorative wood square posts and carved brackets. The porch is accessed by a set of paired concrete steps with metal railings and shelters a central entrance featuring a rectangular transom and side lights. The brick foundation of the porch does not appear to be original, and seems to now contain living space, featuring an eight-paned fixed window under the steps and two other windows on the sides. The central door is flanked by multi-paned French doors, also with rectangular transoms. The second story of the façade features two oriel windows with 12/1 windows, and the attic half-story features a ribbon window with 1/1 windows. Fenestration throughout the rest of the building appears to consist of 1/1 windows. The building features elaborately carved brackets within the eaves, and an interior brick chimney is located on the northeast side elevation.

Interior Description: N/A

Setting: The Franconia Apartments are located in a densely populated beachside community in Ocean City, a block from the beach. The building faces towards the beach and looks across Ocean Avenue towards motels and large-scale apartment buildings. The lot that the building is sited in is long and narrow, and the constructed close to adjacent buildings. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. This building is located within this area. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The Franconia Apartments is associated with early-twentieth-century development in Ocean City. The building appears to have undergone alterations when converted to apartments and is no longer architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

**National
Register Criteria:**

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, the Franconia Apartments is not known to be significant under Criterion A or B. The building has undergone alterations during conversion to apartments and no longer retains historic integrity or architectural significance; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, the Franconia Apartments is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 830 North Street

Street Address: Street #: 830 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: North Suffix: N/A Type: ST

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 4

Local Place Name(s): N/A **Lot(s):** 13

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 830 North Street is a two-story house with jerkin head roof gable, shingle siding, Palladian window, and front porch with purlins and rafter tails and tapered columns.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

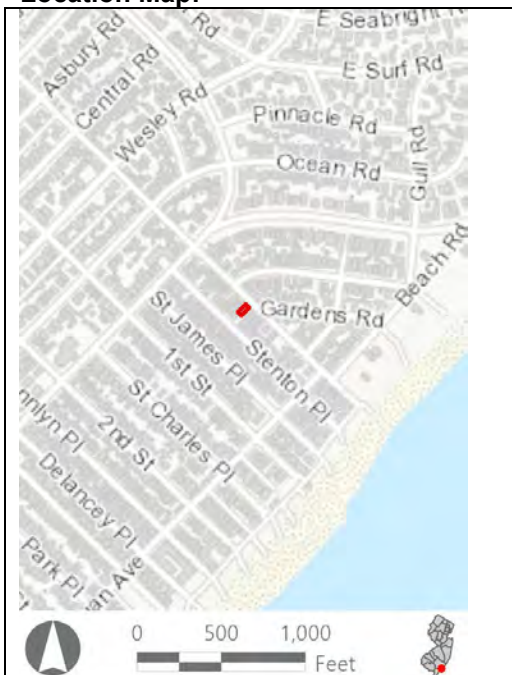


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

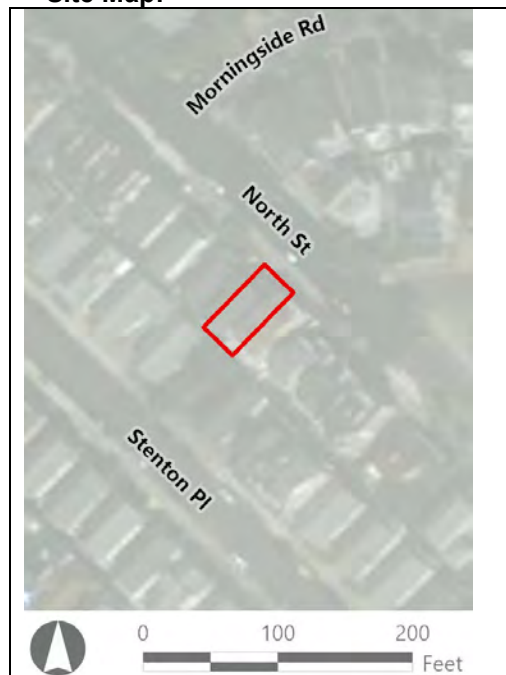
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).
Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	830 North Street		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1928	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Gable Front	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Wood, Shingles		

Exterior Description: The building at 830 North Street is a two-story vernacular residence constructed in 1928 and located approximately 900 feet from the beach. The house rests on a brick foundation, is clad in wood shingle siding and is capped by a gable-front roof covered in asphalt shingles. The façade faces northeast and exhibits a full-width front porch with a hipped roof supported by tapered columns sheltering a central entrance flanked by windows. The second story features a central Palladian window. Fenestration consists of 6/1 windows. The house also exhibits purlins and rafter tails within the porch and roof eaves.

Interior Description: N/A

Setting: The building at 830 North Street is located in a densely populated beachside community in Ocean City, three blocks from the beach. The lots are long and narrow, and the residences are constructed close to each other. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. This building is located within this area. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. This building is facing that development. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 830 North Street is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 830 North Street is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 830 North Street is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: Andrew's

Street Address: Street #: 1320 1324 Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Suffix: N/A Type: AVE

County(s): Cape May Zip Code: 08226

Municipality(s): Ocean City Block(s): 1302

Local Place Name(s): N/A Lot(s): 14

Ownership: Private USGS Quad(s) Ocean City

Description: Andrew's is a two-story condominium divided between two rectangular buildings that face an inner parking court and are connected by a sky bridge. The roofs are flat with shingle wall siding and a stone veneer base.

Registration and Status Dates:

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

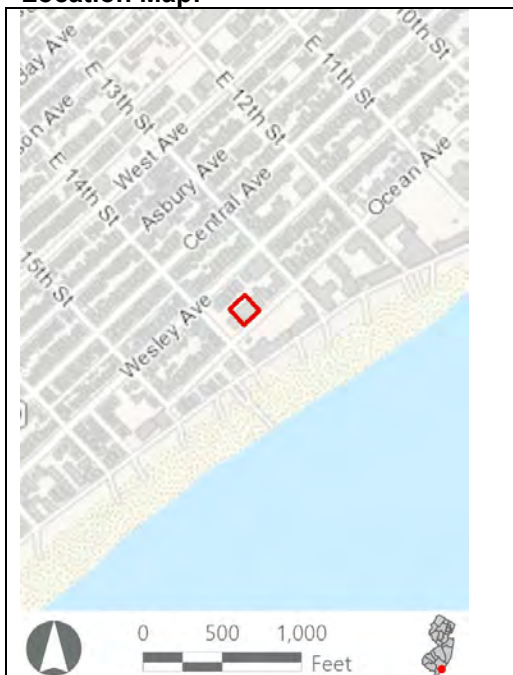
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).
Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	Andrew's		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1965	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Apartment	Stories:	2
Type:	N/A	Bays:	Unknown
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Wood, Shingles		

Exterior Description: Andrew's is a two-story vernacular condominium constructed in 1965 and located a block from the beach. The building is clad in modern wood shingle siding, is capped by a flat roof, and has modern stone applied to the foundation. Fronting Ocean Avenue, the building consists of two main blocks connected by a sky bridge. The courtyard between the buildings is paved and the raised foundation provides parking space underneath the units. Metal railings run along the exterior stairs, balcony, and sky bridge. Fenestration consists of sliding windows.

Interior Description: N/A

Setting: Andrew's is located in a commercial area one block from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: Andrew's is associated with mid-twentieth-century commercial development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, Andrew's is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, Andrew's is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 850 Stenton Place

Street Address: Street #: 850 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Stenton Suffix: N/A Type: PL

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 5

Local Place Name(s): N/A **Lot(s):** 24

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 850 Stenton Place is a two-story cross-gable roof house that is half of a duplex. The building is clad in stucco, and features a front porch with a balcony and gabled projection above. Large awnings obscure much of the façade.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	850 Stenton Place		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1921	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Duplex	Stories:	2
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Stucco		

Exterior Description: The building at 850 Stenton Place is a two-story vernacular residence that is half of a duplex constructed in 1921 and located one block from the beach. The residence is clad in stucco and is capped by a cross-gable roof covered in asphalt shingles. The façade faces northeast and exhibits a front porch with a balcony above. The balcony features a centered door with sidelights and a vinyl railing. Fenestration consists of 1/1 vinyl windows. The side elevation features a one-bay, one-story garage toward the rear of the house. Awnings obscure most of the residence.

Interior Description: N/A

Setting: The building at 850 Stenton Place is located in a densely populated beachside community in Ocean City, within the first block from the beach. The lots are long and narrow, and the residences are constructed close to each other. This building appears to encompass two of the original lots, and is wider than most of the residences in the area. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 850 Stenton Place is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 850 Stenton Place is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 850 Stenton Place is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 848 Stenton Place

Street Address: Street #: 848 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Stenton Suffix: N/A Type: PL

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 5

Local Place Name(s): N/A **Lot(s):** 23

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 848 Stenton Place is a two-story cross-gable house that is half of a duplex. The building is clad in stucco, has a porch with a balcony that has been enclosed, and a gabled projection above. Large awnings obscure much of the façade.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

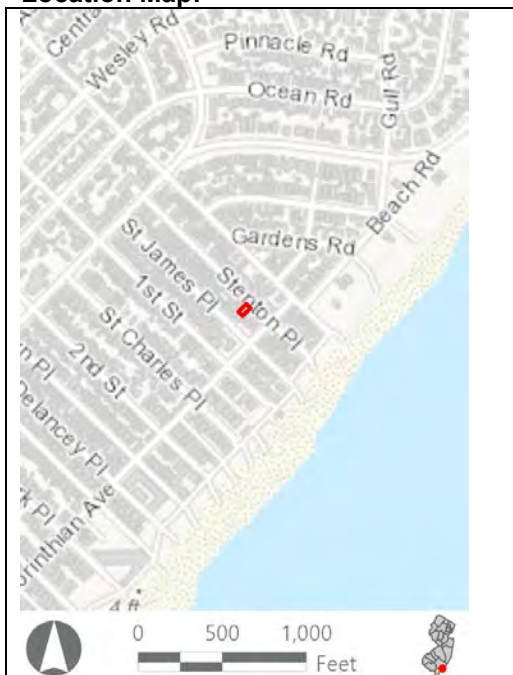


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

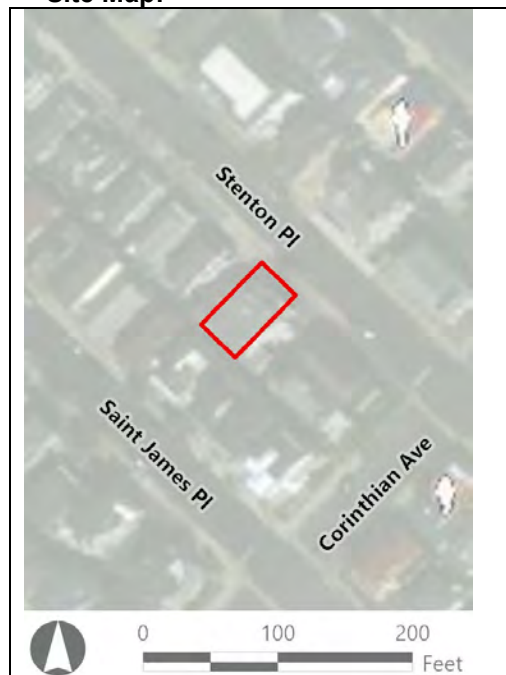
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	848 Stenton Place		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1921	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Duplex	Stories:	2
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Stucco		

Exterior Description: The building at 848 Stenton Place is a two-story vernacular residence that is half of a duplex. The building was constructed in 1921 and is located one block from the beach. The residence is clad in stucco and is capped by a cross-gable roof covered in asphalt shingles. The façade faces northeast and exhibits a front porch with a balcony that has been enclosed and converted into living space. Fenestration consists of 1/1 vinyl windows with paired windows on the side elevation. The side elevation features a one-bay garage toward the rear of the house which has a second-story living space added above.

Interior Description: N/A

Setting: The building at 848 Stenton Place is located in a densely populated beachside community in Ocean City, within the first block from the beach. The lots are long and narrow, and the residences are constructed close to each other. This building appears to encompass two of the original lots and is wider than most of the residences in the area. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: N/A

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 848 Stenton Place is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 848 Stenton Place is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: The Gardens Plaza

Street Address: Street #: 322 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Boardwalk Suffix: N/A Type: _____

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 300

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Ocean City

Description: The Gardens Plaza is a large, thirteen-floor condominium with tan pebble stucco siding and balconies for every room. It is a beachfront property, located adjacent to the boardwalk.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETOnline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>The Gardens Plaza</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1973</u>	Source:	<u>www.njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>High</u>
Style:	<u>None</u>		
Form:	<u>Apartment</u>	Stories:	<u>13</u>
Type:	<u>N/A</u>	Bays:	<u>19</u>
Roof Finish Materials:	<u>Unknown</u>		
Exterior Finish Materials	<u>Stucco</u>		

Exterior Description: The Gardens Plaza is a thirteen-story condominium constructed in 1973 and located adjacent to the boardwalk overlooking the ocean. The building is clad in stucco and is capped by a flat roof. The façade faces south towards the ocean and exhibits cantilevered balconies with vinyl railings for each unit flanked by vinyl hopper windows. The ground floor of the building features inset bays for parking.

Interior Description: N/A

Setting: The Gardens Plaza is located adjacent to the boardwalk with direct beach access. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The Gardens Plaza is associated with mid-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, the Gardens Plaza is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, the Gardens Plaza is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 1304-08 Ocean Avenue

Street Address: Street #: 1304 1308 Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 1302

Local Place Name(s): N/A **Lot(s):** 11

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 1304-08 Ocean Avenue is a two-story, yellow-brick Spanish Colonial Revival house with a hip-on-hip roof, and complex massing.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

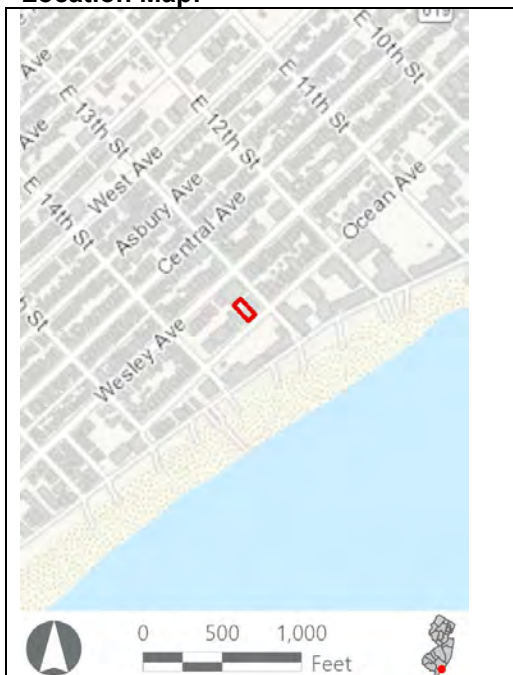
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>1304-08 Ocean Avenue</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1957</u>	Source:	<u>www.njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Medium</u>
Style:	<u>Spanish Colonial Revival</u>		
Form:	<u>Irregular</u>	Stories:	<u>2</u>
Type:	<u>N/A</u>	Bays:	<u>2</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Brick, Running Bond</u>		

Exterior Description: The building at 1304-08 Ocean Avenue is a two-story Spanish Colonial Revival house constructed in 1957 and located a block from the beach. The house is clad in stucco and is capped by a hip-on-hip roof covered in asphalt shingles. The façade faces southeast towards Ocean Avenue and the beach and exhibits a front porch topped by a balcony in the westernmost bay, a projecting bay in the center, and a secondary entrance with a broken pediment surround in the easternmost bay under a shed roof. A circular window is located under the secondary entrance, a picture window flanked by 1/1 windows is located on the central projection, and the porch and balcony feature a single 1/1 window. Fenestration throughout consists of 1/1 vinyl windows, with some paired windows on the side elevations.

Interior Description: N/A

Setting: The building at 1304-08 Ocean Avenue is located in a commercial beachside community geared towards the tourist industry, a block from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 1304-08 Ocean Avenue is associated with mid-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1304-08 Ocean Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 1304-08 Ocean Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 908 Park Place

Street Address: Street #: 908 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Park Suffix: N/A Type: PL

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 301

Local Place Name(s): N/A **Lot(s):** 3

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 908 Park Place is a two-story cross-gable house with two-story porch supported by square columns that underwent extensive remodeling ca. 2010.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

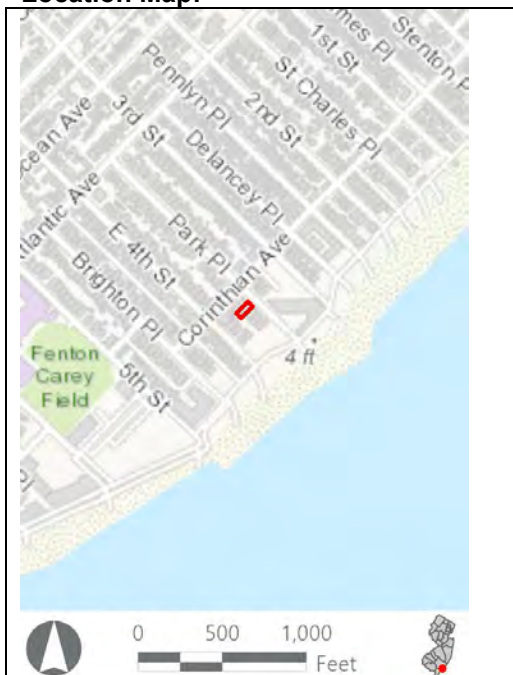


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

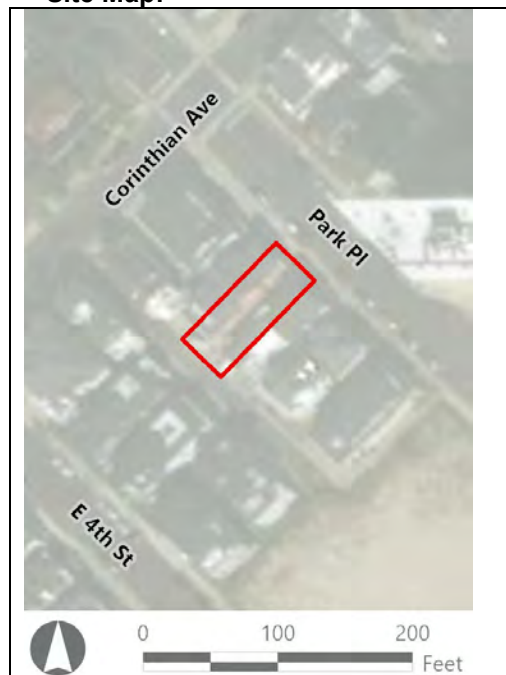
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	908 Park Place		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1928	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Wood, Flush		

Exterior Description: The building at 908 Park Place is a two-story cross-gable house constructed in 1928 and extensively remodeled in 2010. The house is located four houses from the beach, rests on a raised foundation, is clad in wood siding and the roof is covered in asphalt shingles. The façade faces northeast and exhibits a two-story, full-width front porch capped by a hipped roof supported by square posts. The front facing gable extends above the hip roof of the porch. This house was extensively remodeled ca. 2010, when it appears the house was raised, the porches renovated, and the rooflines altered.

Interior Description: N/A

Setting: The building at 908 Park Place is located in a densely populated beachside community in Ocean City, four houses from the beach and across the street from a high-rise condominium. The residential lots are long and narrow, and the residences are constructed close to each other. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 908 Park Place is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 908 Park Place is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 908 Park Place is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 852 Stenton Place

Street Address: Street #: 852 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Stenton Suffix: N/A Type: PL

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 5

Local Place Name(s): N/A **Lot(s):** 25

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 852 Stenton Place is a two-story side-gable Colonial Revival residence with an off-center entry, projecting window bay, and one-story side projection with a balcony.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

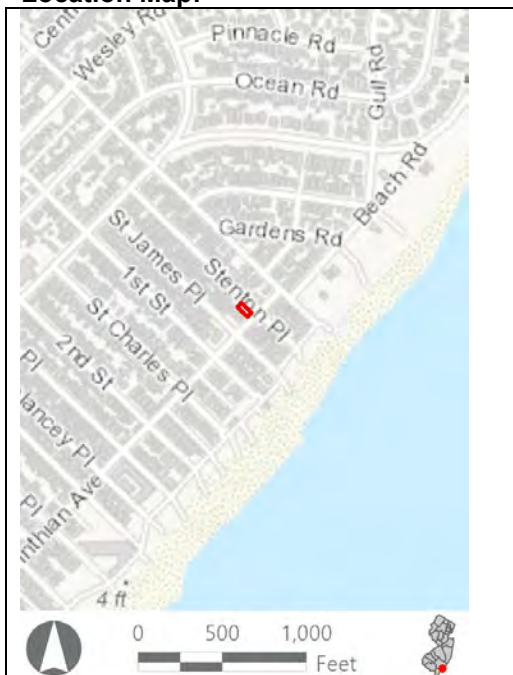


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETOnline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	852 Stenton Place		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1926	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Medium
Style:	Colonial Revival		
Form:	Other	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 852 Stenton Place is a two-story Colonial Revival residence constructed in 1926 a block from the beach. The house rests on a brick foundation, is clad in vinyl siding, and is capped by a side-gable roof covered in asphalt shingles. The façade faces northeast and exhibits an off-center entrance capped by a pedimented-hood, and a projecting window bay featuring triple window. The side elevation facing the ocean has an enclosed projecting bay with ribbon windows and a balcony above. Fenestration consists of 6/1 vinyl windows, with paired windows on the second story of the façade. .

Interior Description: N/A

Setting: The building at 852 Stenton Place is located in a densely populated beachside community in Ocean City, within the first block from the beach. The lots are narrow, and the residences are constructed close to each other. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 852 Stenton Place is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 852 Stenton Place is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 852 Stenton Place is recommended Not Eligible for inclusion in the NRHP..

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: Days Inn/Ocean 7 (current name)

Street Address: Street #: 870 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: 7th Suffix: N/A Type: ST

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 701

Local Place Name(s): N/A **Lot(s):** 15

Ownership: Private **USGS Quad(s)** Ocean City

Description: The Days Inn/Ocean 7 is a four-story L-shaped motel with off-white stucco and stone siding, balconies for each unit, and blue stylized railings.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

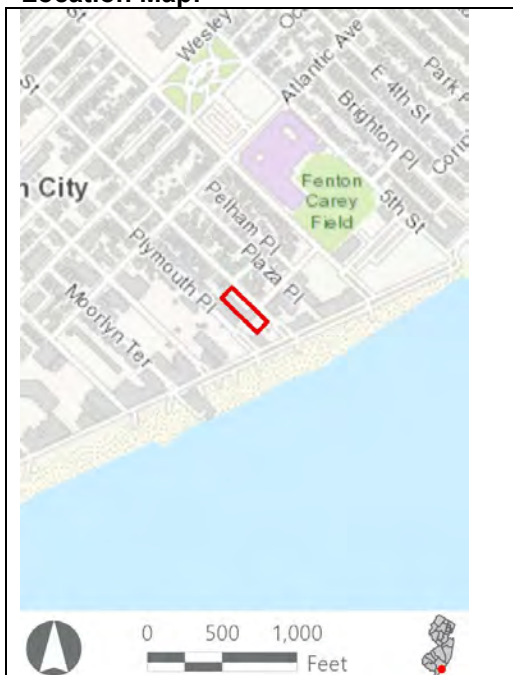


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>Ocean 7</u>		
Historic Name:	<u>Days Inn</u>		
Present Use:	<u>Residential Activity, Transient nonfamily</u>		
Historic Use:	<u>Residential Activity, Transient nonfamily</u>		
Construction Date:	<u>1972</u>	Source:	<u>www.njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Medium</u>
Style:	<u>None</u>		
Form:	<u>Commercial</u>	Stories:	<u>4</u>
Type:	<u>N/A</u>	Bays:	<u>9</u>
Roof Finish Materials:	<u>Unknown</u>		
Exterior Finish Materials	<u>Stone, Ashlar</u>		

Exterior Description: The Days Inn/Ocean 7 is a four-story L-shaped hotel constructed in 1972 and located within the first block from the beach. The building is clad in stucco and stone, is capped by a flat roof, and exhibits a decorative tile façade with wave and circular motifs above the lobby. The lobby is inset with hotel units above supported by stone-clad columns, creating a car port for arriving guests. Decorative metal railings, with circular cut-out motifs run along the upper floors and stairwells. Fenestration consists of fixed and sliding windows.

Interior Description: N/A

Setting: The Days Inn/Ocean 7 is located in a beachside commercial area adjacent to the boardwalk within the first block from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The Days Inn/Ocean 7 is associated with mid-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, the Days Inn/Ocean 7 is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, the Days Inn/Ocean 7 is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 16th Street at Boardwalk

Street Address: Street #: 1600 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Boardwalk Suffix: N/A Type: N/A

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 1601

Local Place Name(s): N/A **Lot(s):** 15

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 1600 Boardwalk is a two-story building with orange stucco siding with off-white quoins, and a steep, Mansard roof. The elevation facing the boardwalk has a white patio and balcony.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

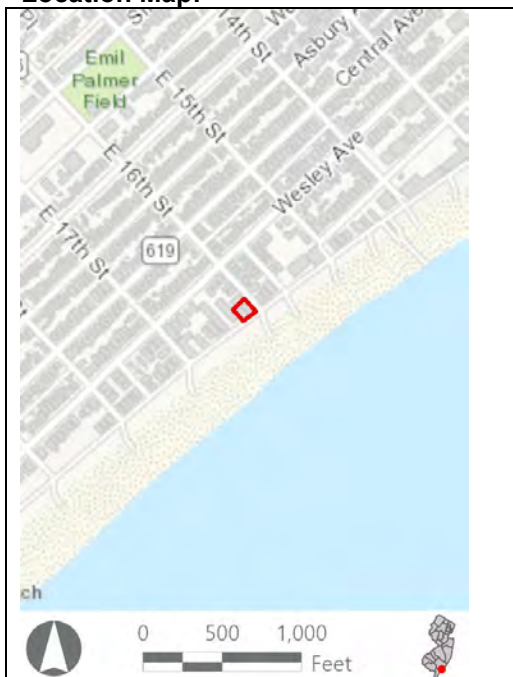


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C.

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	16 th Street at Boardwalk		
Historic Name:	N/A		
Present Use:	Residential Activity, permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1958	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	5
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Stucco		

Exterior Description: The building at 1600 Boardwalk is a two-story vernacular residence constructed in 1958 and located on the beach, adjacent to the boardwalk. The house is clad in stucco with applied quoins at the corners and is capped by a mansard-style roof covered in composite shingles. The façade faces the beach and features a porch with a balcony above supported by Doric columns. Vinyl railings run along the porch and balcony, as well as the stairways leading from both. The balcony features a pergola, and a decorative gable with a circle motif is centered on the façade. Fenestration consists of fixed and 1/1 metal-sash windows, with numerous entrances consisting of sliding glass doors. A garage is located to the rear of the house that exhibits the same characteristics as the house.

Interior Description: N/A

Setting: The building at 1600 Boardwalk is located adjacent to the boardwalk with direct beach/boardwalk access. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023). Residential area, direct boardwalk/beach access.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 1600 Boardwalk is associated with mid-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1600 Boardwalk is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 1600 Boardwalk is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 872 North Street

Street Address: Street #: 872 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: North Suffix: N/A Type: ST

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 4

Local Place Name(s): N/A **Lot(s):** 23

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 872 North Street is a three-story gable front house with vinyl siding, two-story porch on the main façade, and balconies on the second and third stories. The house appears to have been extensively altered.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

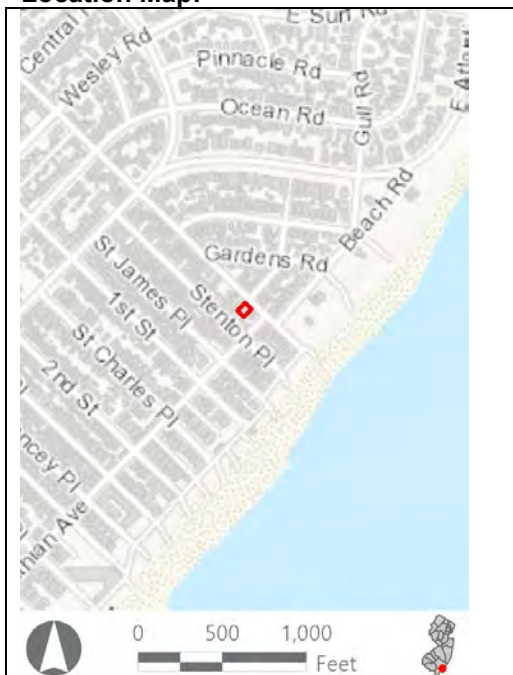


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	872 North Street		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1948	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Gable Front	Stories:	3
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 872 North Street is a three-story vernacular residence constructed in 1948 and located in the second block from the beach. The house is clad in vinyl siding and is capped by a gable-front roof covered in asphalt shingles and appears to have been extensively altered. The façade faces northeast and exhibits a projecting two-story, gable-front bay adjacent to a two-story porch, topped by a third-story balcony. A second-story balcony extending from the second-story porch has recently been added to the house. An inset porch under a third-floor shed-roof extension is located on the side elevation facing the ocean. This elevation also features a set of stairs leading to a second-floor side entrance. full-width front porch with a hipped roof supported by square posts sheltering a central entrance flanked by windows. Fenestration primarily consists of 1/1 vinyl replacement windows.

Interior Description: N/A

Setting: The building at 872 North Street is located in a densely populated beachside community in Ocean City, within the first block from the beach. The lots are long and narrow, and the residences are constructed close to each other. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 872 North Street is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 872 North Street is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 872 North Street is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BASE FORM

Historic Sites #:

Property Name: 1122 Ocean Avenue

Street Address: Street #: 1122 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 1102

Local Place Name(s): N/A **Lot(s):** 22

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 1122 Ocean Avenue, is an elevated two-story cross-gable house with two-story porch and gabled overhang.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

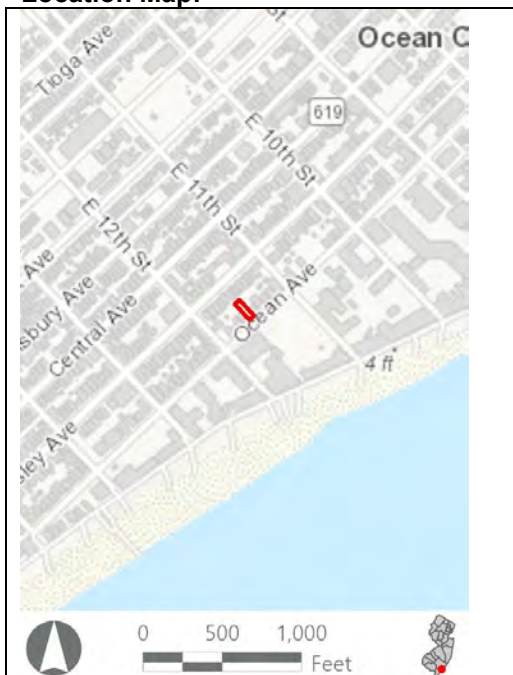
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).
Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	112 Ocean Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1902	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	3
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 1122 Ocean Avenue is a two-story vernacular residence constructed in 1902 and located a block from the beach. The house rests on a raised foundation, is clad in vinyl siding and is capped by a cross-gable roof covered in asphalt shingles. The façade faces southeast and exhibits a full-width front porch on the first floor, and a slightly smaller second-story porch under a front-gable extension that features scalloped vinyl siding and a fixed four-pane window. The porch roofs are supported by Doric columns resting on vinyl-sided bases, and vinyl railings run the perimeter. A set of paired steps access the first-floor porch and also exhibit vinyl railings. The house appears to have recently been renovated. The second story features multi-paned sliding glass doors flanked by 6/6 vinyl windows. Fenestration on the side elevations also feature 6/6 vinyl windows. .

Interior Description: N/A

Setting: The building at 1122 Ocean Avenue is located in a beachside community in Ocean City consisting mostly of commercial buildings catering to the tourist industry, within the first block from the beach. The lots are long and narrow, and the residences are constructed close to each other. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 1122 Ocean Avenue is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1122 Ocean Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 1122 Ocean Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 921 5th to Boardwalk

Street Address: Street #: 925 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: 5th Suffix: N/A Type: ST

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 401

Local Place Name(s): N/A **Lot(s):** 7

Ownership: Private **USGS Quad(s)** Ocean City

Description: 921 5th to Boardwalk is a two-story condominium/apartment building with complex massing, blue/gray vinyl siding, and balconies for every unit.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:



Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).
Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	921 5 th to Boardwalk		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1979	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Other		
Form:	Apartment	Stories:	2
Type:	N/A	Bays:	N/A
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: 921 5th to Boardwalk is a two-story, raised, Shed-style condominium/apartment building constructed in 1979 and located adjacent to the boardwalk. The irregular-shaped building is clad stucco and is capped by shed roofs in complex arrangements that are covered in asphalt shingles. Fenestration consists of single-pane vinyl windows in single, triple, and quadruple arrangements. Each unit appears to have its own balcony exhibiting sliding-glass doors with transoms and vinyl railings

Interior Description: N/A

Setting: 921 5th to Boardwalk is located adjacent to the boardwalk with direct access to the beach in a densely populated beachside community consisting of both residential and commercial buildings in Ocean City. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: 921 5th to Boardwalk is associated with mid-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 921 5th to Boardwalk is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 921 5th to Boardwalk is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 608 Chelsea Place

Street Address: Street #: 608 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Chelsea Suffix: N/A Type: PL

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 1501.01

Local Place Name(s): N/A **Lot(s):** 4

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 608 Chelsea Place is an elevated Craftsman-style bungalow with a hip roof, hip-roof dormer, and front porch with overhang and a carport underneath.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

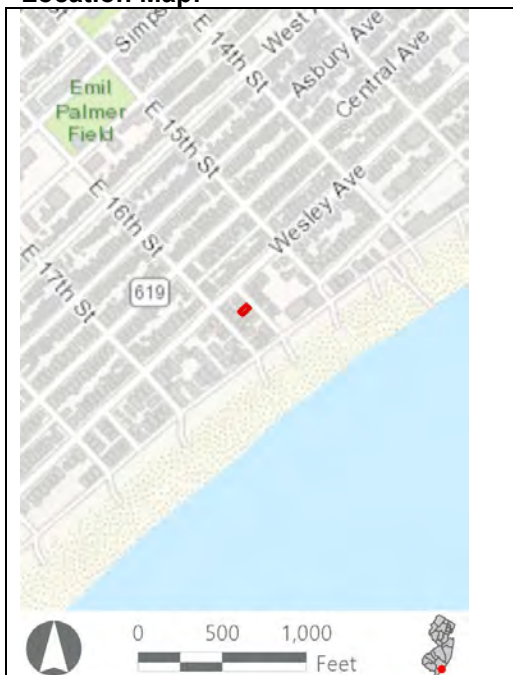


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).
Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	608 Chelsea Place		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	ca. 1925	Source:	Stylistic evidence
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Craftsman		
Form:	Bungalow	Stories:	1.5
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Wood, Shingles		

Exterior Description: The building at 608 Chelsea Place is a one-and-a-half-story Craftsman-style bungalow constructed circa 1925 and located within the first block from the beach. The house rests on a raised foundation, clad in stone, that does not appear to be original. A one-bay carport and garage is located within this raised foundation. The building is clad in wood shingle siding and is capped by a hip roof covered in asphalt shingles. The roof features wide overhanging eaves. The façade faces northeast and exhibits a full-width front porch created by the overhanging hip roof that is supported by slender square columns. A set of stairs from the ground level leads to the front porch. These elements do not appear original to the house. A hip-roof dormer is located above the porch. The porch shelters a central entrance flanked by windows with decorative wood surrounds. Fenestration consists of 1/1 vinyl-sash replacement windows.

Interior Description: N/A

Setting: The building at 608 Chelsea Place is located in a densely populated beachside community in Ocean City, within the first block from the beach. The lots are long and narrow, and the residences are constructed close to each other. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 608 Chelsea Place is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 608 Chelsea Place is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 608 Chelsea Place is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 904 North Street

Street Address: Street #: 904 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: North Suffix: N/A Type: ST

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 1

Local Place Name(s): N/A **Lot(s):** 3

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 904 North Street is a one-and-a-half-story gable front Colonial Revival residence with shed roof dormers, chimney stack on the façade, and front porch with brick supports and a rooftop balcony. Awnings obscure much of the façade.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

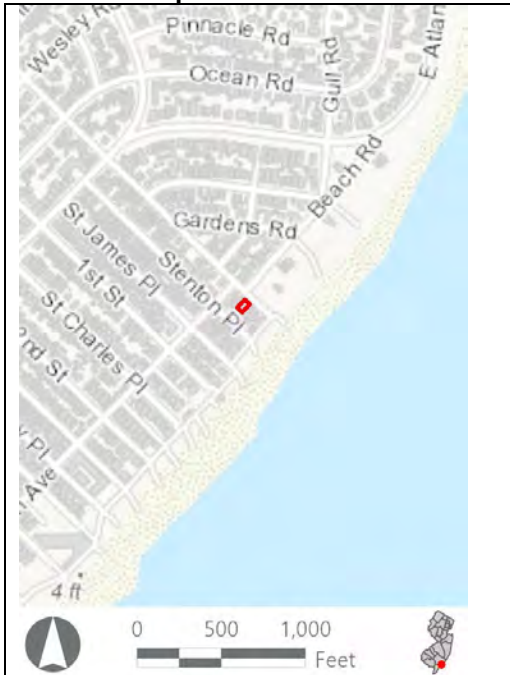


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETOnline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022)

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	904 North Street		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1920	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Medium
Style:	Colonial Revival		
Form:	Gable Front	Stories:	1.5
Type:	N/A	Bays:	2
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 904 North Street is a one-and-a-half-story Colonial Revival residence constructed in 1920 and located four houses from the beach. The house rests on a brick foundation, is clad in vinyl siding and is capped by a front-gable roof covered in asphalt shingles. The façade faces northeast and exhibits a full-width front porch with a hipped roof topped by a balcony and supported by brick columns. The porch and balcony feature a vinyl railing and large awnings that obscure most of the façade. An exterior chimney, clad in stucco, is located within the center of the façade. Two lunette windows flank the chimney in the gable-front eave. Fenestration consists of 1/1 vinyl replacement windows, and paired windows on the side elevations. The southwest elevation features a small one-bay garage towards the rear of the house and a set of steps lead to a secondary entrance.

Interior Description: N/A

Setting: The building at 904 North Street is located in a densely populated beachside community in Ocean City, within the first block from the beach. The lots are long and narrow, and the residences are constructed close to each other. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 904 North Street is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 904 North Street is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 904 North Street is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 900-924 Pennlyn Place

Street Address: Street #: 900 924 Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Pennlyn Suffix: N/A Type: PL

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 201

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 900-24 Pennlyn Place is a large, three-story condominium/apartment building with gray/blue shingle siding, flat and shed roofs, and balconies for every unit. Wall massing is complex with projecting and recessed bays with shingle siding on all wall surfaces. The building takes up the entire block.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

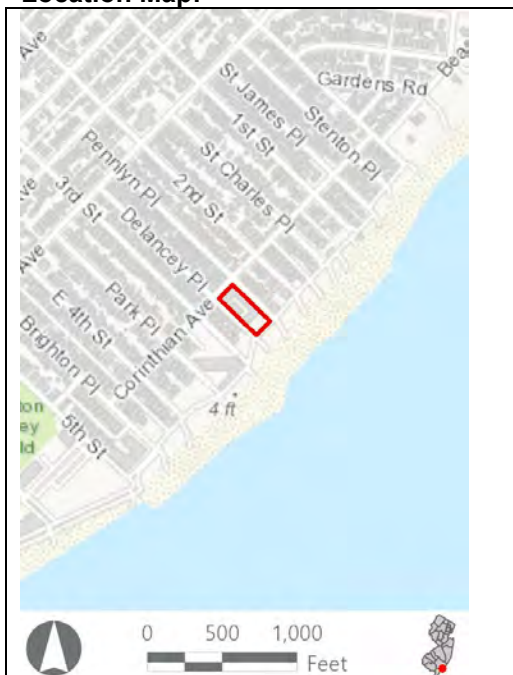


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETOnline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	900-924 Pennlyn Place		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1982	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Medium
Style:	None		
Form:	Apartment	Stories:	3
Type:	N/A	Bays:	11
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Wood, Shingle		

Exterior Description: The building at 900-924 Pennlyn Place is a three-story apartment/condominium constructed in 1982 and located in the first block from the beach, adjacent to the boardwalk. The building is clad in wood shingle siding is capped by a flat roof, with shed roofs covered in asphalt shingles above the units along the side elevations. The building has balconies for all units featuring wood shingle siding and metal railings. Fenestration consists of fixed windows and sliding glass doors.

Interior Description: N/A

Setting: The building at 900-924 Pennlyn Place is located in a densely populated beachside community in Ocean City, within the first block from the beach. The building has direct access to the boardwalk and beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 900-924 Pennlyn Place is associated with late-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 900-924 Pennlyn Place is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 900-924 Pennlyn Place is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 906 North Street

Street Address: Street #: 906 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: North Suffix: N/A Type: ST

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 1

Local Place Name(s): N/A **Lot(s):** 4

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 906 North Street is a two-story hipped roof house with shingle siding and a front porch with brick supports and rooftop balcony.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETOnline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	906 North Street		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1920	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Four Square	Stories:	2
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Wood, Shingle		

Exterior Description: The building at 906 North Street is a two-story vernacular residence constructed in 1920 and located two houses from the beach. The house rests on a brick foundation, is clad in wood shingle siding and is capped by a hip roof covered in asphalt shingles. The façade faces northeast and exhibits a full-width front porch with a hipped roof supported by brick posts and topped by a balcony. Vinyl railings are located on the porch and balcony. The porch shelters a central double-door entrance flanked by 1/1 windows. The second floor features two doors exiting onto the balcony and each door is flanked by a 1/1 window. Fenestration on the side elevations consists of 1/1 windows. A small, one-bay garage is appended to the southeast elevation, near the rear of the house. This house has undergone recent renovations and features new wood shingle siding, porch elements, roofing materials and replacement windows.

Interior Description: N/A

Setting: The building at 906 North Street is located in a densely populated beachside community in Ocean City, two houses from the beach. The lots are long and narrow, and the residences are constructed close to each other. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 906 North Street is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 906 North Street is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 906 North Street is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 330 Corinthian Avenue

Street Address: Street #: 330 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Corinthian Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 303

Local Place Name(s): N/A **Lot(s):** 24

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 330 Corinthian Avenue is an elevated two-and-a-half-story foursquare with a hipped roof, dormers, vinyl siding, and wraparound porch with square columns supported underneath by brick piers.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

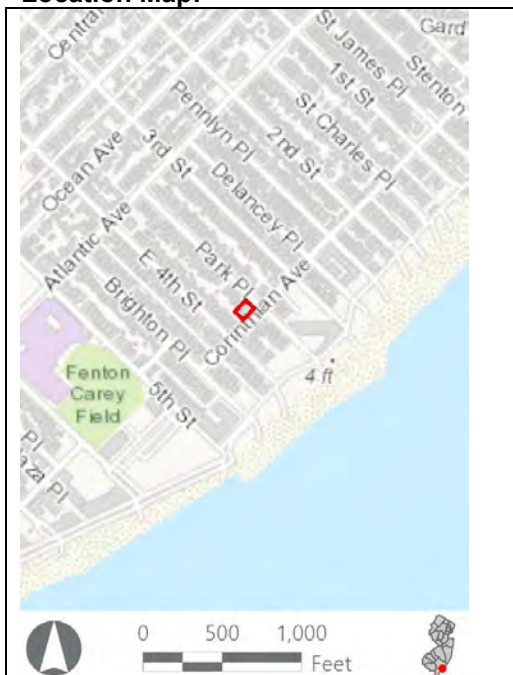
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

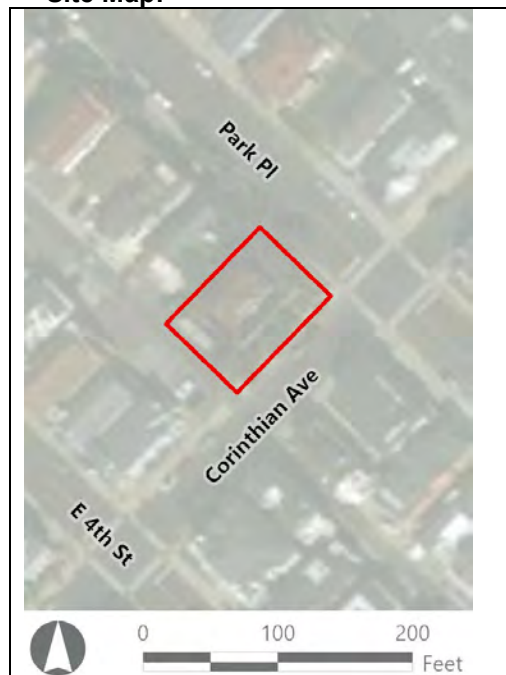
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETOnline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	330 Corinthian Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1920	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Medium
Style:	None		
Form:	Four Square	Stories:	2.5
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 330 Corinthian Avenue is a two-and-a-half-story vernacular residence constructed in 1920 and located a block from the beach. The house rests on a raised brick foundation, is clad in vinyl siding and is capped by a hip roof covered in asphalt shingles. The roof features hip-roof dormers on the north, south, and east elevations. The façade faces Corinthian Avenue and exhibits a wrap-around front porch with a hipped roof supported by battered columns resting on brick posts. The foundation has been raised and features living space in the basement level. The house features numerous bay windows on both the first and second stories. The dormer facing Corinthian Avenue has a jerkinhead roof and features a Palladian window. Fenestration consists of 1/1 replacement windows, and French doors sheltered by the wrap-around porch.

Interior Description: N/A

Setting: The building at 330 Corinthian Street is located in a densely populated beachside community in Ocean City, one block from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 330 Corinthian Street is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 330 Corinthian Street is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 330 Corinthian Street is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: Seaview Beach

Street Address: Street #: 1619 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Wesley Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 1601

Local Place Name(s): N/A **Lot(s):** 6

Ownership: Private **USGS Quad(s)** Ocean City

Description: Seaview Beach is a large, two-story condominium/apartment building with complex massing, a raised brick foundation, blue shingle second story, and white vertical board third story. Each unit has a projecting balcony.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

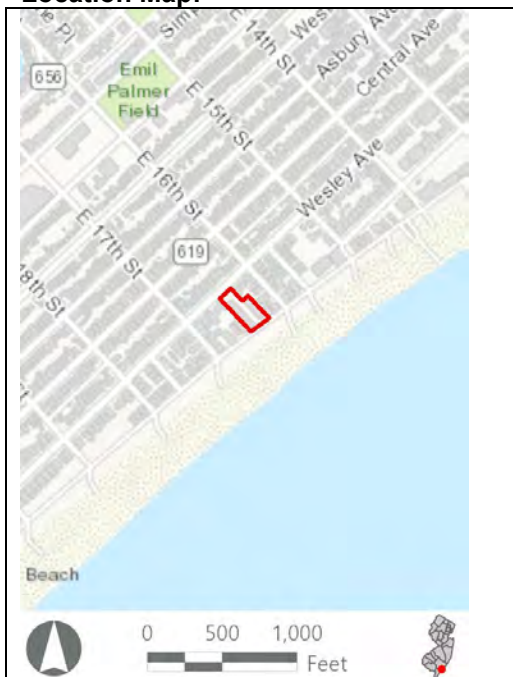


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>Seaview Beach</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1981</u>	Source:	<u>Njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Medium</u>
Style:	<u>None</u>		
Form:	<u>Apartment</u>	Stories:	<u>2</u>
Type:	<u>N/A</u>	Bays:	<u>N/A</u>
Roof Finish Materials:	<u>Unknown</u>		
Exterior Finish Materials	<u>Vinyl Siding</u>		

Exterior Description: Seaview Beach is a two-story apartment/condominium building constructed in 1981 and located adjacent to the boardwalk overlooking the beach. The building rests on a raised brick foundation that features a one-bay garage and entrance for each unit. The building is clad in wood shingles on the first story, vertical vinyl siding on the second story, and is capped by a flat roof with a shed roof covered in asphalt shingles over the units facing Wesley Avenue. It appears that each unit has a balcony with vinyl railings. Fenestration consists of vinyl 1/1 and fixed windows, and vinyl sliding glass doors providing access to the balconies. The siding on this building was recently added.

Interior Description: N/A

Setting: Seaview Beach is located in a densely populated beachside community in Ocean City, adjacent to the boardwalk with direct beach access. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: Seaview Beach is associated with late-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, Seaview Beach is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, Seaview Beach is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BASE FORM

Historic Sites #:

Property Name: 507 Seacliff Road

Street Address: Street #: 507 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Seacliff Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.53

Local Place Name(s): N/A **Lot(s):** 12

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 507 Seacliff Road is a hipped-roof Ranch residence with clapboard siding, a roof projection that forms an entry porch with cast-iron supports, and a two-door garage.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

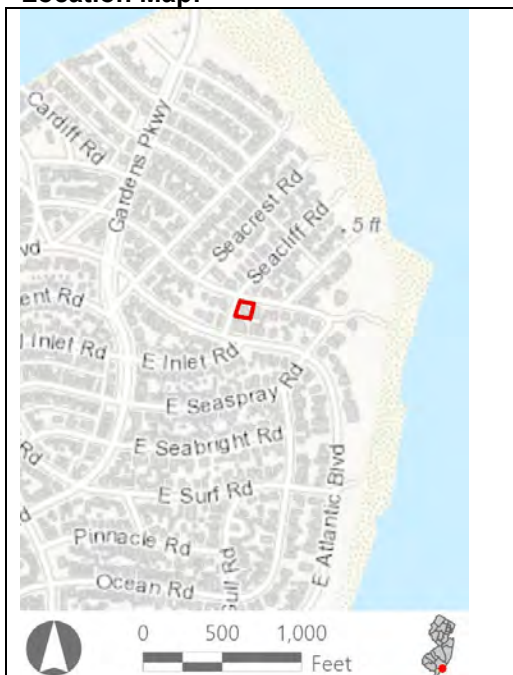
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	507 Seacliff Road		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1954	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Medium
Style:	None		
Form:	Ranch	Stories:	1
Type:	N/A	Bays:	6
Roof Finish Materials:	Shingle		
Exterior Finish Materials	Wood, Clapboard		

Exterior Description: The building at 507 Seacliff Road is a one-story Ranch-style residence constructed in 1954 and located in the second block from the beach. The house is clad in wood clapboard siding and is capped by a hip roof covered in asphalt shingles. The façade faces west towards Seacliff Road and exhibits a hip-roof extension creating a front porch supported by wrought iron railings. The porch shelters the main entrance flanked by 6/6 windows. The rest of the façade features two paired windows with 6/6 windows. The north (side) elevation also exhibits two paired 6/6 windows. A two-bay garage connected by a breezeway is located at the rear of the house. The breezeway is capped by a cupola, and an interior chimney rises from the roof's rear elevation.

Interior Description: N/A

Setting: The building at 507 Seacliff Road is located in a densely populated beachside community in Ocean City, in the second block from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street, in which this house is located, was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 507 Seacliff Road is associated with mid-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 507 Seacliff Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 507 Seacliff Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 20 Gardens Road

Street Address: Street #: 20 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Gardens Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.38

Local Place Name(s): N/A **Lot(s):** 18.01

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 20 Gardens Road is a two-and-a-half-story elevated vernacular residence constructed in 1915 with a brick foundation, vinyl siding, three-tier porch, and a hip roof covered in asphalt shingles.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

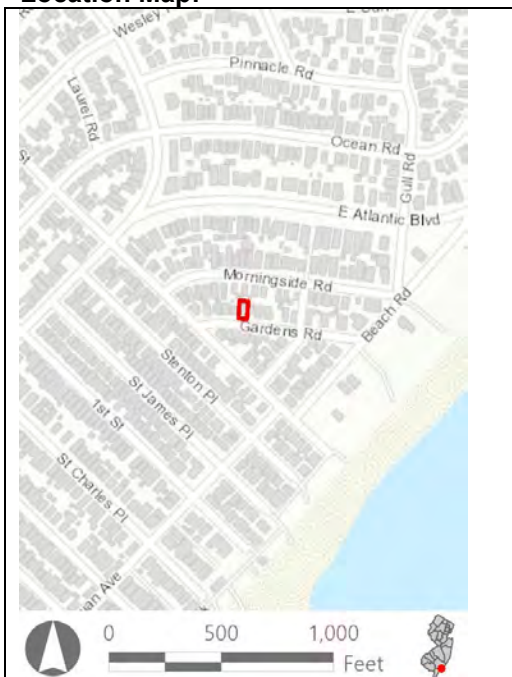


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETOnline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	20 Gardens Road		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1915	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Four Square	Stories:	3
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 20 Gardens Road is a two-story vernacular residence constructed in 1915 and located two blocks from the beach. The house rests on a raised brick foundation, is clad in vinyl siding and is capped by a hip roof covered in asphalt shingles. The façade faces south and exhibits a full-width, three-tier, inset front porch. This porch rests on a brick foundation and is supported by brick columns on the ground level where it shelters the main entrance to living space within the raised basement level. A set of vinyl steps and railings lead to the first-floor porch, and square columns covered in vinyl siding and Doric columns support the third tier of the porch, which is enclosed on the second floor. The main entrance is centered and flanked by 1/1 vinyl windows. The façade features a hip-roof dormer set with three fixed vinyl windows. A two-story bay window is located on the west elevation, and an exterior brick chimney is located on the east elevation. The east elevation also features a hip-roof dormer featuring a small ribbon window with fixed vinyl windows. This house has undergone recent renovations and features new vinyl siding, modern porch elements, and replacement windows.

Interior Description: N/A

Setting: The building at 20 Gardens Road is located in a densely populated beachside community in Ocean City, two blocks from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street is located, was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 20 Gardens Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 20 Gardens Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 20 Gardens Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 14 Gardens Road

Street Address: Street #: 14 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Gardens Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.38

Local Place Name(s): N/A **Lot(s):** 19

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 14 Gardens Road is a two-story vernacular gable front house with vinyl siding and a two-story porch within a projecting gable bay.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

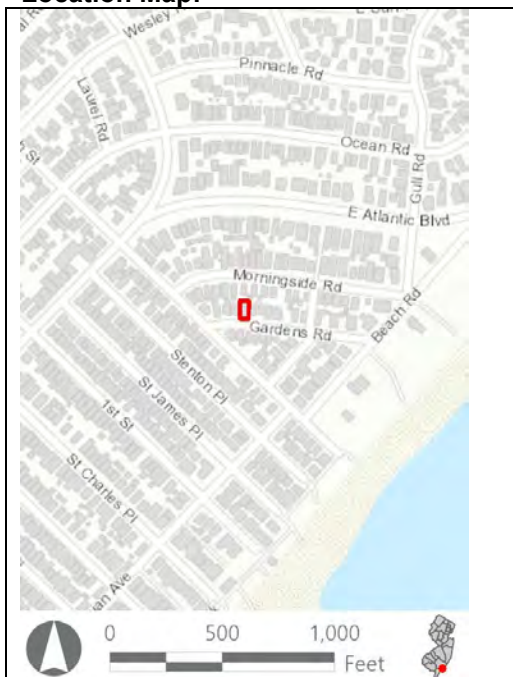


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETOnline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	14 Gardens Road		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1960	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Medium
Style:	None		
Form:	Gable Front	Stories:	2
Type:	N/A	Bays:	2
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 14 Gardens Road is a two-story vernacular residence constructed in 1960 and located two houses from the beach. The house rests on a concrete block foundation, is clad in vinyl siding and is capped by a gable-front roof covered in asphalt shingles. The façade faces south and exhibits a two-story front porch set within a gable-front extension. The porch features vinyl supports and railings and shelters a door and a paired window with 1/1 vinyl sash on each floor. The façade also features paired 1/1 vinyl windows flanked by faux shutters, an octagonal fixed window is located within the main gable eave, and an octagonal louvered vent is located within the gable extension. The east side elevation features stairs leading to the second floor. Fenestration on the side elevations consists of 1/1 vinyl windows.

Interior Description: N/A

Setting: The building at 14 Gardens Road is located in a densely populated beachside community in Ocean City, two blocks from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 14 Gardens Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 14 Gardens Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 14 Gardens Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 10 Gardens Road

Street Address: Street #: 10 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Gardens Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.38

Local Place Name(s): N/A **Lot(s):** 20

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 10 Gardens Road is an elevated, two-and-a-half-story vernacular residence with a hip roof, hip-roof dormer, and front porch with Doric columns supported underneath by brick piers.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

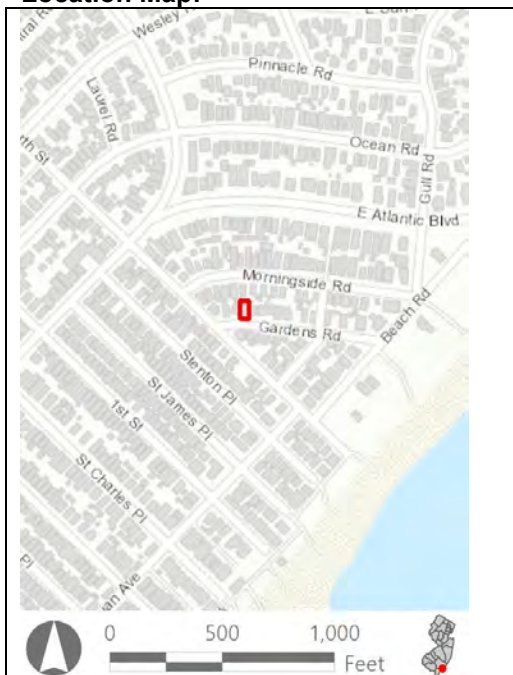


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	10 Gardens Road		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, permanent		
Construction Date:	1926	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Four Square	Stories:	3
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 10 Gardens Road is a two-and-a-half-story vernacular residence constructed in 1926 and located three blocks from the beach. The house is clad in vinyl siding and is capped by a hip roof covered in asphalt shingles. The façade faces south and exhibits a wrap-around front porch with a hipped roof. The porch floor is supported by brick columns and shelters an entrance into the raised foundation. The porch roof is supported by Doric columns. A set of wood stairs lead to the first-floor porch, which shelters a centered front door blanked by 12/1 windows. The second story of the façade features a central extended bay with two small 4/4 windows. The extended bay is flanked by 6/1 windows. The façade also features a hip-roof dormer with three 4/4 windows. The east elevation features a second floor balcony sheltered by an awning, a hip-roof dormer similar to that on the façade, and a two-story bay window. The west elevation features an extended bay between the first and second story.

Interior Description: N/A

Setting: The building at 10 Gardens Road is located in a densely populated beachside community in Ocean City, three blocks from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 10 Gardens Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 10 Gardens Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 10 Gardens Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 4 Gardens Road

Street Address: Street #: 4 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Gardens Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.38

Local Place Name(s): N/A **Lot(s):** 22

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 4 Gardens Road is a two-story cross-gable Colonial Revival house with steep rooflines, shed dormers, a prominent stone chimney on the façade, and an entry porch with a rooftop balcony.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

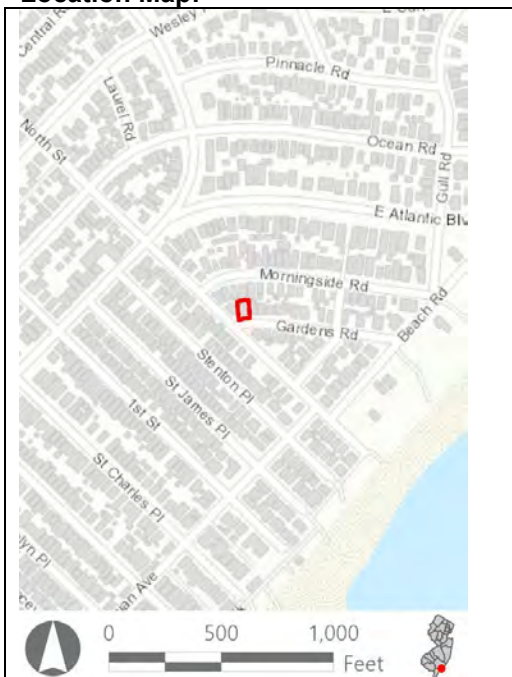
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	4 Gardens Road		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1931	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Colonial Revival		
Form:	Other	Stories:	2
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 4 Gardens Road is a two-story Colonial Revival-style residence constructed in 1931 and located three blocks from the beach. The house is clad in vinyl siding and is capped by a cross-gable roof covered in asphalt shingles. The façade faces south and exhibits a large stone chimney within a gable-front projection, and a porch with second-story balcony. The porch has a brick foundation and floor and supports the balcony with slender vinyl columns, vinyl railings run along both porch and balcony. Fenestration consists of 1/1 windows flanked by faux shutters.

Interior Description: N/A

Setting: The building at 4 Gardens Road is located in a densely populated beachside community in Ocean City, three blocks from the beach. The lots are narrow, and the residences are constructed close to each other. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street, where this resource is located, was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 912 Stenton Place is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 4 Gardens Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 4 Gardens Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 828 North Street

Street Address: Street #: 828 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: North Suffix: N/A Type: ST

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 4

Local Place Name(s): N/A **Lot(s):** 12

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building located at 828 North Street is a one-story vernacular residence with a front gable roof, shingle siding, and off-center enclosed porch with a gabled roof.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

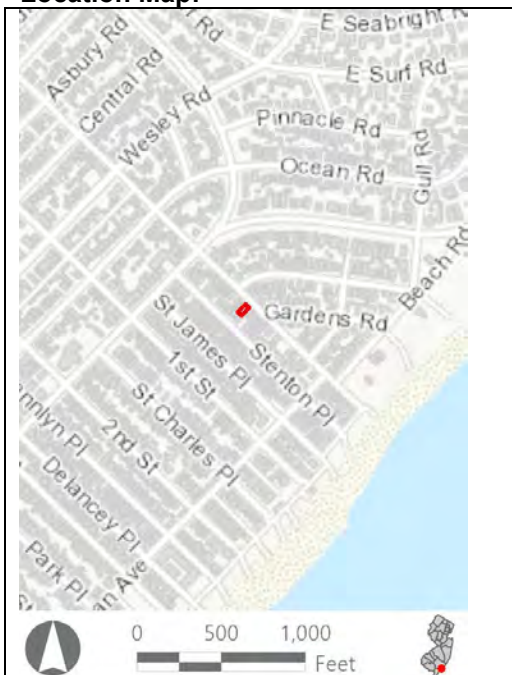


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

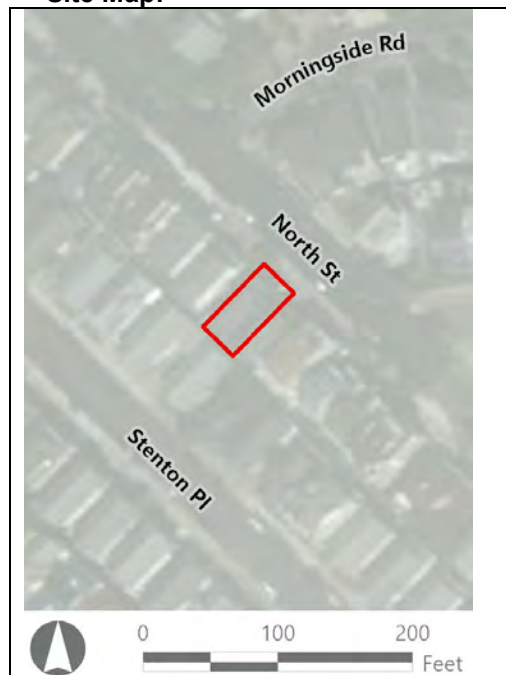
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	828 North Street		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1930	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Bungalow	Stories:	1
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Wood, Shingles		

Exterior Description: The building at 828 North Street is a one-story vernacular residence constructed in 1930 and located three blocks from the beach. The house is clad in wood shingle siding and is capped by a front-gable roof covered in asphalt shingles. The façade faces northeast and features an enclosed half-width front porch under a front-gable roof extension. Fenestration consists of 1/1 windows.

Interior Description: N/A

Setting: The building at 828 North Street is located in a densely populated beachside community in Ocean City, three blocks from the beach. The lots are narrow, and the residences are constructed close to each other. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 828 North Street is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 828 North Street is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 828 North Street is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 2313-2315 Wesley Avenue

Street Address: Street #: 2313 2315 Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Wesley Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 2300

Local Place Name(s): N/A **Lot(s):** 4

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 2313-2315 Wesley Avenue is a two-story rectangular flat-roof house raised on piers with parking below. The façade has slightly projecting two-story rectangular bays with ribbon windows. The siding is stained vertical board and there is an anthropomorphic sun painted on the façade.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

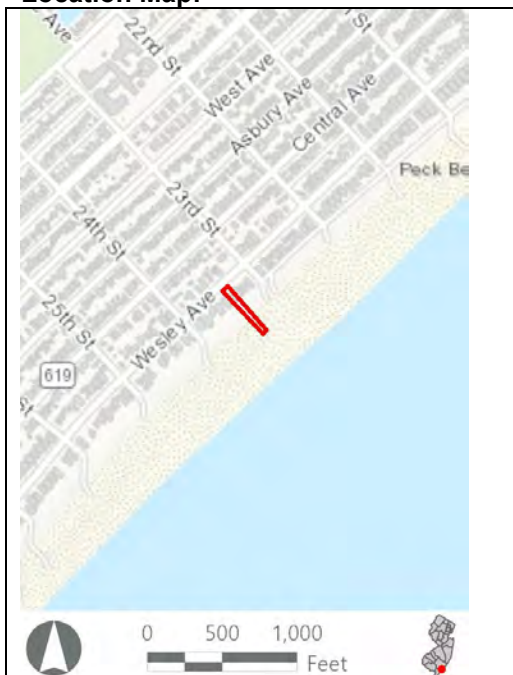
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETOnline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>2313-2315 Wesley Avenue</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1972</u>	Source:	<u>Njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Other</u>	Stories:	<u>2</u>
Type:	<u>N/A</u>	Bays:	<u>2</u>
Roof Finish Materials:	<u>Unknown</u>		
Exterior Finish Materials	<u>Wood, Flush</u>		

Exterior Description: The building at 2313-2315 Wesley Avenue is a two-story vernacular residence constructed in 1972 and located on the beach. The house is raised on piers with parking underneath, is clad in vertical wood siding, and is capped by a flat roof. The façade features two slightly projecting bays with ribbon windows on both floors.

Interior Description: N/A

Setting: The building at 2313-2315 Wesley Avenue is located in a densely populated beachside community in Ocean City, and is sited on the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 2313-2315 Wesley Avenue is associated with mid-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 2313-2315 Wesley Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 2313-2315 Wesley Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 66 Gardens Road

Street Address: Street #: 66 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Gardens Suffix: N/A Type: RD

County(s): Cape May Zip Code: 08226

Municipality(s): Ocean City Block(s): 70.37

Local Place Name(s): N/A Lot(s): 8

Ownership: Private USGS Quad(s) Ocean City

Description: The building at 66 Gardens Road is an elevated one-and-one-half-story house with an asymmetrical gable-on-hipped roof that projects over a wraparound porch. There are shed roof dormers, a Palladian window in the front gable, vinyl shingle siding, and a carport underneath.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

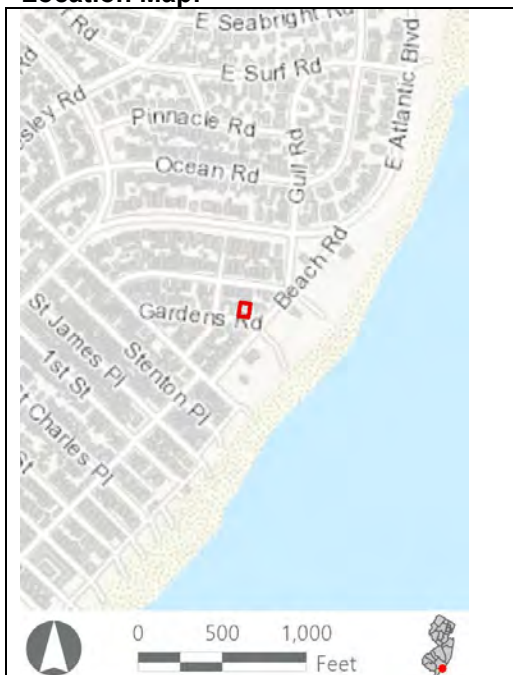


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETOnline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	66 Gardens Road		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1935	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	1.5
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 66 Gardens Road is a raised one-and-one-half-story vernacular residence constructed in 1935 and located one block from the beach. The irregularly shaped house is clad in vinyl shingle siding and is capped by a gable-on-hip roof covered in asphalt shingles. A wrap-around porch is located on the main floor, and also provides shelter to the living space on the ground level. The main floor of the porch is accessed by a set of vinyl stairs centered on the façade, is supported by square vinyl-shingle sided columns at the ground level, and square posts on the main level. The porch extends to the rear of the house and flows into a balcony. Vinyl railings run the perimeter of the porch and balcony. The gable-front on the façade features a vinyl-sash Palladian window. This house has been extensively remodeled and no longer conveys historic integrity.

Interior Description: N/A

Setting: The building at 66 Gardens Road is located in a densely populated beachside community in Ocean City, one block from the beach. The lots are narrow, and the residences are constructed close to each other. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 66 Gardens Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 66 Gardens Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 66 Gardens Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 54 Gardens Road

Street Address: Street #: 54 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Gardens Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.37

Local Place Name(s): N/A **Lot(s):** 9

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 54 Gardens Road is a three-and-a-half-story gable front house with vinyl siding. The front porch is two stories and is $\frac{3}{4}$ enclosed with ribbon windows.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

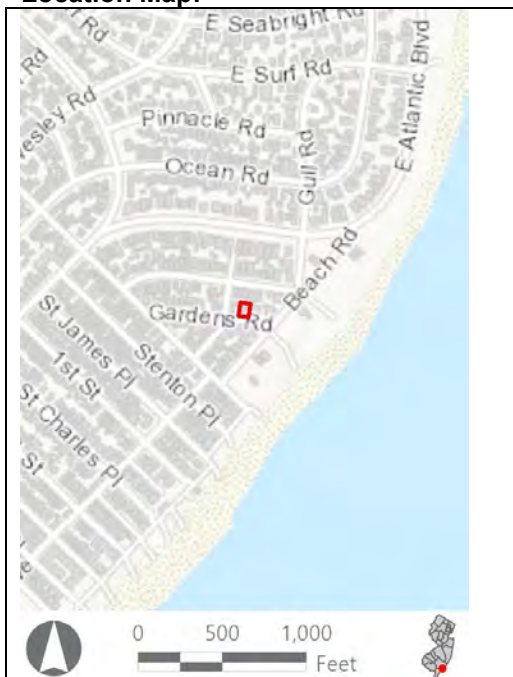
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>54 Gardens Road</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1910</u>	Source:	<u>Njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Gable front</u>	Stories:	<u>3.5</u>
Type:	<u>N/A</u>	Bays:	<u>2</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Vinyl Siding</u>		

Exterior Description: The building at 54 Gardens Road is a three-and-a-half-story vernacular residence constructed in 1910 and located one block from the beach. The house is clad in vinyl siding and is capped by a front-gable roof covered in asphalt shingles. The façade features a two-story wrap-around, hip-roof, front porch that is $\frac{3}{4}$ -width enclosed with ribbon windows along the facade, leaving open porches on the east (side) elevation. The open portion on the lower level of the porch is screened in. The east elevation features a two-story bay window and a gable-front dormer with Palladian window, and stairs leading to the second-story porch. The west elevation features an exterior brick chimney with corbelling, a window bay extension on the second story, and a shed roof dormer with a single small window. The rear of the house features a two-story porch sheltered under a gable extension in the eastern portion of the house, and an inset one-story porch on the western portion of the house. Fenestration consists of 1/1 vinyl windows with vinyl surrounds.

Interior Description: N/A

Setting: The building at 54 Gardens Road is located in a densely populated beachside community in Ocean City, a block from the beach. The lots are long and narrow, and the residences are constructed close to each other. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 54 Gardens Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 54 Gardens Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 54 Gardens Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 46 Gardens Road

Street Address: Street #: 46 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Gardens Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.37

Local Place Name(s): N/A **Lot(s):** 10

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 46 Gardens Road is an altered three-story rectangular house with vinyl siding, a hipped roof, overhanging third story, and a two-story porch.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

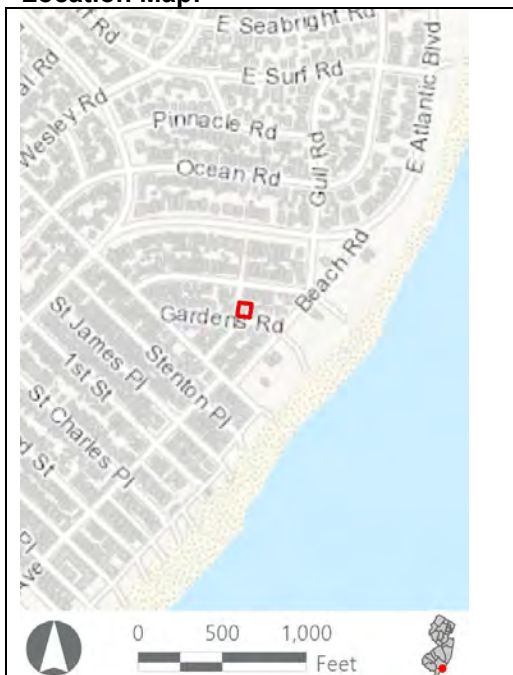
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	46 Gardens Road		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1921	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	3
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingles		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 46 Gardens Road is a three-story vernacular residence constructed in 1921 and located two blocks from the beach. The house is clad in vinyl siding and is capped by a low-pitch hip roof covered in asphalt shingles. The façade faces south and features a full-width, two-story porch with the third story of the house extending over it. The ground-level porch features a short wing wall around the perimeter, while the second-story porch features vinyl railings. The overhanging third story is supported by square columns. Stairs are located on the west (side) elevation that lead to the second-story porch. The façade on the first and second stories mirror each other and consist of a centered door flanked on the west by a ribbon window and on the east by a large 1/1 window. The third-story façade features a centered paired 1/1 window. The side elevations feature pent roofs between the second and third stories, and may be evidence of a third-story addition. The east elevation features single, and three-part ribbon windows on the first and second story, and a single-story balcony extends off the elevation at the rear of the house. The third-story features three paired windows and a single window towards the rear of the house. The west elevation features a slight second-story extension, and asymmetrical window placements consisting of single and paired windows. Fenestration consists of 1/1 vinyl windows flanked by faux shutters.

Interior Description: N/A

Setting: The building at 46 Gardens Road is located in a densely populated beachside community in Ocean City, a block from the beach. The lots are long and narrow, and the residences are constructed close to each other. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: N/A

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 46 Gardens Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 46 Gardens Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

Date: February 24,
2023

BASE FORM

Historic Sites #:

Property Name: 44 Gardens Road

Street Address: Street #: 44 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Gardens Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.38

Local Place Name(s): N/A **Lot(s):** 14

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 44 Gardens Road is a two-and-a-half-story Colonial Revival residence with a hipped roof with a raised foundation. The house features a hipped roof dormer, shingle siding, an exterior brick chimney, and a two-story porch.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

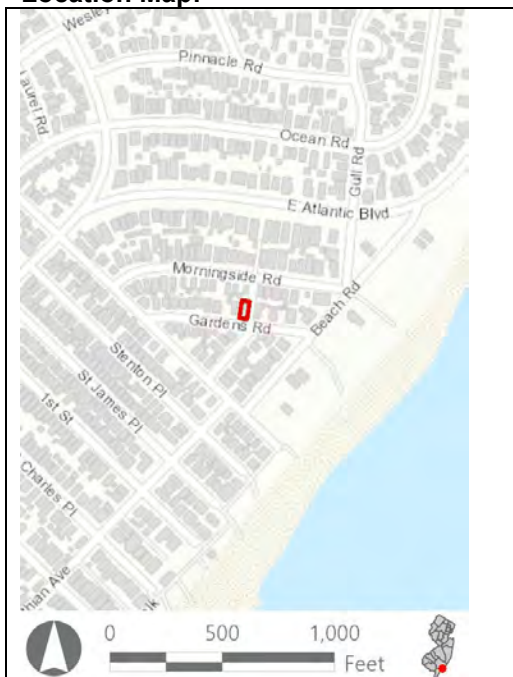


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETOnline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>44 Gardens Road</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1930</u>	Source:	<u>Njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>Colonial Revival</u>		
Form:	<u>Bungalow</u>	Stories:	<u>2.5</u>
Type:	<u>N/A</u>	Bays:	<u>2</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Wood, Shingles</u>		

Exterior Description: The building located at 44 Gardens Road is a two-and-a-half-story Colonial Revival Residence constructed in 1930. The building is set on a raised foundation, is clad in wood shingle siding, and is capped by hip roof. The façade faces south and features a two-story porch capped by the hipped roof overhang. Staires centered on façade lead to the main floor of the porch, that features square columns clad in wood shingles, and wood-shingled wing walls. The second-story porch features wood railings and the hip roof is supported by three slender chamfered wood columns on the corners and single post in the center. The porch also shelters an entrance at the ground level. A hip roof dormer with a three-part ribbon window is also present on the façade. The west elevation features a two-story bay window, and a garage bay is located within the raised foundation. The west elevation features an exterior brick chimney with corbelling, and a second-story extended window bay. Fenestration consists of 1/1 windows in single, paired, and three-part window configurations. Two sliding-glass doors provide access to the second-story porch.

Interior Description: N/A

Setting: The building at 44 Gardens Road is located in a densely populated beachside community in Ocean City, two blocks from the beach. The lots are long and narrow, and the residences are constructed close to each other. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 44 Gardens Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 44 Gardens Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 44 Gardens Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 38 Gardens Road

Street Address: Street #: 38 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Gardens Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.38

Local Place Name(s): N/A **Lot(s):** 15

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 38 Gardens Road is a two-and-a-half-story Colonial Revival residence with a gable-on-hip roof, shingle siding, two chimneys, and a two-story front porch.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

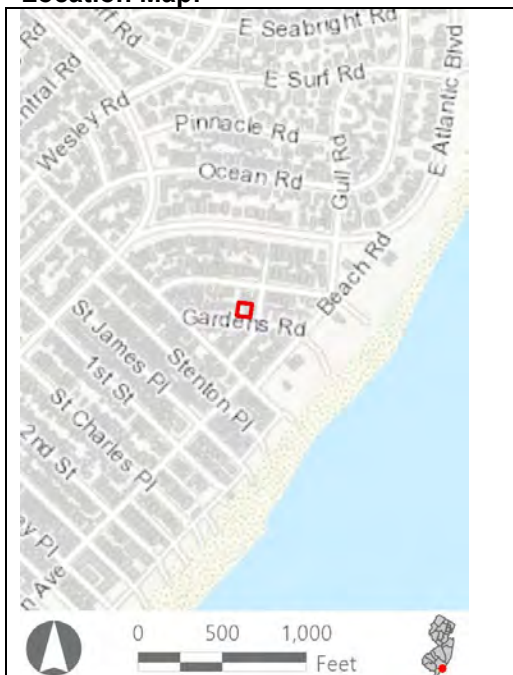
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETOnline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	38 Gardens Road		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1916	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Colonial Revival		
Form:	Gable Front	Stories:	2
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Wood, Shingles		

Exterior Description: The building at 38 Gardens Road is a two-and-a-half-story Colonial Revival residence constructed in 1916 and located two blocks from the beach. The house rests on a raised rusticated concrete block foundation, is clad in wood shingle siding and is capped by a gable-on-hip roof covered in asphalt shingles. The façade faces south and features a two-story front porch and a front facing gable with a ribbon window. The porch is supported by rusticated concrete block at the ground level and square columns on the rest. The first-story porch has wood stairs and railings, while the second-story porch features knee walls clad in wood shingle siding. The east elevation features a two-story bay window and a gable-front dormer with a ribbon window. The west elevation features two exterior rusticated concrete block chimneys with corbelling, a diagonal ribbon window running between the second and first stories, and a shed roof dormer with a single window. The rear of the house features an inset two-story porch. Fenestration consists of 1/1, 6/1, and 12-pane fixed wood-sash windows with wood surround. A two-story, single-bay, detached garage clad in clapboard and wood shingle siding and capped by a pyramidal roof covered in asphalt shingles, with a rusticated central chimney that has been capped, and a second-story balcony is located at the rear of the lot.

Interior Description: N/A

Setting: The building at 38 Gardens Road is located in a densely populated beachside community in Ocean City, two blocks from the beach. The lots are long and narrow, and the residences are constructed close to each other. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 38 Gardens Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 38 Gardens Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 38 Gardens Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 30 Gardens Road

Street Address: Street #: 30 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Gardens Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.38

Local Place Name(s): N/A **Lot(s):** 16

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 30 Gardens Road is a two-and-a-half-story gable-on-hip roof house sitting on a raised foundation with a two-story porch.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

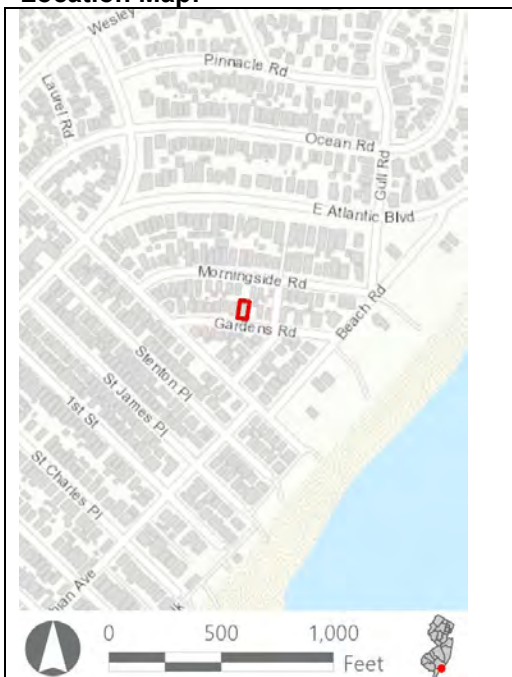


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	30 Gardens Road		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1926	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 30 Gardens Road is a two-and-a-half-story Colonial Revival residence constructed in 1926 and located two blocks from the beach. The house rests on a raised brick foundation, is clad in vinyl siding and is capped by a gable-on-hip roof covered in asphalt shingles. The façade faces south and features a two-story front porch and a front-facing gable with a ribbon window. The porch is supported by rusticated concrete blocks at the ground level and square columns on the rest. The first-story porch has wood stairs and railings, while the second-story porch features knee walls clad in wood shingle siding. The east elevation features a two-story bay window and a gable-front dormer with a ribbon window. The west elevation features two exterior rusticated concrete block chimneys with corbelling, a diagonal ribbon window running between the second and first stories, and a shed roof dormer with a single window. The rear of the house features an inset two-story porch. Fenestration consists of 1/1, 6/1, and 12-pane fixed wood-sash windows with wood surround. A two-story, single-bay, detached garage clad in clapboard and wood shingle siding and capped by a pyramidal roof covered in asphalt shingles, with a rusticated central chimney that has been capped, and a second-story balcony is located at the rear of the lot.

Interior Description: N/A

Setting: The building at 30 Gardens Road is located in a densely populated beachside community in Ocean City, two blocks from the beach. The lots are long and narrow, and the residences are constructed close to each other. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 30 Gardens Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 30 Gardens Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 30 Gardens Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 28 Gardens Road

Street Address: Street #: 28 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Gardens Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.38

Local Place Name(s): N/A **Lot(s):** 17

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 28 Gardens Road is an elevated hipped roof bungalow with dormers, vinyl siding, and a porch supported underneath by brick piers, between which is built out as an enclosed living space with a separate front door.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

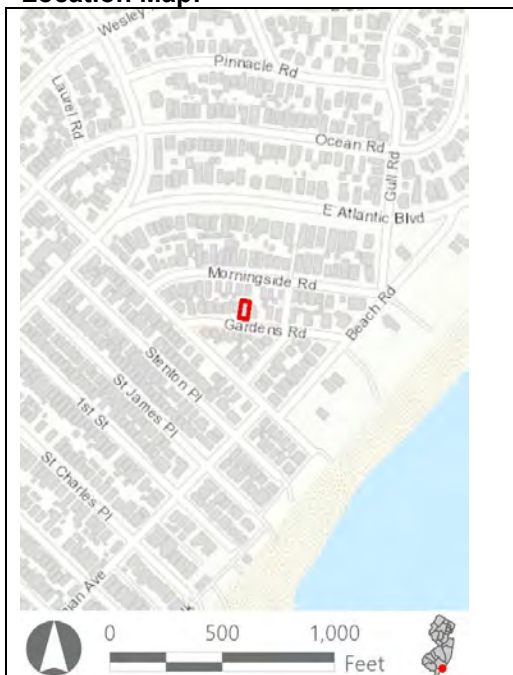


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETOnline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>28 Gardens Road</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1943</u>	Source:	<u>Njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Bungalow</u>	Stories:	<u>1.5</u>
Type:	<u>N/A</u>	Bays:	<u>4</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Vinyl Siding</u>		

Exterior Description: The building at 28 Gardens Road is a one-and-a-half-story residence constructed in 1943 two blocks from the beach. The house is resting on a raised foundation, is clad in vinyl siding, and is capped by a hipped roof covered in asphalt shingles. The façade features a full-width front porch accessed by an offset set of stairs. The raised foundation contains living space and has been built out under the porch where the main entrance to the ground-level living space is located. The house features hip-roof dormers with sliding vinyl sash windows.

Interior Description: N/A

Setting: The building at 28 Gardens Road is located in a densely populated beachside community in Ocean City, two blocks from the beach. The lots are narrow, and the residences are constructed close to each other. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 28 Gardens Road is associated with mid-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility Background research did not reveal any associations with historically important events or persons; therefore, 28 Gardens Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 28 Gardens Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 829 North Street

Street Address: Street #: 829 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: North Suffix: N/A Type: ST

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.38

Local Place Name(s): N/A **Lot(s):** 23

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 829 North Street is an altered one-and-one-half-story front-gabled Craftsman bungalow with open brackets, second-story balcony, and entry projection. Awnings obscure the fenestration.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

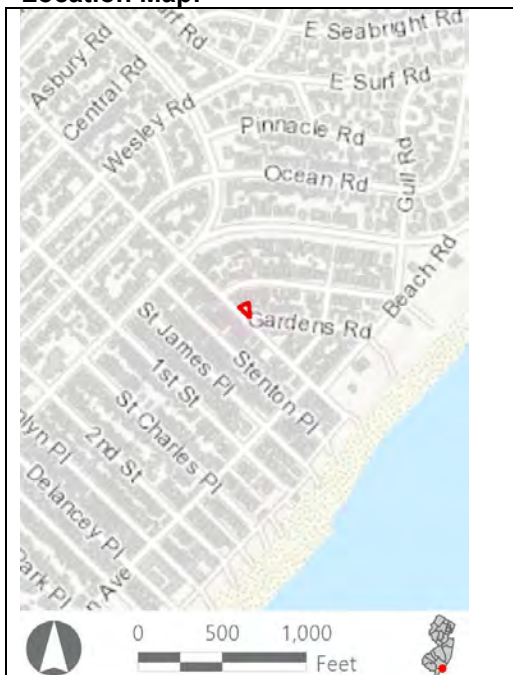
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: <u>829 North Street</u>	
Historic Name: <u>N/A</u>	
Present Use: <u>Residential Activity, Permanent</u>	
Historic Use: <u>Residential Activity, Permanent</u>	
Construction Date: <u>1935</u>	Source: <u>Njtaxrecords.net</u>
Alteration Date(s): <u>N/A</u>	Source: <u>N/A</u>
Designer: <u>N/A</u>	Physical Condition: <u>Good</u>
Builder: <u>N/A</u>	Remaining Historic Fabric: <u>Low</u>
Style: <u>Craftsman</u>	
Form: <u>Bungalow</u>	Stories: <u>1.5</u>
Type: <u>N/A</u>	Bays: <u>2</u>
Roof Finish Materials: <u>Asphalt Shingle</u>	
Exterior Finish Materials <u>Vinyl Siding</u>	

Exterior Description: The building at 829 North Street is a one-and-a-half-story Craftsman residence constructed in 1935 and located three blocks from the beach. The house rests on a brick foundation, is clad in vinyl siding and is capped by a front-gable roof covered in asphalt shingles. The façade faces southwest and exhibits an inset porch with brick supports and decorative tri-partite wood columns. A secondary entrance is adjacent to the porch with a large lunette window above the door. The eastern side of the house has a one-story addition and the balcony extends over this portion. The house also exhibits open brackets and bay windows.

Interior Description: N/A

Setting: The building at 829 North Street is located in a densely populated beachside community in Ocean City, three blocks from the beach. The lots are narrow, and the residences are constructed close to each other. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 829 North Street is associated with mid-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 829 North Street is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 829 North Street is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 1900 Wesley Avenue

Street Address: Street #: 1900 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Wesley Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 1902

Local Place Name(s): N/A **Lot(s):** 15

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 1900 Wesley Avenue is a two-and-a-half-story Dutch Colonial Revival house with brick siding on the first story and white vinyl on the second. The front porch has white square columns and a brick deck. The house is flanked by one-story wings with rooftop balustrades.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

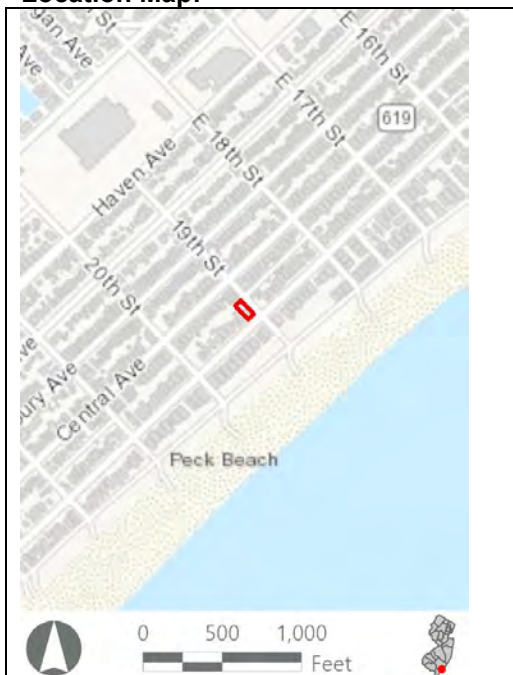


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETOnline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	1900 Wesley Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1929	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Medium
Style:	Dutch Colonial Revival		
Form:	Center Hall	Stories:	2.5
Type:	N/A	Bays:	5
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Brick		

Exterior Description: The building at 1900 Wesley Avenue is a two-and-a-half-story Dutch Colonial Revival residence constructed in 1929 and located one block from the beach. The house rests on a brick foundation, is clad in brick on the first story and vinyl siding on the second story and is capped by a gambrel roof covered in asphalt shingles. The façade faces east and exhibits a full-width front porch with a hipped roof supported by square chamfered posts and a brick deck. The porch cornice features dentils. The centered front door features sidelights and is topped by a rectangular transom. The door is flanked by tri-partite ribbon windows. A gambrel-roof dormer is centered on the façade and features two small windows. Each side elevation features a one-story wing with balconies. Fenestration consists of 6/1 windows, with multi-paned sliding glass windows on the side wings.

Interior Description: N/A

Setting: The building at 1900 Wesley Avenue is located in a densely populated beachside community in Ocean City, one block from the beach. The lots are narrow, and the residences are constructed close to each other. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 1900 Wesley Avenue is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1900 Wesley Avenue is not known to be significant under Criterion A or B. While the resource embodies characteristics of the Dutch Colonial Revival style, it does not represent a significant example of the type, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 1900 Wesley Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 2321 Wesley Avenue

Street Address: Street #: 2321 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Wesley Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 2300

Local Place Name(s): N/A **Lot(s):** 7

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 2321 Wesley Avenue is a two-story flat roof house, with overhanging eaves, simulated stone veneer, and paired and tripartite window openings. A two-story rear projection features a carport, and the beachside elevation appears to have an elevated deck or balcony overlooking the ocean.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

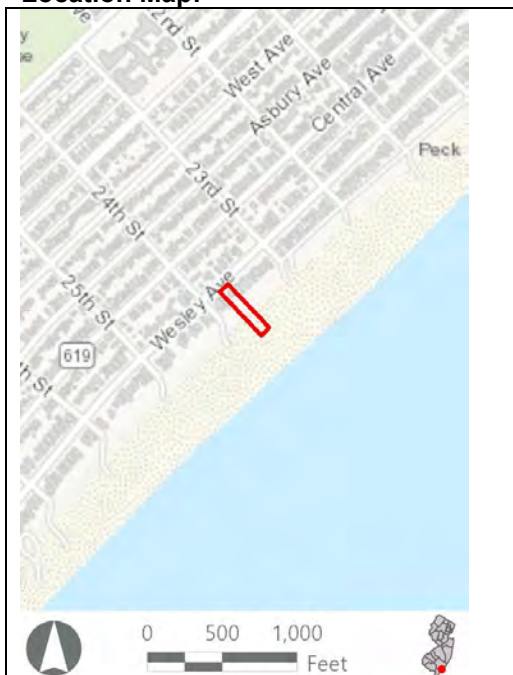
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	2321 Wesley Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, permanent		
Construction Date:	1951	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Medium
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	N/A
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Other		

Exterior Description: The building at 2321 Wesley Avenue is a two-story residence constructed in 1951 and located on the beach. The house is clad in faux-stone veneer and is capped by a flat roof. The façade faces the ocean and appears to have an elevated balcony with round metal railing. The rear of the house faces Wesley Avenue and features a garage with living space above. Fenestration consists of single, paired, and tri-partite ribbon window with what appears to be fixed sash above and hopper windows below. It appears that a breezeway connects the main block of the house to the garage, with an open balcony with round metal railings on the second story. .

Interior Description: N/A

Setting: The building at 2321 Wesley Avenue is located in a densely populated beachside community in Ocean City, with direct access to the beach. The lots are long and narrow, and the residences are constructed close to each other. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 2321 Wesley Avenue is associated with mid-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 2321 Wesley Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 2321 Wesley Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 2312 A&B Wesley Avenue

Street Address: Street #: 2312 N/A Apartment #: A B
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Wesley Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 2301

Local Place Name(s): N/A **Lot(s):** 16

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 2312 A&B Wesley Avenue is a three-story gable front house with wide flat-roof dormers, brick siding on the first story, stucco siding on the second story, and shingle siding on the third story. There is a two-story porch on the façade that is partially obscured by awnings and features a rooftop deck for the third story.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

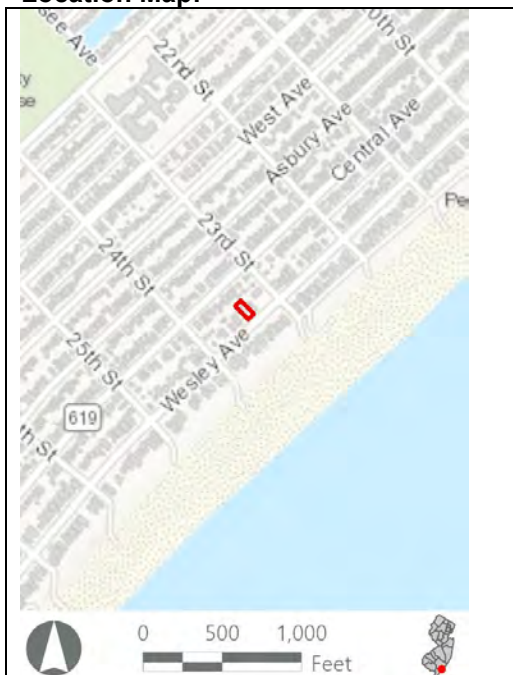
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	2312 A&B Wesley Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1933	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	3
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Stucco		

Exterior Description: The building at 2312 A&B Wesley Avenue is a three-story residence constructed in 1933 and located across the street from beachfront houses. The house rests on a brick foundation, is clad in brick on the first story and scored stucco on the second story and is capped by a front-gable roof covered in asphalt shingles. The façade faces southeast and exhibits a full-width two-story front porch with a balcony on the third story. The southern side elevation features a two-story bay window, and the roof has a shed extension creating the third story. The northern side elevation has a secondary entrance accessed by stairs, and a similar shed roof extension as the southern elevation.

Interior Description: N/A

Setting: The building at 2312 A&B Wesley Avenue is located in a densely populated beachside community in Ocean City, across the street from beachfront house. The lots are long and narrow, and the residences are constructed close to each other. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 2312 A&B Wesley Avenue is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

**National
Register Criteria:**

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 2312 A&B Wesley Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 2312 A&B Wesley Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 24 Morningside Road

Street Address: Street #: 24 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Morningside Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.34

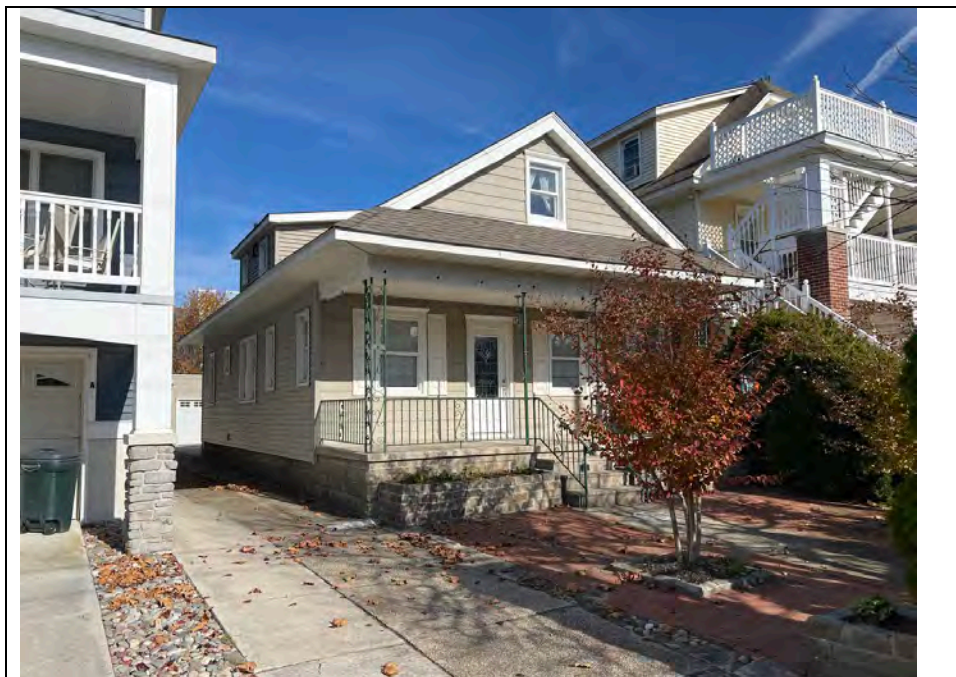
Local Place Name(s): N/A **Lot(s):** 27

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 24 Morningside Road is a gable-on-hip-roof bungalow with a front porch supported by wrought iron posts and clad in vinyl siding.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

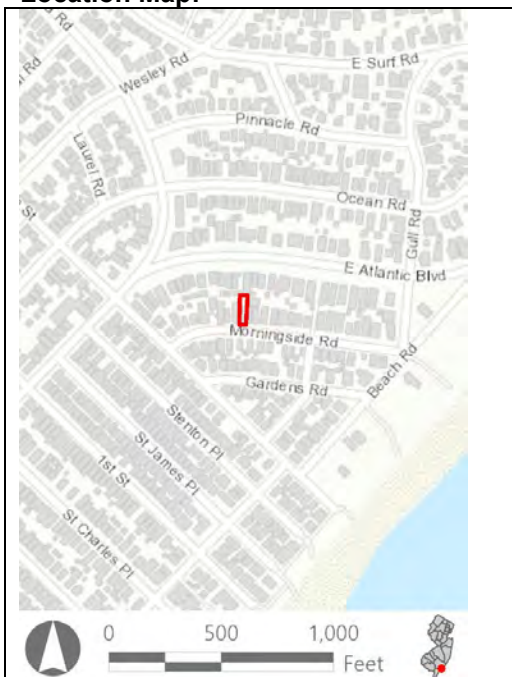


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETOnline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	24 Morningside Road		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1935	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Gable Front	Stories:	1.5
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 24 Morningside Road is a one-and-a-half-story bungalow constructed in 1935 and located three blocks from the beach. The house rests on a rusticated concrete block foundation, is clad in vinyl siding and is capped by a gable-on-hip roof covered in asphalt shingles. The façade faces south and exhibits a full-width front porch supported by wrought iron railings. A single 1/1 window is located within the gable eave, and a shed-roof dormer is located on the west elevation. Fenestration consists of 1/1 vinyl-sash windows with vinyl surrounds.

Interior Description: N/A

Setting: The building at 24 Morningside Road is located in a densely populated beachside community in Ocean City, three blocks from the beach. The lots are long and narrow, and the residences are constructed close to each other. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 24 Morningside Road is associated with mid-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 24 Morningside Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 24 Morningside Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 20 Morningside Road

Street Address: Street #: 20 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Morningside Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.34

Local Place Name(s): N/A **Lot(s):** 29

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 20 Morningside Road is a two-story Spanish Colonial Revival with Spanish tile roof tan textured stucco siding, tower, arcaded porch with awnings and balcony above.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

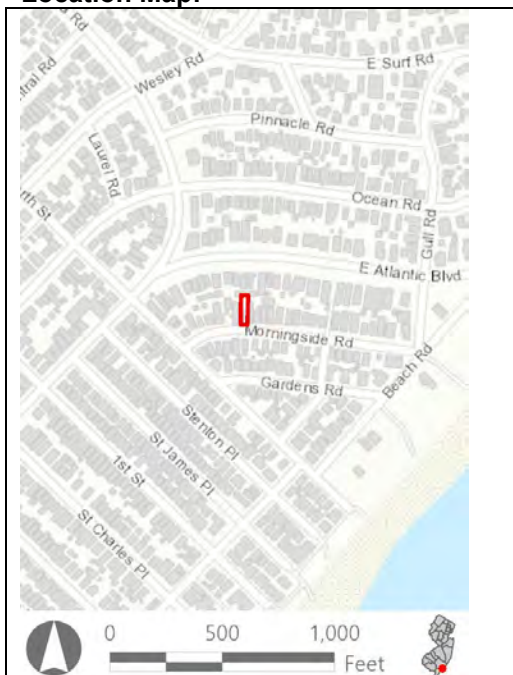
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETOnline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	20 Morningside Road		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1935	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Medium
Style:	Spanish Colonial Revival		
Form:	Other	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Tile, Spanish		
Exterior Finish Materials	Stucco		

Exterior Description: The building at 20 Morningside Road is a two-story Spanish Colonial Revival residence constructed in 1935 and located two blocks from the beach. The house is clad in stucco and is capped by flat, shed, and hip roofs covered in Spanish tiles. The façade faces south and exhibits a full width, arched, arcaded porch with slender spiral columns topped by a second story balcony. The main entrance is a centered arched doorway and is flanked by 6/6 vinyl-sash windows. The second story also features an arched doorway leading to the balcony with a paired window adjacent. A small tower rises above the arched doorway and features an octagonal window. An exterior chimney with chimney pots is located on the east elevation. Fenestration consists of 6/6 vinyl sash replacement windows with stucco surrounds.

Interior Description: N/A

Setting: The building at 20 Morningside Road is located in a densely populated beachside community in Ocean City, within the first block from the beach. The lots are long and narrow, and the residences are constructed close to each other. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 20 Morningside Road is associated with mid-twentieth-century development in Ocean City. The building is an altered example of the Spanish Colonial Revival style, but is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 20 Morningside Road is not known to be significant under Criterion A or B. While the resource exhibits characteristics of the Spanish Colonial Revival style, It does not embody significant characteristics of the style, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 20 Morningside Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BASE FORM

Historic Sites #:

Property Name: 233 Beach Road

Street Address: Street #: 233 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Beach Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.42

Local Place Name(s): N/A **Lot(s):** 4.01

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 233 Beach Road is a one-and-a-half-story side-gabled house with shingle siding and 6/1 sash. There is a fenced-off courtyard between the house and its neighboring twin.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

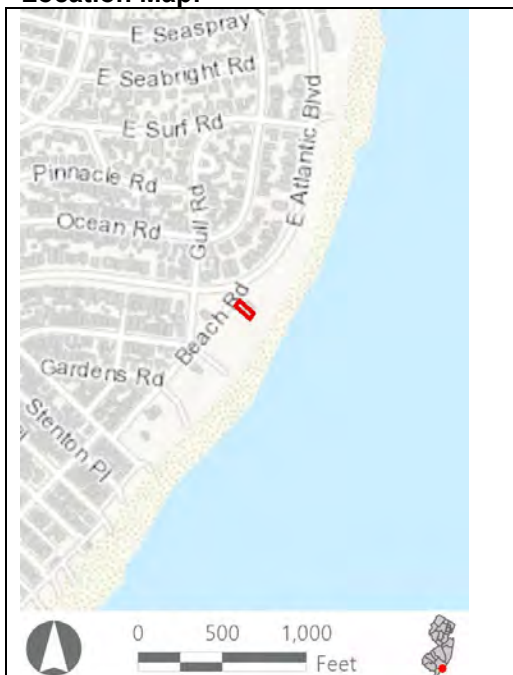
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>233 Beach Road</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1963</u>	Source:	<u>Njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Other</u>	Stories:	<u>1</u>
Type:	<u>N/A</u>	Bays:	<u>4</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Wood, Shingle</u>		

Exterior Description: The building at 233 Beach Road is a one-and-a-half-story residence constructed in 1963 and located on the beach. The house rests on a brick pier foundation, is clad in wood shingle siding and is capped by a gable-front roof covered in asphalt shingles. The façade faces southeast towards the ocean and appears to exhibit a full-width deck. The building is slightly flared above the brick pier foundation. Fenestration consists of 6/1 vinyl windows with wood surrounds. A large interior brick chimney with corbelling is located near the front of the house on the southern elevation, and a shed-roof stoop shelters a side entrance on the same elevation. This house is one of two identical houses constructed next to each other and share a courtyard.

Interior Description: N/A

Setting: The building at 233 Beach Road is located directly on the beach in an area that is sparsely developed along the ocean. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 233 Beach Road is associated with mid-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 233 Beach Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 233 Beach Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 237 Beach Road

Street Address: Street #: 237 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Beach Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.42

Local Place Name(s): N/A **Lot(s):** 5

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 237 Beach Road is a one-and-a-half-story side-gabled house with shingle siding and 6/1 sash. There is a fenced-off courtyard between the house and its neighboring twin.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

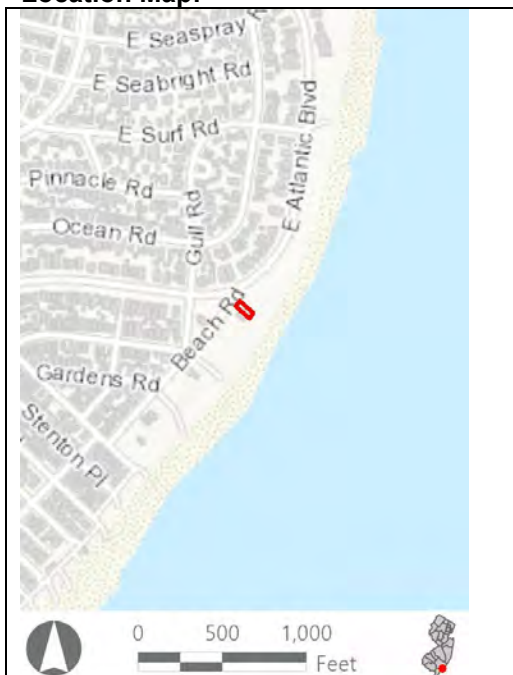
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>237 Beach Road</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1963</u>	Source:	<u>Njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Medium</u>
Style:	<u>None</u>		
Form:	<u>Other</u>	Stories:	<u>1</u>
Type:	<u>N/A</u>	Bays:	<u>4</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Wood, Shingle</u>		

Exterior Description: The building at 237 Beach Road is a one-and-a-half-story residence constructed in 1963 and located on the beach. The house rests on a brick pier foundation, is clad in wood shingle siding and is capped by a gable-front roof covered in asphalt shingles. The façade faces southeast towards the ocean and appears to exhibit a full-width deck. The building is slightly flared above the brick pier foundation. Fenestration consists of 6/1 vinyl windows with wood surrounds. A large interior brick chimney with corbelling is located near the front of the house on the northern elevation, and a shed-roof stoop shelters a side entrance on the same elevation. This house is one of two identical houses constructed next to each other and share a courtyard.

Interior Description: N/A

Setting: The building at 237 Beach Road is located directly on the beach in an area sparsely populated along the ocean in Ocean City. The lots are long and narrow, and the residences are constructed close to each other. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 237 Beach Road is associated with mid-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 237 Beach Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 237 Beach Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 123 East Atlantic Boulevard

Street Address: Street #: 123 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: Atlantic Suffix: N/A Type: BLVD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.34

Local Place Name(s): N/A **Lot(s):** 13

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 123 East Atlantic Boulevard is a two-and-a-half-story foursquare with gable-on-hip roof, shed roof dormer, shingle siding, and a one-story front porch with tapered square columns on brick supports.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

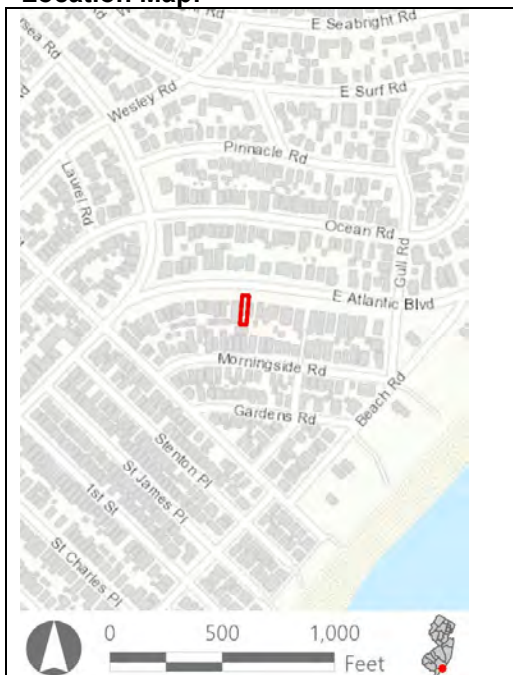


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

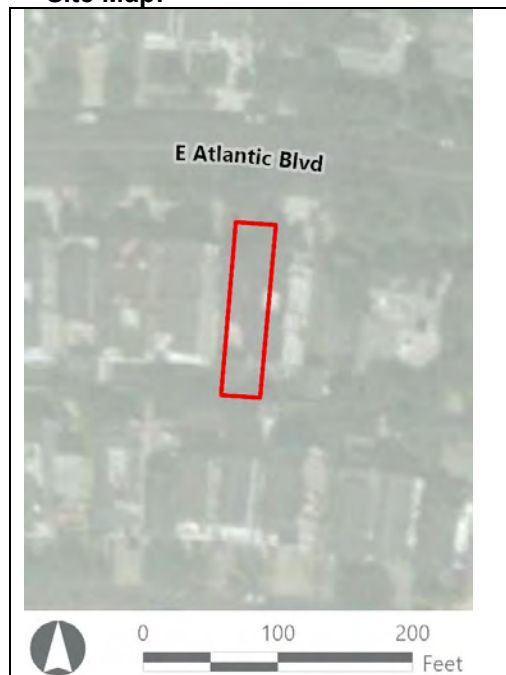
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETOnline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>123 East Atlantic Boulevard</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1934</u>	Source:	<u>Njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Other</u>	Stories:	<u>2.5</u>
Type:	<u>N/A</u>	Bays:	<u>3</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Vinyl Siding</u>		

Exterior Description: The building at 123 East Atlantic Avenue is a two-and-a-half-story residence constructed in 1934 and located three blocks from the beach. The house rests on a brick foundation, is clad in vinyl siding, and is capped by a front-gable roof covered in asphalt shingles. The façade faces north and exhibits a full-width front porch with a hipped roof supported by brick columns and square posts. A shed-roof dormer is located on the eastern elevation. Fenestration consists of 6/1 vinyl-sash windows with vinyl surrounds and faux shutters.

Interior Description: N/A

Setting: The building at 123 East Atlantic Avenue is located in a densely populated beachside community in Ocean City, three blocks from the beach. The lots are long and narrow, and the residences are constructed close to each other. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 123 East Atlantic Avenue is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 123 East Atlantic Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 123 East Atlantic Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 200 East Atlantic Boulevard

Street Address: Street #: 200 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: Atlantic Suffix: N/A Type: BLVD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.28

Local Place Name(s): N/A **Lot(s):** 33

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building located at 200 East Atlantic Boulevard is an elevated, two-and-a-half-story, hipped roof foursquare with hipped roof dormer, ribbon windows on the upper story, shingle siding, and wraparound free classic porch supported underneath by tall brick piers.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

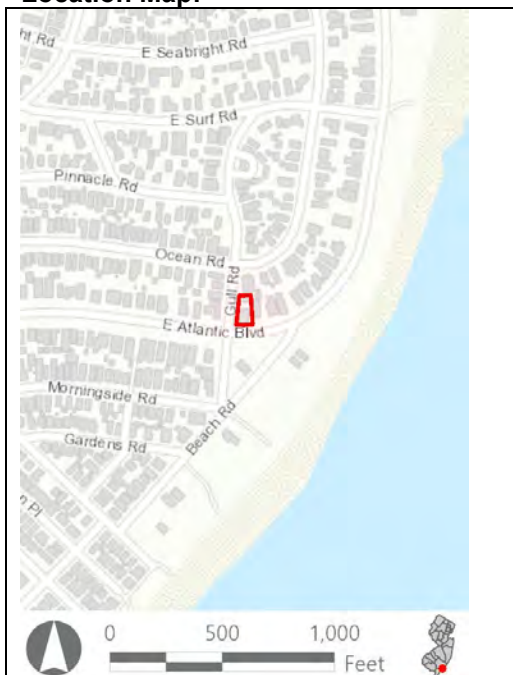
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>200 East Atlantic Boulevard</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1931</u>	Source:	<u>Njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Medium</u>
Style:	<u>None</u>		
Form:	<u>Four Square</u>	Stories:	<u>2.5</u>
Type:	<u>N/A</u>	Bays:	<u>1</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Wood, Shingles</u>		

Exterior Description: The building at 200 East Atlantic Avenue is a two-and-a-half-story residence constructed in 1931 and located one block from the beach. The house rests on a raised brick foundation, is clad in wood shingle siding and is capped by a hip roof covered in asphalt shingles. The façade faces west and exhibits a wrap-around front porch with a hipped roof supported by brick columns and Doric columns. There is a slight hip-roof extension on the façade supported by paired Doric columns. The porch is accessed by a staircase with wood railings, and the façade railing exhibits a decorative sunburst motif. The main entrance is centered and features sidelights and entablature. Fenestration consists of 6/1 windows, with paired windows on the façade, and a ribbon window on the south elevation. A set of stairs provides access to a side porch and secondary entrance on the north elevation. The house features hip-roof dormers with paired six-pane fixed windows.

Interior Description: N/A

Setting: The building at 200 East Atlantic Avenue is located in a densely populated beachside community in Ocean City, within the first block from the beach, on a corner lot. The lots are long and narrow, and the residences are constructed close to each other. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 200 East Atlantic Avenue is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 200 East Atlantic Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 200 East Atlantic Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 164 East Atlantic Boulevard

Street Address: Street #: 164 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: Atlantic Suffix: N/A Type: BLVD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.33

Local Place Name(s): N/A **Lot(s):** 32

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 164 East Atlantic Avenue is a two-and-a-half-story front gabled house with jerkin head, banks of ribbon windows on the upper half of the building, vinyl shingle siding, and a second story that partially overhangs a wraparound porch with paired squared columns supported by brick piers. Awnings obscure much of the first story.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

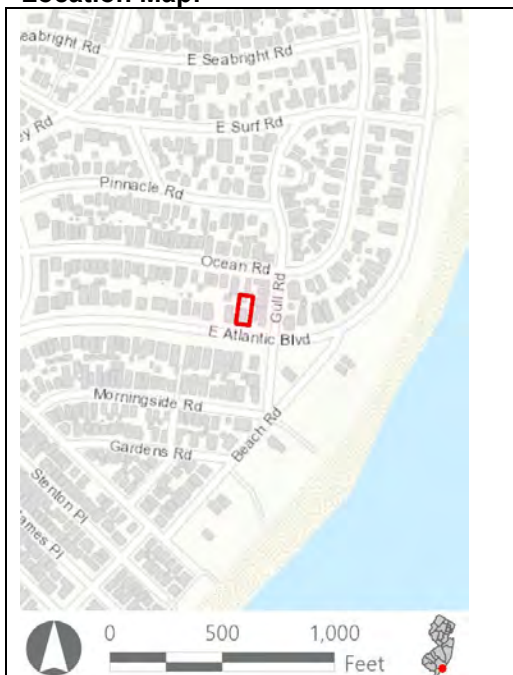
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETOnline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	164 E Atlantic Boulevard		
Historic Name:	N/A		
Present Use:	Residential Activity, permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1910	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Colonial Revival		
Form:	Gable Front	Stories:	2.5
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt shingle		
Exterior Finish Materials	Vinyl, Shingle		

Exterior Description: The resource is an altered two-and-a-half-story ca. 1910 Colonial Revival dwelling measuring three bays wide and four bays deep. The foundation is covered in stretcher bond brick and exterior material consists of vinyl shake shingle. The house is capped by a jerkin head roof covered in asphalt shingle and is pierced by an exterior brick chimney on the west (side) elevation. A hipped roof dormer window is located on the east (side) elevation. Fenestration consists of replacement vinyl sash windows with simulated 6/1 panes and two large tripartite picture windows on the south (front) elevation. The south elevation also includes a second-story overhang covering a porch resting on brick piers and supported by paired square posts and a simple balustrade. The porch wraps around to the east (side) elevation where it is covered by a low-pitched hipped roof. A historic-era three-bay garage capped by a steeply-pitched hipped roof covered in asphalt shingle is located to the northwest of the dwelling.

Interior Description: N/A

Setting: The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: 164 E Atlantic Boulevard is an altered example of early twentieth century Revival styles in Ocean City. Due to removal of historic materials, alterations to the original porch, alterations to original window openings, and non-historic additions, the house has undergone a loss of integrity and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 164 E Atlantic Boulevard is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 164 E Atlantic Boulevard is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 365 East Surf Road

Street Address: Street #: 365 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: Surf Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.29

Local Place Name(s): N/A **Lot(s):** 24

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 365 East Surf Road is a two-and-a-half-story two-tiered side-gabled roof house with brick siding on the front and wood shingle on the side of the house starting at the second story. There is a one-bay gabled-roof entry porch on the façade. A two-car side-gabled attached garage has a pair of wall dormers and asbestos siding.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

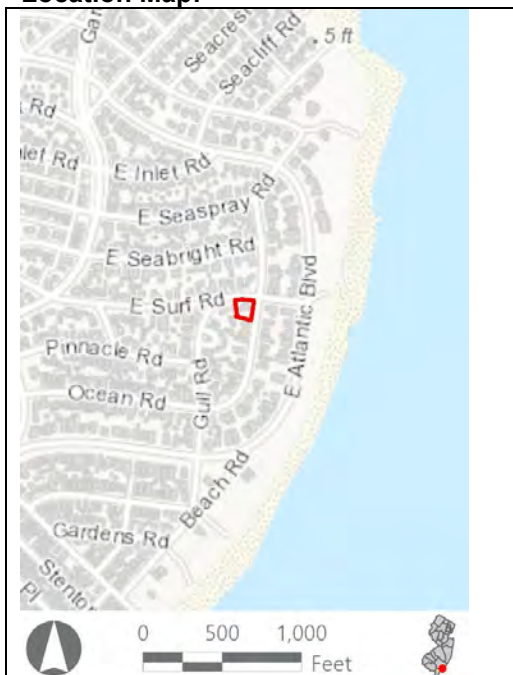


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETOnline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	365 East Surf Road		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1942	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Colonial Revival		
Form:	Other	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Brick; Wood, shingle		

Exterior Description: The resource is an altered two-and-a-half-story ca. 1942 Colonial Revival dwelling measuring three bays wide and two bays deep. Foundation material was not visible at the time of survey and exterior material consists of stretcher bond brick on the north (front) and west (side) elevations. The side gable roof is covered in asphalt shingle and is flush at the gable ends. An offset interior brick chimney pierces the roof at the ridge line. Fenestration consists of replacement vinyl sash windows with simulated 8/8 and 1/1 windows. A two-story addition with a stepped side gable roof and a flush gable roof dormer window is attached to the west (side) elevation. A partial width sun porch with a second story balcony is attached to the addition. A two-story garage addition with two garage bays is attached to the east (side) elevation. The garage addition includes two flush gable roof dormer windows. A partial width porch with a projecting gable supported by square posts is attached to the north elevation.

Interior Description: N/A

Setting: The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: 365 East Surf Road is an altered Revival style residence that has undergone alterations including the removal of historic materials, replacement windows and alterations to original window openings. As result, the resource lacks the integrity necessary for inclusion on the National Register.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 365 East Surf Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 365 East Surf Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

Date: February 24,
2023

BASE FORM

Historic Sites #:

Property Name: 334 East Surf Road

Street Address: Street #: 334 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: Surf Suffix: N/A Type: RD

County(s): Cape May Zip Code: 08226

Municipality(s): Ocean City Block(s): 70.26

Local Place Name(s): N/A Lot(s): 30

Ownership: Private USGS Quad(s) Ocean City

Description: The building at 334 East Surf Road is a two-story side-gabled house with a steeply gabled entry pavilion with a hipped-roof entry porch flanked by gabled wall dormers. Single bay wings on either gable end of the house have enclosed first stories and balconies above with gable-on-hipped projections above. The siding is vinyl.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

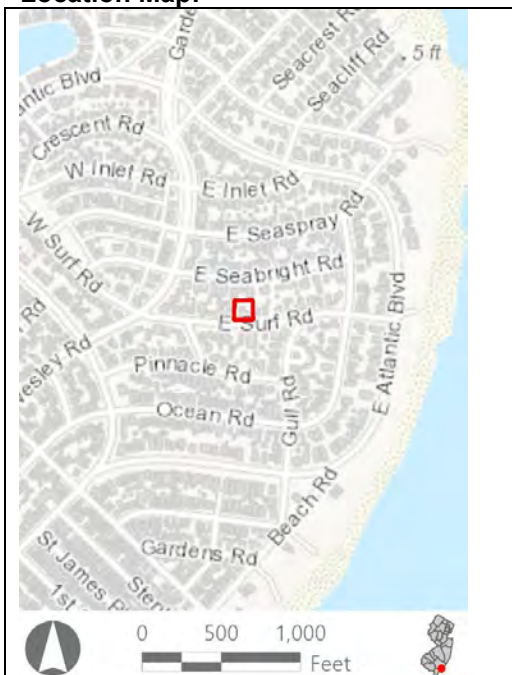


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	334 East Surf Road		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1942	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	5
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The resource is a heavily altered, two-story ca. 1942 Tudor Revival dwelling measuring five bays wide and two bays deep. The central block of the house has a steeply pitched projecting gable flanked by flush gable windows at each side. Two-story gable roof additions are attached to the east and west (side) elevations, each wing with an integral second story porch supported by Doric columns with a simple balustrade. The entire house is covered in replacement vinyl siding and the roof material is asphalt shingle. Fenestration consists of replacement vinyl sash windows with simulated 6/6 panes. A partial width hipped roof porch covered in standing seam metal is attached to the south (front) elevation and is supported by Doric columns. Visible foundation material consist of rock faced concrete block.

Interior Description: N/A

Setting: The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: 334 East Surf Road is a heavily altered Tudor Revival style dwelling; however, due to extensive lateral additions and the removal of the majority of the historic materials, the resource no longer conveys its historic appearance and does not retain integrity or architectural significance.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 334 East Surf Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 334 East Surf Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 340 East Surf Road

Street Address: Street #: 340 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: Surf Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.26

Local Place Name(s): N/A **Lot(s):** 29

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 340 East Surf Road is a two-and-a-half-story gable-front Colonial Revival with a rear block that extends one bay beyond the façade and a later gabled roof dormer on the main block. Colonial Revival features include cornice returns and frieze band at the roof eaves, 6/6 regular fenestration, a brick chimney stack engaged on the façade, and a hipped roof porch with paired square columns. The siding is wood shingle.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

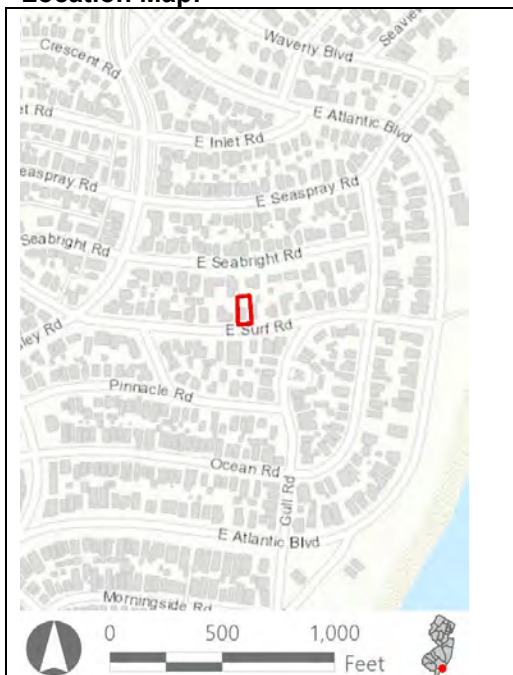


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).
Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	340 East Surf Road		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1941	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Colonial Revival		
Form:	Gable Front	Stories:	2.5
Type:	N/A	Bays:	2
Roof Finish Materials:	Metal		
Exterior Finish Materials	Vinyl, Shingle		

Exterior Description: The resource is a heavily altered two-and-a-half-story ca. 1941 Colonial Revival residence measuring two bays wide and two bays deep. Foundation material was not visible during survey and the house is covered in vinyl shake shingle and vinyl siding. The front gable roof is covered in asphalt shingle and is pierced by an exterior brick chimney on the south (front) elevation. The roof is decorated with gable returns and includes two ca. 2014 dormer windows on the east and west (side) elevations. The south elevation includes an offset entrance and a full width hipped roof porch covered in standing seam metal. The porch is supported by paired square posts and is decorated with a fabric awning. Fenestration consists of replacement vinyl sash windows with simulated 6/6 panes. A ca. 2014 two-story front gable addition is attached to the north (rear) elevation.

Interior Description: N/A

Setting: The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: 340 East Surf Road is a heavily altered revival style residence that has undergone alterations including the removal of historic materials, replacement windows and alterations to original window openings, and a large rear addition. As result, the resource lacks the integrity and significance necessary for inclusion on the National Register.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 340 East Surf Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 340 East Surf Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 344 East Surf Road

Street Address: Street #: 344 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: Surf Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.26

Local Place Name(s): N/A **Lot(s):** 28

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 344 East Surf Road is a two-story Dutch Colonial Revival style house with a gambrel roof, painted stucco siding, brick chimney, and two-story side porch.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

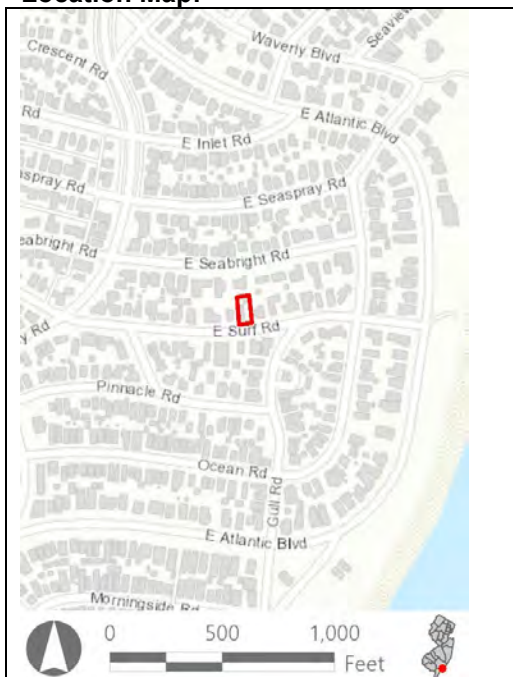
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).
Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	344 East Surf Road		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1942	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Medium
Style:	Dutch Colonial Revival		
Form:	Other	Stories:	2
Type:	N/A	Bays:	4
Roof Finish Materials:	Shingle		
Exterior Finish Materials	Stucco		

Exterior Description: The resource is an altered, two-story ca. 1942 Dutch Colonial Revival dwelling measuring four bays wide and two bays deep. Foundation material was not visible during field survey and the house is covered in stucco. The gambrel roof is covered in asphalt shingle and includes visor dormers on the east (front) and west (rear) elevations. The roof is pierced by an exterior brick chimney on the south (side) elevation. Fenestration consists of replacement vinyl sash windows with simulated 6/6 panes and quarter arch windows in the gable ends. A full width one-story sun porch addition with a second-floor balcony is attached to the south elevation. An integral porch supported by square posts with metal railing is located on the east elevation. A historic-era one-bay garage capped by a gambrel roof is located to the northeast of the dwelling.

Interior Description: N/A

Setting: The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: 344 East Surf Road is an altered revival style residence that has undergone alterations including the removal of historic materials, replacement windows and alterations to original window openings. Further, the house is a common and unexceptional example of the Dutch Colonial Revival style. As result, the resource lacks the integrity and significance necessary for inclusion on the National Register.

Eligibility for New Jersey

and National Registers: ☐ Yes ☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 344 East Surf Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 344 East Surf Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 350 East Surf Road

Street Address: Street #: 350 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: Surf Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.26

Local Place Name(s): N/A **Lot(s):** 27

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 350 East Surf Road is a two-story Colonial Revival style house with a side gable roof, wood clapboard and asbestos siding, attached garage, and single-story projection.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

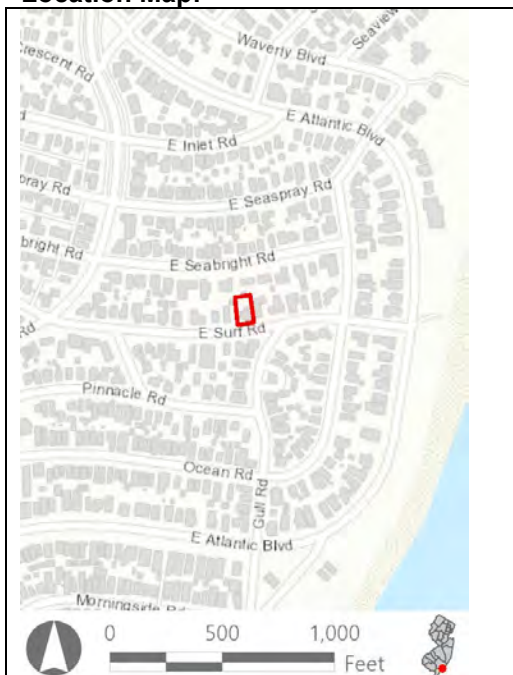


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETOnline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	350 East Surf Road		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1962	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Medium
Style:	Colonial Revival		
Form:	Other	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Aluminum and Asbestos Siding		

Exterior Description: The resource is an altered, two-story ca. 1962 Colonial Revival dwelling measuring three bays wide and two bays deep. The house rests on a concrete block foundation and is covered in aluminum and asbestos siding. The side gable roof is covered in asphalt shingle and fenestration consists of replacement vinyl sash windows with simulated 6/6 panes. The south (front) elevation includes a slight second-story overhang while a one-story shed roof addition is attached to the west (side) elevation. The roof of the elevation is pierced by an exterior brick chimney on the north (rear) elevation.

Interior Description: N/A

Setting: The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: 350 East Surf Road is an altered revival style residence that has undergone alterations including the removal of historic materials, replacement windows and an addition on the west elevation. Further, it is a common and unexceptional example of the Colonial Revival style. As result, the resource lacks the integrity and significance necessary for inclusion on the National Register.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 350 East Surf Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 350 East Surf Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 356 East Surf Road

Street Address: Street #: 356 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: Surf Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.26

Local Place Name(s): N/A **Lot(s):** 26

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 356 East Surf Road is a two-story Colonial Revival style house with a gable roof, wood clapboard and stucco siding, a pedimented entry portico, attached garage, and sunroom extension with a second story covered porch.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

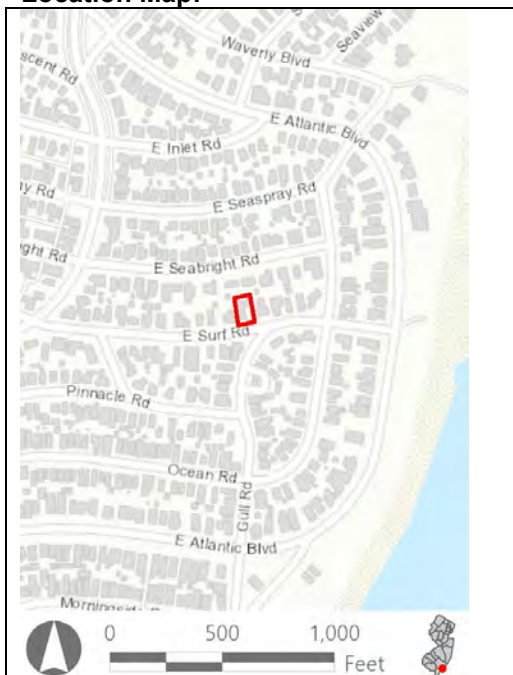


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).
Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>356 East Surf Road</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1937</u>	Source:	<u>Njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Medium</u>
Style:	<u>Colonial Revival</u>		
Form:	<u>Center Hall</u>	Stories:	<u>2</u>
Type:	<u>N/A</u>	Bays:	<u>3</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Vinyl siding and Stucco</u>		

Exterior Description: The resource is an altered, two-story ca. 1937 Colonial Revival dwelling measuring three bays wide and two bays deep. Foundation material was not visible during survey and the house is covered in replacement vinyl siding and stucco. The side gable roof is covered in asphalt shingle and is pierced by an exterior brick chimney on the south (side) elevation. The south elevation also includes a full width sun porch addition with a second story porch capped by a low pitched hipped roof covered in asphalt shingle and supported by square posts. A one-bay garage addition is attached to the north (side) elevation and includes a second story uncovered balcony. A central, partial-width gable roof portico is attached to the east (front) elevation. The portico includes a round arch, square columns, and square pilasters. Fenestration consists of replacement vinyl sash 1/1 windows and hopper windows in the gable ends.

Interior Description: N/A

Setting: The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: 356 East Surf Road is an altered revival style residence that has undergone alterations including the removal of historic materials, replacement windows and alterations to original porch materials. Further, the resource stands as a common and unexceptional example of the Colonial Revival style. As result, the resource lacks the integrity and significance necessary for inclusion on the National Register.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 356 East Surf Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 356 East Surf Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 360 East Surf Road

Street Address: Street #: 360 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: Surf Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.26

Local Place Name(s): N/A **Lot(s):** 25

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 360 East Surf Road is a two-and-a-half-story brick Colonial Revival style house with a side gable roof, pedimented dormers, rear ell, attached garage, and pair of flanking single-story sunroom additions with open porches above.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

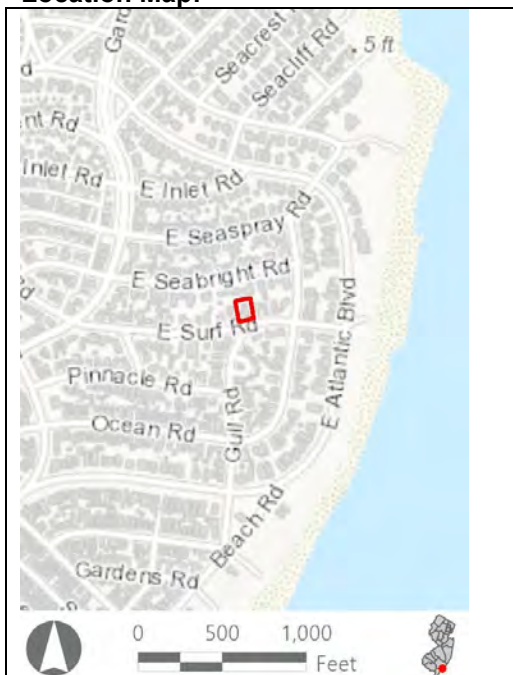


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	360 East Surf Road		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1930	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	High
Style:	Colonial Revival		
Form:	Center Hall	Stories:	2.5
Type:	N/A	Bays:	6
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Brick; Wood, clapboard; Vinyl siding		

Exterior Description: The resource is a ca. 1930, two-and-a-half-story Colonial Revival dwelling measuring six bays wide and two bays deep. The central block of the house is covered in stretcher bond brick veneer that covers the foundation. The side gable roof is covered in asphalt shingle and is pierced by an exterior brick chimney at the gable end of the west (side) elevation. The roof also includes three gable roof dormer windows decorated with a simple frieze and covered in clapboard. A two-story rear ell is attached to the north (rear) elevation and also includes two gable roof dormer windows. A one-story addition is attached to the north elevation of the ell. The south (front) elevation features a central door adorned with sidelights, an elliptical fanlight, and a flush soldier-bond, multicentered brick arch. Two one-story additions covered in vinyl siding with upper balconies decorated with metal balustrades are attached to the east (side) and west elevations.

Interior Description: N/A

Setting: The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: 360 East Surf Road is an altered revival style residence that has undergone alterations including the removal of historic materials, replacement windows, and two lateral one-story additions. As result, the resource lacks the integrity necessary for inclusion on the National Register.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 360 East Surf Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 360 East Surf Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 19 Beach Road

Street Address: Street #: 19 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Beach Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.41

Local Place Name(s): N/A **Lot(s):** 3.01

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 19 Beach Road is a two-and-a-half-story Colonial Revival house with a brick foundation, vinyl shake shingle siding, a side gable roof with gambrel dormers, a pent roof at the first floor, and flanking single-story projections with covered porches above.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

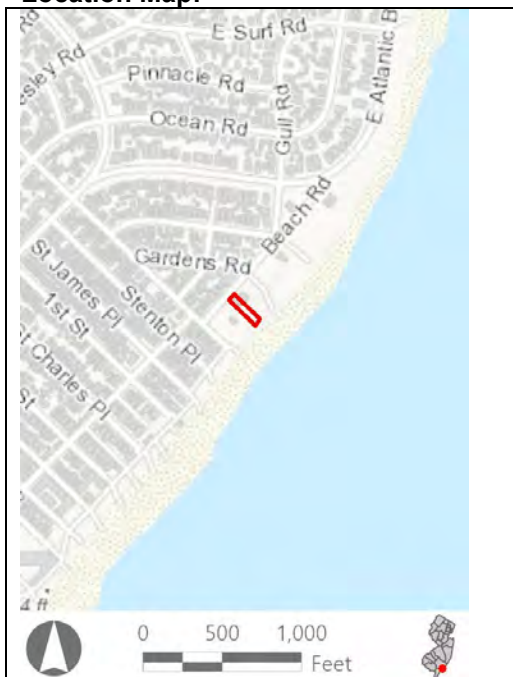


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).
NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).
Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	19 Beach Road		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1932	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Colonial Revival		
Form:	Center Hall	Stories:	2.5
Type:	N/A	Bays:	5
Roof Finish Materials:	Asphalt shingle		
Exterior Finish Materials	Vinyl shingle		

Exterior Description: The resource is a heavily altered two-and-a-half-story ca. 1932 Colonial Revival dwelling measuring five bays wide and one bay deep. Foundation material was not visible during field survey and exterior material consists of replacement vinyl shake shingle siding. The side gable roof is covered in asphalt shingle and includes a gambrel roof dormer window on the southwest (side) elevation and a gambrel roof dormer window with gable returns on the northwest (side) elevation. The southeast (front) elevation includes an overhanging second story hipped pent roof covered in asphalt shingle. The pent roof covers an enclosed addition with a central entrance covered by a projecting gable set atop simple columns. The central entrance is adorned with side lights and a simple transom. Lateral one-story, hipped roof additions with upper balconies decorated with simple vinyl balustrades and supported by square columns are attached to the northwest and southeast (side) elevations.

Interior Description: N/A

Setting: The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: 19 Beach Road is a heavily altered residence that has undergone extensive alterations and additions that have compromised its ability to convey its historic character and appearance. Due to the significant loss of integrity, the resource is not eligible for inclusion in the National Register.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 19 Beach Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 19 Beach Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 16 Nassau Road

Street Address: Street #: 16 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Nassau Suffix: N/A Type: RD

County(s): Cape May Zip Code: 08226

Municipality(s): Ocean City Block(s): 70.39

Local Place Name(s): N/A Lot(s): 7

Ownership: Private USGS Quad(s) Ocean City

Description: The building at 16 Nassau Road is a two-and-a-half-story house with a gable-on-hip roof, wood shingle siding, and a rear addition with a garage.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

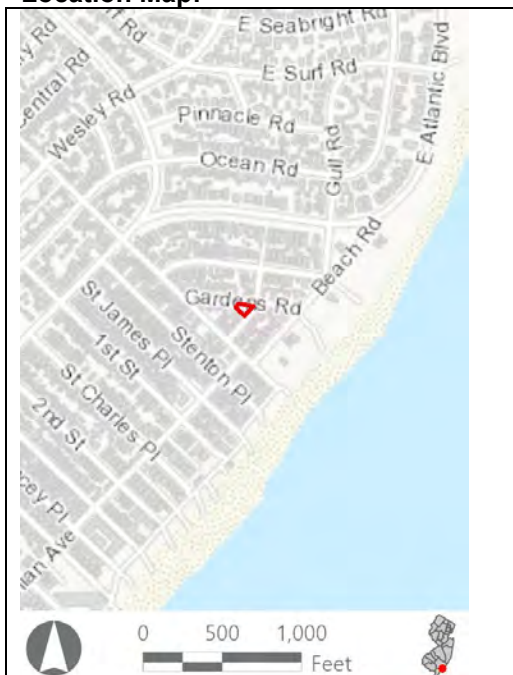


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETOnline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	16 Nassau Road		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1967	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2.5
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Wood, Shingles		

Exterior Description: The building at 16 Nassau Road is a two-and-a-half-story house with a gable-on-hip roof, wood shingle siding, and a rear addition with a garage. The façade is two bays with an inset entry porch. There is an angled oriel window next to the entry. The side elevation facing the corner presents as symmetrical with a gabled dormer atop a projecting two-bay gabled-roof volume that is flanked by single-bay balconies on the second story. Each balcony is accessed by a glazed door flanked by 1/1 sash. Overall, the fenestration is 1/1 replacement sash.

Interior Description: N/A

Setting: The building at 16 Nassau Road is in a residential area, two blocks from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 16 Nassau Road is associated with mid-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 16 Nassau Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 16 Nassau Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 3 Gardens Road

Street Address: Street #: 3 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Gardens Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.39

Local Place Name(s): N/A **Lot(s):** 2

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 3 Gardens Road is a two-story gable front house with clapboard siding and a two-story porch.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

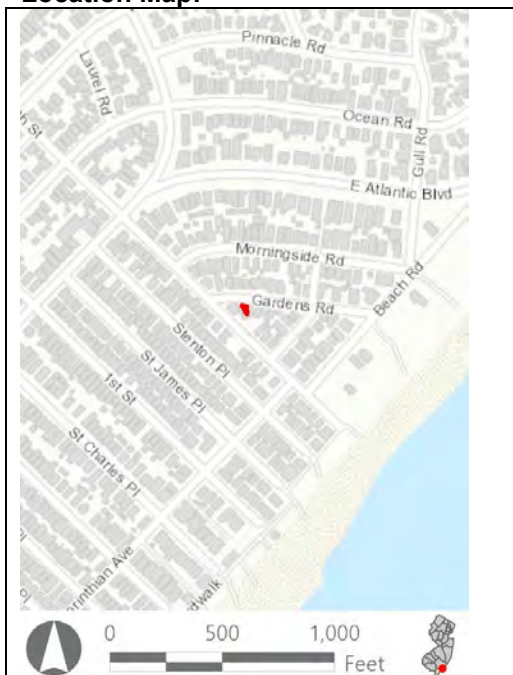


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	3 Gardens Road		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1920	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Craftsman		
Form:	Gable Front	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Wood, Clapboard		

Exterior Description: The building at 3 Gardens Road is a two-story gable front house with clapboard siding and a two-story porch. The residence is three bays wide and three bays deep. The roof of the porch is hipped and there are shed-roof dormers on the side elevations. Both the dormers and roof eaves have exposed rafter tails. The porch is supported by square posts and has a simple balustrade. An exterior staircase provides access to the second story of the porch. The first and second-story facades are the same with a central pedestrian door flanked by a single window on the left and paired sash on the right. Overall, the fenestration is 1/1 replacement sash.

Interior Description: N/A

Setting: The building at 3 Gardens Road is in a residential area, three blocks from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 3 Gardens Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 3 Gardens Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 3 Gardens Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 29 Gardens Road

Street Address: Street #: 29 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Gardens Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.40

Local Place Name(s): N/A **Lot(s):** 6

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 29 Gardens Road is a two-story hipped roof house with a wide gable overhanging a two-story front porch with square supports. Fenestration has simple molded tops and the siding is vinyl.

Registration and Status Dates: National Historic Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

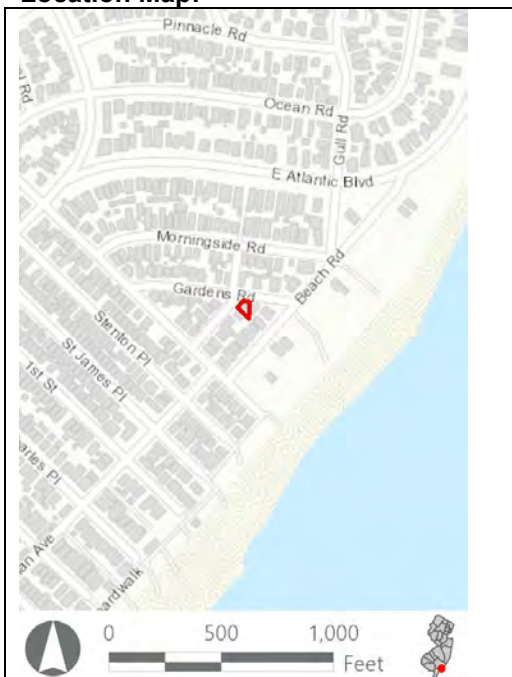
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: <u>29 Gardens Road</u>	
Historic Name: <u>N/A</u>	
Present Use: <u>Residential Activity, Permanent</u>	
Historic Use: <u>Residential Activity, Permanent</u>	
Construction Date: <u>1932</u>	Source: <u>Njtaxrecords.net</u>
Alteration Date(s): <u>N/A</u>	Source: <u>N/A</u>
Designer: <u>N/A</u>	Physical Condition: <u>Fair</u>
Builder: <u>N/A</u>	Remaining Historic Fabric: <u>Low</u>
Style: <u>None</u>	
Form: <u>Other</u>	Stories: <u>2</u>
Type: <u>N/A</u>	Bays: <u>4</u>
Roof Finish Materials: <u>Asphalt Shingle</u>	
Exterior Finish Materials <u>Vinyl Siding</u>	

Exterior Description: The building at 29 Gardens Road is a two-story residence constructed in 1932 and located two blocks from the beach. The house is clad in vinyl siding and is capped by a hip roof covered in asphalt shingles. The façade faces north and exhibits a full-width, two-story front porch under a gable roof extension supported by square wood posts and railings. Fenestration consists of jalousie and 1/1 windows. The west elevation features a secondary entrance on the second story accessed by wooden stairs.

Interior Description: N/A

Setting: The building at 29 Gardens Road is located in a densely populated beachside community in Ocean City, two blocks from the beach. The lots are narrow, and the residences are constructed close to each other. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 29 Gardens Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 29 Gardens Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 29 Gardens Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 2908-2910 Wesley Avenue

Street Address: Street #: 2908 2910 Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Wesley Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 2901

Local Place Name(s): N/A **Lot(s):** 19

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 2908-2910 Wesley Avenue is a three-story front gabled house with stone veneer. There is a wide shed-roof dormer on one side of the roof to form the third story. The façade is two bays across with the right bay recessed to form part of a two-story porch/deck.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

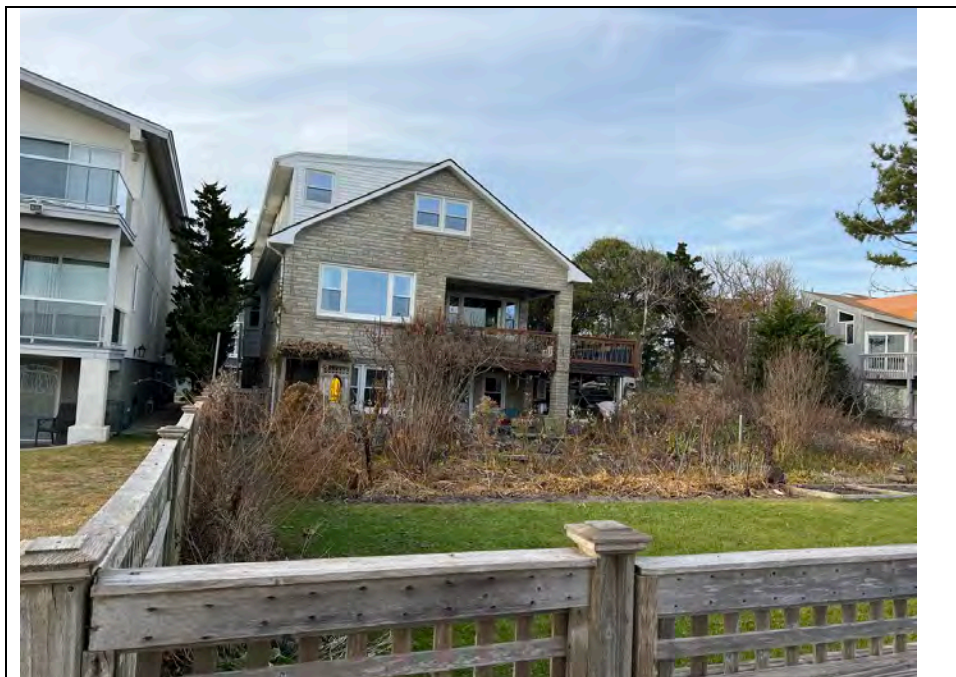
New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

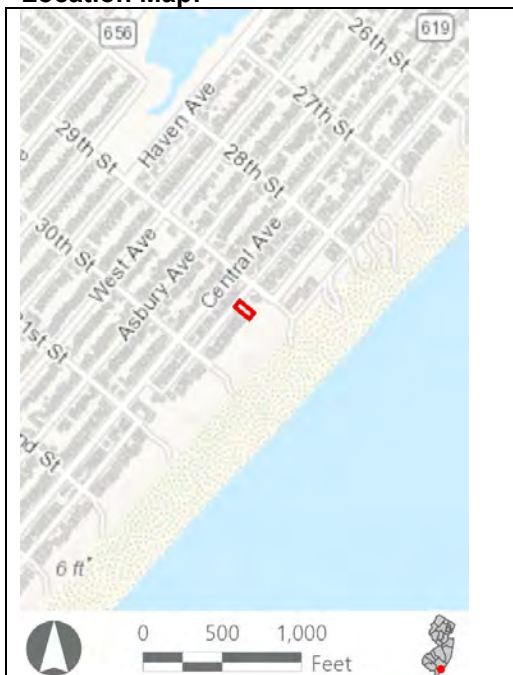
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 2908-2910 Wesley Avenue

Historic Name: N/A

Present Use: Residential Activity, Permanent

Historic Use: Residential Activity, Permanent

Construction Date: 1961 **Source:** Njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Fair

Builder: N/A **Remaining Historic Fabric:** Low

Style: None

Form: Gable Front **Stories:** 3

Type: N/A **Bays:** 2

Roof Finish Materials: Asphalt shingle

Exterior Finish Materials Stone

Exterior Description: The building at 2908-2910 Wesley Avenue is a three-story residence constructed in 1961 and located on the beach. The house is clad in stone veneer and is capped by a front-gable roof covered in asphalt shingles. The façade faces southeast towards the ocean and exhibits an offset, inset, two-story porch and a shed roof dormer on the southern elevation creating the third story. Fenestration consists of 1/1 and fixed picture windows.

Interior Description: N/A

Setting: The building at 2908-2910 Wesley Avenue is located in a densely populated beachside community in Ocean City, within direct beach. The lots are long and narrow, and the residences are constructed close to each other. This house is surrounded by a wooden fence and the adjacent lot is vacant and incorporated into this resource's parcel. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 2908-2910 Wesley Avenue is associated with mid-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 2908-2910 Wesley Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 2908-2910 Wesley Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 26 Morningside Road

Street Address: Street #: 26 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Morningside Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.34

Local Place Name(s): N/A **Lot(s):** 26

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 26 Morningside Road is a two-and-a-half-story gable front house with jerkin head and shed-roof dormers. There is a two-story porch on the façade with large brick piers. The house is vinyl sided.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

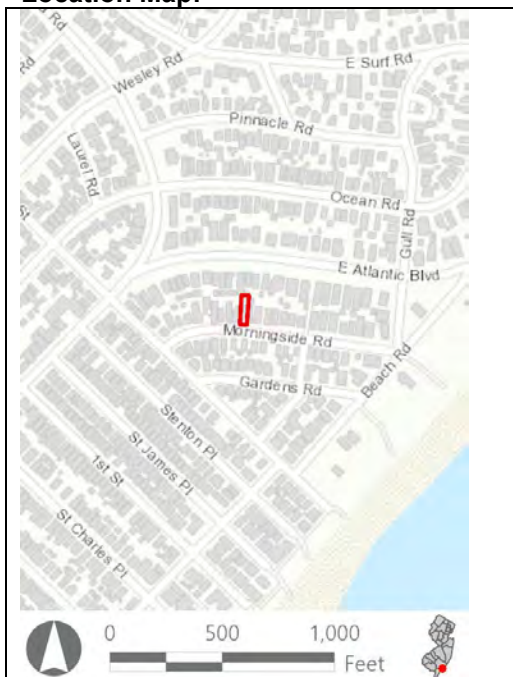


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETOnline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>26 Morningside Road</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1925</u>	Source:	<u>Njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Gable Front</u>	Stories:	<u>2.5</u>
Type:	<u>N/A</u>	Bays:	<u>3</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Vinyl Siding</u>		

Exterior Description: The building at 26 Morningside Road is a two-and-a-half-story residence constructed in 1925 and located three blocks from the beach. The house rests on a brick foundation, is clad in vinyl siding and is capped by a front-gable roof covered in asphalt shingles. The façade faces south and exhibits a full-width, two-story front porch topped with a balcony supported by brick columns and square posts. The gable front exhibits a jerkinhead and there are two shed-roof extensions creating the upper half story. The west elevation has stairs providing access to the second story porch, and the east elevation has a two-story bay window. Fenestration consists of 6/1 vinyl-sash windows with vinyl surrounds.

Interior Description: N/A

Setting: The building at 26 Morningside Road is located in a densely populated beachside community in Ocean City, three blocks from the beach. The lots are long and narrow, and the residences are constructed close to each other. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 26 Morningside Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 26 Morningside Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 26 Morningside Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 16 Morningside Road

Street Address: Street #: 16 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Morningside Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.34

Local Place Name(s): N/A **Lot(s):** 31

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 16 Morningside Road is a two-story gable front house with a second-story balcony.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

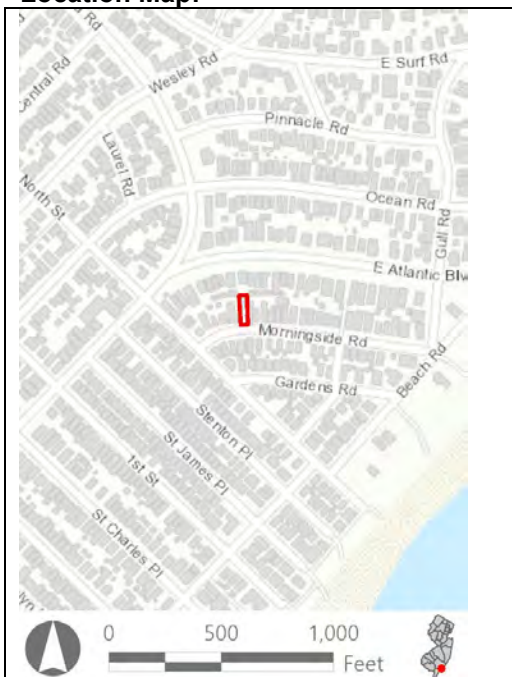


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	16 Morningside Road		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1920	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Gable Front	Stories:	2
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 16 Morningside Road is a two-story residence constructed in 1920 and located three blocks from the beach. The house is clad in vinyl siding and is capped by a front-gable roof covered in asphalt shingles. The house is located at the rear of the lot and is partially obscured by vegetation. The façade faces south and exhibits a balcony on the second story accessed by a metal spiral staircase. A large lunette window is located within the gable eave.

Interior Description: N/A

Setting: The building at 16 Morningside Road is located in a densely populated beachside community in Ocean City, within the first block from the beach. The lots are long and narrow, and the residences are constructed close to each other. This resource is located at the rear of the lot, unlike its neighbors. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 16 Morningside Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 16 Morningside Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 16 Morningside Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BASE FORM

Historic Sites #:

Property Name: 22 Beach Road

Street Address: Street #: 22 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Beach Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.40

Local Place Name(s): N/A **Lot(s):** 10

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 22 Beach Road is a one-and-a-half story, Gable front bungalow with gabled dormers, asbestos siding, a front porch with a rooftop deck, and a gabled entry projection.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: April 7, 2023

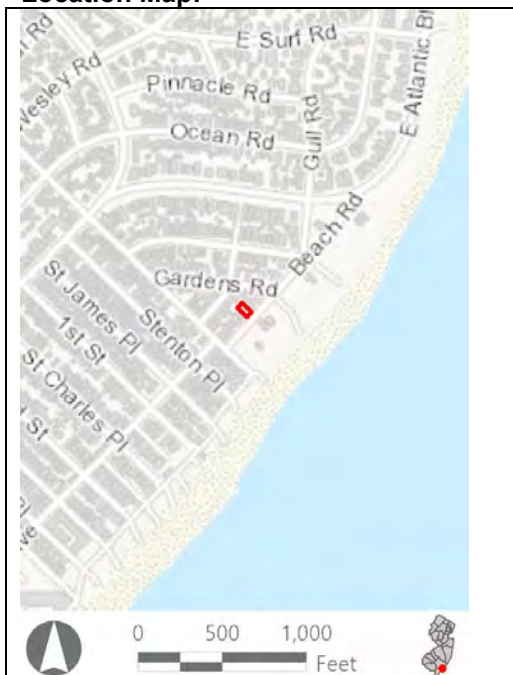
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: April 7, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>22 Beach Road</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1962</u>	Source:	<u>Njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Gable Front</u>	Stories:	<u>1.5</u>
Type:	<u>N/A</u>	Bays:	<u>3</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Asbestos Siding</u>		

Exterior Description: The building at 22 Beach Road is a one-and-a-half-story residence constructed in 1962 and located one block from the beach. The house rests on a brick foundation, is clad in asbestos siding and is capped by a front-gable roof covered in asphalt shingles. The façade faces southeast and exhibits an offset porch with balcony above, a one-story gable extension adjacent to the porch, and a sliding glass door on the second story providing access to the balcony. The northern side elevation features two gable dormers, and the southern elevation features a shed roof dormer. Fenestration consists of 1/1 vinyl-sash windows.

Interior Description: N/A

Setting: The building at 22 Beach Road is located in a densely populated beachside community in Ocean City, one block from the beach. The lots are long and narrow, and the residences are constructed close to each other. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties</u>		Date:	<u>April 7, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>			
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>			

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 22 Beach Road is associated with mid-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 22 Beach Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 22 Beach Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: April 7, 2023

Surveyor: Grant Johnson and Laura Mancuso

Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 15 Gardens Road

Street Address: Street #: 15 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Gardens Suffix: N/A Type: RD

County(s): Cape May Zip Code: 08226

Municipality(s): Ocean City Block(s): 70.39

Local Place Name(s): N/A Lot(s): 5

Ownership: Private USGS Quad(s) Ocean City

Description: The building at 15 Gardens Road is a two-story house with a gable-on-hip roof, clad in wood shingle and asbestos siding, featuring a two-story front porch and an attached garage.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

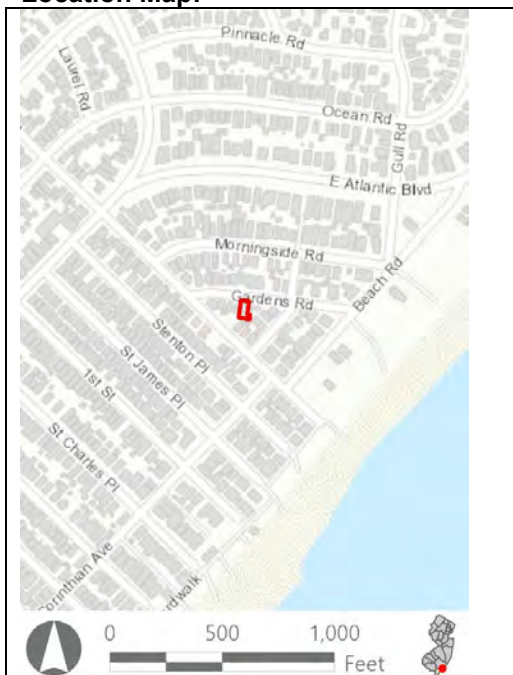


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 15 Gardens Road	
Historic Name: N/A	
Present Use: Residential Activity, Permanent	
Historic Use: Residential Activity, Permanent	
Construction Date: 1940	Source: Njtaxrecords.net
Alteration Date(s): N/A	Source: N/A
Designer: N/A	Physical Condition: Fair
Builder: N/A	Remaining Historic Fabric: Low
Style: Colonial Revival	
Form: Gable Front	Stories: 2
Type: N/A	Bays: 3
Roof Finish Materials: Asphalt Shingle	
Exterior Finish Materials: Wood, Shingles and Asbestos Siding	

Exterior Description: The property at 15 Gardens Road is a two-story, one-up, one-down style duplex featuring a full-width two-story porch. The house rests on a brick foundation and is clad in asbestos shingles on the first story and wood shingles on the second story and gable end. The (north) façade is three bays wide on each story, consisting of a central entrance flanked by different types of windows; a 3/1, double-hung sash to the east and a pair of square casement windows to the west, all set in wide wood surrounds. The side elevations feature primarily 1/1, double-hung windows. The first story of the east elevation has five bays, and the second story features three plus a three-bay oriel window with 3/1, double-hung sashes. The west elevation features pairs of 1/1, double-hung sashes. The two-story façade porch is supported by robust square brick pillars that transition to wood at the second story to the roof above. A wood staircase with vinyl railings leads to the second story. Both stories of the porch have vinyl railings. The roof line is characterized by wide eaves, exposed joists, and a cantilevered gable end over the second-story porch. The gable has a pair of three-light casement windows in a square wood surround. The roof is clad in asphalt shingles.

Interior Description: N/A

Setting: The building at 15 Gardens Road is located in a residential area three blocks from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 15 Gardens Road is located in an early-twentieth-century development which included the in-filling of a saltwater pond and the extension of the peninsula into Egg Harbor. Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Allaback and Milliken, 1995; Ocean City, 2022).

Significance: The building at 15 Gardens Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 15 Gardens Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 15 Gardens Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 11 Gardens Road

Street Address: Street #: 11 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Gardens Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.39

Local Place Name(s): N/A **Lot(s):** 4

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 11 Gardens Road is a two-story house with a gable roof and a gabled wall dormer featuring a two-story porch and a detached garage.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

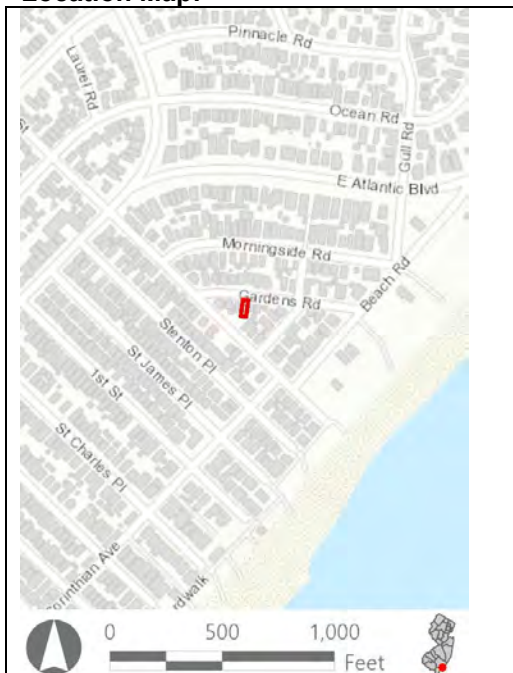
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	11 Gardens Road		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1927	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Colonial Revival		
Form:	Gable Front	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The property at 11 Gardens Road is a two-story vinyl-clad building resting on a preformed concrete block foundation. The (north) façade is three bays wide and features a full-width porch topped by a second-story patio, both with vinyl railings. Fenestration throughout consists of 1/1, double-hung windows of various sizes. The façade bays consist of a central entrance flanked by windows. The second story façade is similar, with a set of double-doors in the central bay. The west elevation features a gabled wall dormer supported by simple curved brackets. The second-story patio is reached by a set of wood stairs with vinyl railings. The roof features cornice returns in the front gable and is clad in asphalt shingles. A detached garage with a flat roof is at the rear of the property.

Interior Description: N/A

Setting: The building at 11 Gardens Road is located in a residential area three blocks from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 11 Gardens Road is located in an early-twentieth-century development which included the in-filling of a saltwater pond and the extension of the peninsula into Egg Harbor. Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Allaback and Milliken, 1995; Ocean City, 2022).

Significance: The building at 11 Gardens Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 11 Gardens Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 11 Gardens Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

Date: February 24,
2023

BASE FORM

Historic Sites #:

Property Name: 7 Gardens Road

Street Address: Street #: 7 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Gardens Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.39

Local Place Name(s): N/A **Lot(s):** 3

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 7 Gardens Road is a two-story Colonial Revival-style house with a gable roof, two-story porch, brick foundation, and a detached garage.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

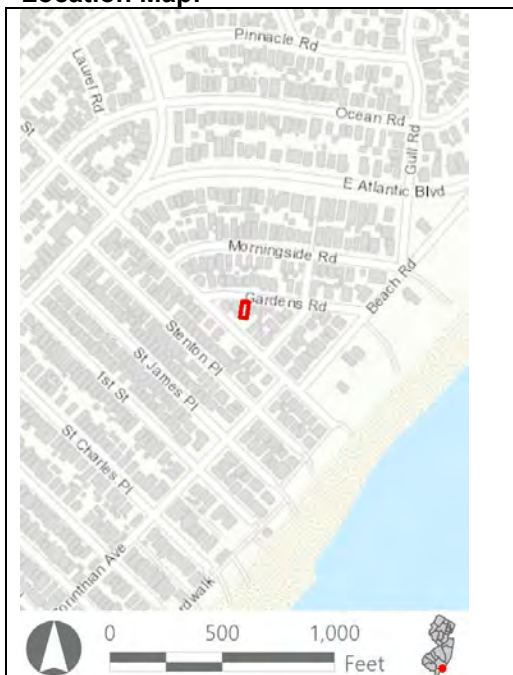


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>7 Gardens Road</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1934</u>	Source:	<u>Njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>Colonial Revival</u>		
Form:	<u>Gable Front</u>	Stories:	<u>2</u>
Type:	<u>N/A</u>	Bays:	<u>2</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Asbestos Siding</u>		

Exterior Description: The property at 7 Gardens Road is a two-story Colonial Revival-style house clad in asbestos shingles and set on a brick and preformed concrete block foundation. The (north) façade has three bays on the first story and two on the second. The façade features a full-width porch topped by a second-story patio, each featuring wood railings and spindles arranged in a diamond pattern in the center of each length. The porch roof is supported by square pillars, grouped in threes at each corner. Fenestration includes 1/1, double-hung windows and square casement windows with diamond patterned muntins, all set in in trabeated wood surrounds. The first story façade features a central door flanked by windows with wood shutters. The side elevations feature four bays each and the east elevation features a gabled wall dormer supported by simple curved brackets. The façade gable features cornice returns and a semicircular vent. The roof is clad in asphalt shingles. A detached garage with a flat roof is at the rear of the property.

Interior Description: N/A

Setting: The building at 7 Gardens Road is located in a residential area three blocks from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties <u>Survey</u>	Date:	February 24, <u>2023</u>
Surveyor:	Grant Johnson and Laura Mancuso Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 7 Gardens Road is located in an early-twentieth-century development which included the in-filling of a saltwater pond and the extension of the peninsula into Egg Harbor. Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Allaback and Milliken, 1995; Ocean City, 2022).

Significance: The building at 7 Gardens Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 7 Gardens Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 7 Gardens Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 1 Gardens Road

Street Address: Street #: 1 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Gardens Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.39

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 1 Gardens Road is a two-story, circa-1960, vernacular residence with an asphalt-shingled roof, wood shingle siding, and a second story balcony.

Registration and Status Dates: National Historic Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties

Date: February 24, 2023

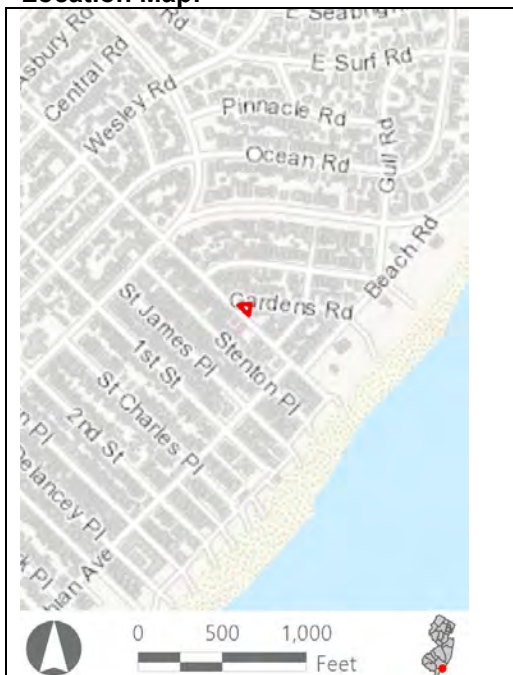
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	1 Gardens Road		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1960	Source:	Stylistic Evidence
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Gable Front	Stories:	2
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Wood, Shingles		

Exterior Description: The building at 1 Gardens Road is a two-story house on a concrete block foundation. The house has a rectangular plan and is situated on a corner lot at a slightly oblique angle to the other houses on the block. The building is clad in wood shingles and features an asymmetrical fenestration pattern, consisting of 1/1, double-hung windows alone or in pairs in simple vinyl surrounds. Most of the windows have vinyl shutters. At the east elevation is a brick chimney which runs from grade and extends beyond the roofline. A door to the south of the chimney opens onto a concrete patio with a metal railing. A two-story extension to the north features a first-story garage bay. The west elevation features a first-story entrance and a second-story porch with vinyl-clad supports and railings covered by a cantilevered gable end. The low-slung gable roof is clad in asphalt shingles.

Interior Description: N/A

Setting: The building at 1 Gardens Road is located in a residential area three blocks from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 1 Gardens Road is located in an early-twentieth-century development which included the in-filling of a saltwater pond and the extension of the peninsula into Egg Harbor. Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Allaback and Milliken, 1995; Ocean City, 2022).

Significance: The building at 1 Gardens Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1 Gardens Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 1 Gardens Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 8 Gardens Road

Street Address: Street #: 8 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Gardens Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.38

Local Place Name(s): N/A **Lot(s):** 21

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 8 Gardens Road is a one-and-one-half-story Craftsman-style house with a gable-on-hip roof, shed-roofed wall dormers, single-story projection, and a detached garage.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

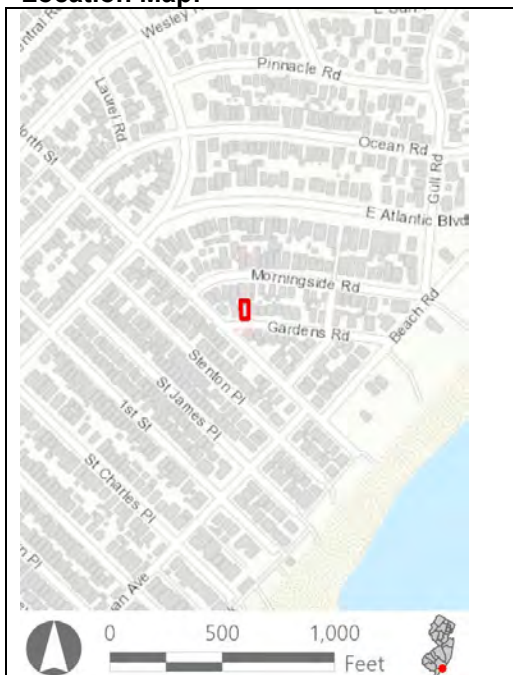
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	8 Gardens Road		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1936	Source:	njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Craftsman		
Form:	Gable front	Stories:	2
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding, Stucco		

Exterior Description: The building at the building at 8 Gardens Road is a one-and-one-half-story Craftsman-style house resting on a brick foundation. The first story is clad in stucco and the upper half-story in vinyl siding. The fenestration is primarily 1/1, double-hung windows. One the (south) façade, a one-bay projection on the first story features a group of three windows flanked by vinyl shutters. An arched doorway with decorative brick accenting opens onto a brick patio and is covered by a gabled portico roof partially engaged with the roof of the projections. The patio features a metal railing. The west elevation features a three-sided bay window. The façade's upper half-story features a pair of windows and vinyl shutters. The side elevations at this level each have flat, shed-roof dormers. The roof is clad in asphalt shingles.

Interior Description: N/A

Setting: The building at 8 Gardens Road is located in a residential area three blocks from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 8 Gardens Road is located in an early-twentieth-century development which included the in-filling of a saltwater pond and the extension of the peninsula into Egg Harbor. Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Allaback and Milliken, 1995; Ocean City, 2022).

Significance: The building at 8 Gardens Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 8 Gardens Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 8 Gardens Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 79 Morningside Road

Street Address: Street #: 79 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Morningside Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.37

Local Place Name(s): N/A **Lot(s):** 5

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 79 Morningside Road is a two-and-one-half-story Shingle-style house with a gable ell form, dormered gambrel roofs, a second-story porch, brick foundation, and detached period garage.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

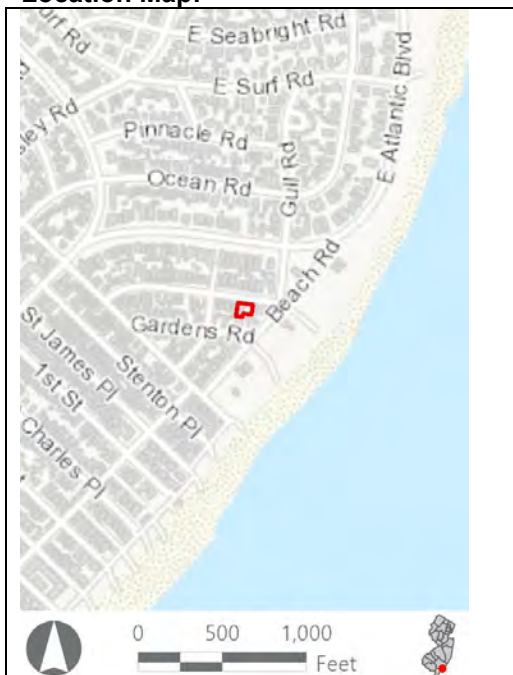
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	79 Morningside Road		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1921	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	Medium
Style:	Shingle		
Form:	Other	Stories:	2.5
Type:	N/A	Bays:	3
Roof Finish Materials:	Wood, Shingle		
Exterior Finish Materials	Wood, Shingle		

Exterior Description: The property at 79 Morningside Road is a two-and-one-half-story Shingle-style house in a gable ell form clad in wood shingles and resting on a brick foundation. The (north) façade of the first story features a covered breezeway supported by square red brick piers. Within the breezeway is an entrance flanked by rectangular sidelights with diamond-patterned muntins. To the west is a set of garage doors, and to the east are a pair of small 4/1, double-hung windows. A sunroom to the east features three large, six-paned windows in a wood surround. On the east elevation is a low-arched window featuring a band of six-paned windows. The second story features a porch atop the breezeway with wood railings and paneled posts. The second story façade features three bays of doors; two sliding doors with diamond lights and a hinged door with square multi-pane sidelights. The porch is covered by a shingle-clad hipped pent roof supported by pairs of wood paneled piers and features wide eaves with exposed joists. To the east on the ell volume is a set of sliding doors flanked by full-height sidelights, all with diamond lights. The east elevation of the second story features a wide oriel window featuring a band of 6/1, double-hung windows, wood paneling, and a pent roof. The upper-hand story features a patio above the second-story porch, accessed by two sliding doors, two shed-roof dormers engaged at the inside corner of the ell, a balcony accessed by sliding doors, and a blank circular medallion. The gable end on the east elevation has a row of four 4/1, double-hung windows. The building terminates in a gambrel roof clad in wood shingles. A one-story detached garage features similar materials, and window and door treatments, and gambrel roof.

Interior Description: N/A

Setting: The building at 79 Morningside Road is located in a residential area two blocks from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 79 Morningside Road is located in an early-twentieth-century development which included the in-filling of a saltwater pond and the extension of the peninsula into Egg Harbor. Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Allaback and Milliken, 1995; Ocean City, 2022).

Significance: The building at 79 Morningside Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 79 Morningside Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 79 Morningside Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 71 Morningside Road

Street Address: Street #: 71 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Morningside Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.37

Local Place Name(s): N/A **Lot(s):** 4

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 71 Morningside Road is a three-story house with a jerkinhead gable roof, second-story porch, and a detached garage.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

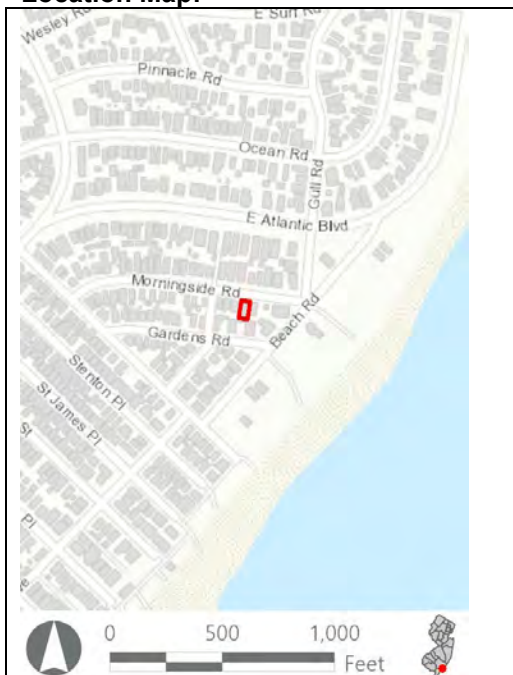


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso Environmental Design & Research, Landscape Architecture, Engineering & Organization: Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	71 Morningside Road		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1928	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	3
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Wood, Shingle and Vinyl Siding		

Exterior Description: The building at 71 Morningside Road is a three-story house. The first two stories are clad in vinyl siding. Fenestration consists mainly of 6/1 or 1/1 double-hung vinyl replacement windows. The (north) façade's first story features a door in the center bay flanked by a window to the east and a set of three single-pane windows to the west and is covered by a second-story porch supported by square columns. The second-story porch extends slightly beyond the full width of the house on the east side and is reached by a wood staircase. The second-story façade features a door in the center bay flanked by a pair of windows to the east and a single window to the west. The porch is covered by a roof with wide eaves and exposed joists. The third story is clad in wood shingles, and the facade features two pairs of windows in wood surrounds. The gable is divided by a pent roof, above which is a pair of square sliding-sash windows. The building terminates in a jerkinhead gable roof, clad in asphalt shingles.

Interior Description: N/A

Setting: The building at 71 Morningside Road is located in a residential area two blocks from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 71 Morningside Road is located in an early-twentieth-century development which included the in-filling of a saltwater pond and the extension of the peninsula into Egg Harbor. Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Allaback and Milliken, 1995; Ocean City, 2022).

Significance: The building at 71 Morningside Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 71 Morningside Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 71 Morningside Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 65 Morningside Road

Street Address: Street #: 65 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Morningside Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.37

Local Place Name(s): N/A **Lot(s):** 3

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 65 Morningside Road is a two-story house with gable-on-hip roofs, shed-roofed wall dormers, a rear ell, two-story porch, and a detached garage.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

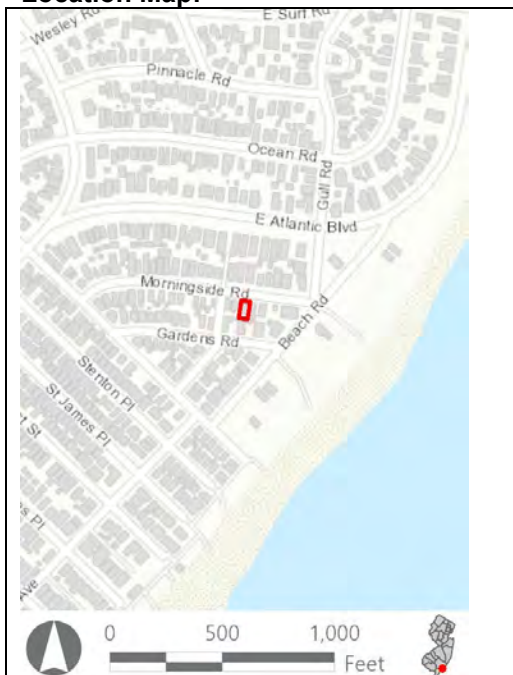


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>65 Morningside Road</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1931</u>	Source:	<u>Njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Fair</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Gable Front</u>	Stories:	<u>2</u>
Type:	<u>N/A</u>	Bays:	<u>3</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Vinyl Siding</u>		

Exterior Description: The building at 65 Morningside Road is a two-story house with a rear ell form. Fenestration consists of 1/1, double-hung vinyl replacement windows throughout. The (north) façade features near symmetry on the first and second stories, with a central doorway flanked by windows, although the first story is slightly off center and there are a pair of small windows in the bay to the west of the door. All doors and windows are set in simple trabeated surrounds. The façade features a two-story porch supported by square columns wrapped in vinyl, and features vinyl railings on each story. The porch is covered by a wide portion of the gable-on-hip roof and the façade gable features a pair of small windows. The rear ell portion features a single façade bay with a pent roof above the first story. The east elevation features two bays on the main volume and on the rear ell portion. A shed-roof dormer is on the eastern slope of the roof and features a pair of windows.

Interior Description: N/A

Setting: The building at 65 Morningside Road is located in a residential area one block from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 65 Morningside Road is located in an early-twentieth-century development which included the in-filling of a saltwater pond and the extension of the peninsula into Egg Harbor. Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Allaback and Milliken, 1995; Ocean City, 2022).

Significance: The building at 65 Morningside Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 65 Morningside Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 65 Morningside Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BASE FORM

Historic Sites #:

Property Name: 61 Morningside Road

Street Address: Street #: 61 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Morningside Suffix: N/A Type: 61

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.37

Local Place Name(s): N/A **Lot(s):** 2

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 65 Morningside Road is a three-story gable front house with a jerkinhead roof, a second-story porch, clad in vinyl siding.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

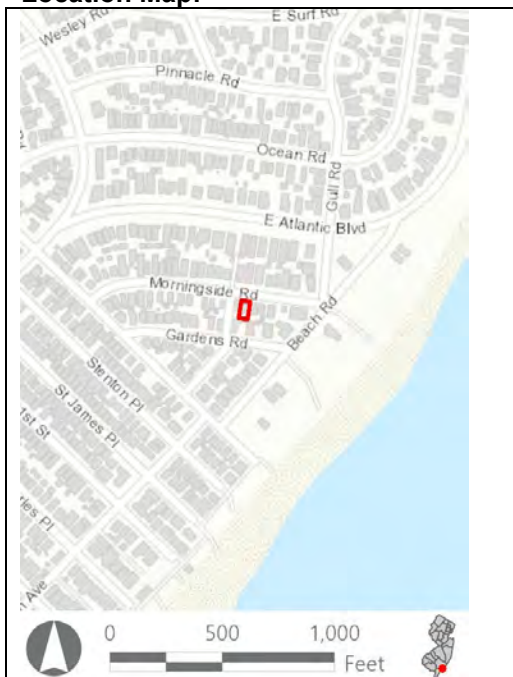


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	61 Morningside Road		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1927	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Gable Front	Stories:	3
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 61 Morningside Road is a three-story house clad in vinyl siding. Fenestration consists of 1/1 double-hung vinyl replacement windows. The (north) façade's first story features a door in the center bay flanked by a window to the east and a set of three single-pane windows to the west and is covered by a second-story porch supported by square wood columns. The second-story porch extends slightly beyond the full width of the house on the east side and is reached by a wood staircase and features vinyl railings. The second-story façade features a door in the center bay flanked by a pair of windows to the east and a single window to the west. The porch is covered by a roof with a flat cornice. The third story facade features two pairs of windows with vinyl shutters. The gable is divided by a pent roof, above which is a pair of square sliding-sash windows and is clad in vinyl siding shaped to resemble scalloped shingles. The building terminates in a jerkinhead gable roof, clad in asphalt shingles.

Interior Description: N/A

Setting: The building at 61 Morningside Road is located in a residential area one block from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 61 Morningside Road is located in an early-twentieth-century development which included the in-filling of a saltwater pond and the extension of the peninsula into Egg Harbor. Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Allaback and Milliken, 1995; Ocean City, 2022).

Significance: The building at 61 Morningside Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 61 Morningside Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 61 Morningside Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 53 Morningside Road

Street Address: Street #: 53 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Morningside Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.38

Local Place Name(s): N/A **Lot(s):** 13

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 53 Morningside Road is a two-story gable roof Colonial Revival-style house on a corner lot with a center entry on the side-gable elevation and the primary entry on the gable end within a two-story porch. The house has cornice returns and wood shingle siding.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

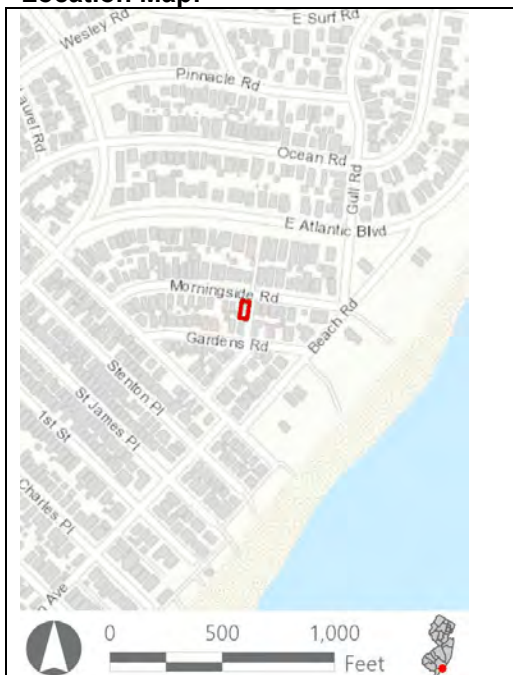
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

1902

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	53 Morningside Road		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1948	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Fair
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Colonial Revival		
Form:	Gable Front	Stories:	2
Type:	N/A	Bays:	4
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Wood, Shingle		

Exterior Description: The building at 53 Morningside Road is a two-story gable roof Colonial Revival-style house clad in wood shingles. The (north) façade has three bays and the east elevation has three bays on the first story and four on the second. The façade features a two-story porch with vinyl railings supported by slender Doric columns and topped by a low-pitched hipped roof. Fenestration is primarily 6/1, double-hung vinyl replacements with false muntins, and all windows and doors are set in simple trabeated wood surrounds. The first story façade features a central doorway, flanked by windows, with the window to the east itself flanked by narrow rectangular lights. The second story features a similar door and flanking windows scheme, with the door slightly off-center. The gable above the porch roof has a pair of small, four-light casement windows. All façade windows have vinyl shutters. The east elevation features a secondary entrance accessed by a short set of concrete block steps and covered by a gabled portico with brackets. This doorway is flanked by a pair of windows to the south and a single window to the north. The front gabled roof features cornice returns and is clad in asphalt shingles.

Interior Description: N/A

Setting: The building at 53 Morningside Road is located in a residential area two blocks from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 53 Morningside Road is located in an early-twentieth-century development which included the in-filling of a saltwater pond and the extension of the peninsula into Egg Harbor. Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Allaback and Milliken, 1995; Ocean City, 2022).

Significance: The building at 53 Morningside Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 53 Morningside Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 53 Morningside Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 45 Morningside Road

Street Address: Street #: 45 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Morningside Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.38

Local Place Name(s): N/A **Lot(s):** 11

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 45 Morningside Road is an aluminum-clad one-and-one-half-story gambrel front Dutch Colonial Revival-style house with wide, shed-roof dormers, an overhanging second story, and a recessed front porch with Doric columns.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

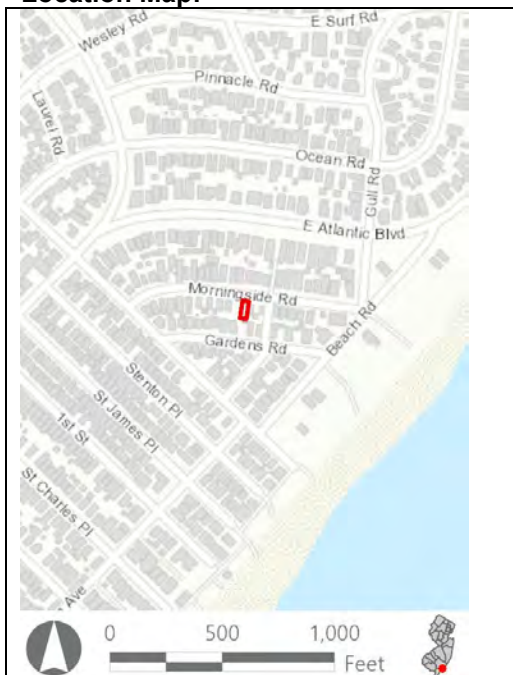


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>45 Morningside Road</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1936</u>	Source:	<u>Njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>Dutch Colonial Revival</u>		
Form:	<u>Gable Front</u>	Stories:	<u>1.5</u>
Type:	<u>N/A</u>	Bays:	<u>2</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Aluminum Siding</u>		

Exterior Description: The building at 45 Morningside Road is a one-and-one-half-story Dutch Colonial Revival-style house clad in aluminum siding and featuring a prominent gambrel front. The house rests on a brick foundation. Fenestration consists primarily of 6/1, double-hung vinyl replacement windows with false muntins. The (north) façade features a full-width porch with vinyl railings supported by Doric columns beneath a cantilevered projection of the upper half-story. The first story façade features a central doorway flanked by windows, and the upper half-story features two windows. The top of the gable has a square, four-paned window. Each side elevation is characterized by full length shed-roof dormers on the upper half-story. Fenestration on the side elevations includes single or paired windows, and some small square fixed windows. The roof is clad in asphalt shingles.

Interior Description: N/A

Setting: The building at 45 Morningside Road is located in a residential area two blocks from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 45 Morningside Road is located in an early-twentieth-century development which included the in-filling of a saltwater pond and the extension of the peninsula into Egg Harbor. Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Allaback and Milliken, 1995; Ocean City, 2022).

Significance: The building at 45 Morningside Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 45 Morningside Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 45 Morningside Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 33 Morningside Road

Street Address: Street #: 33 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Morningside Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.38

Local Place Name(s): N/A **Lot(s):** 9

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 33 Morningside Road is an altered Foursquare-style house with a hipped roof, shingle siding, and a one-story front porch with tapered square columns. Alterations include a prominent gabled dormer with a balcony, a secondary roof gable, and a hipped roof monitor or cupola.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

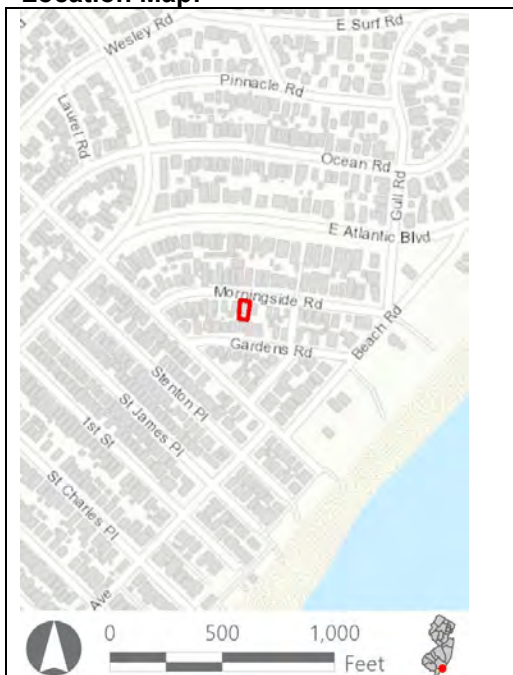
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	33 Morningside Road		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1932	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Four Square	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 33 Morningside Road is an altered Foursquare-style house clad in wood shingles and set upon a brick foundation. The second story projects slightly around the house's perimeter above the first story. The house features a one-story porch that wraps the (north) façade and west elevations and has vinyl railings and tapered square columns supporting a wide frieze and a pent roof. Fenestration consists of 6/6, double-hung vinyl replacement windows with false muntins set in simple wood surrounds. The first story of the façade features a central door in a simple trabeated surround flanked by windows. The side elevations on this story each have two bays: the west elevation with pairs of windows, and the east elevation with single windows in each bay. A shallow pent roof divides the first and second stories. The second story features a small patio on the pent roof with vinyl railings, accessed by a set of sliding doors set within a trabeated surround with a wide, paneled frieze, all set within a slightly projecting gabled dormer. The dormer is flanked by windows. The east slope of the roof has a shed roof dormer with three square windows. A square cupola rises from the cross gable ridge. The roof is clad in asphalt shingles.

Interior Description: N/A

Setting: The building at 33 Morningside Road is located in a residential area three blocks from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 33 Morningside Road is located in an early-twentieth-century development which included the in-filling of a saltwater pond and the extension of the peninsula into Egg Harbor. Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Allaback and Milliken, 1995; Ocean City, 2022).

Significance: The building at 33 Morningside Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 33 Morningside Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 33 Morningside Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 9 Morningside Road

Street Address: Street #: 9 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Morningside Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.38

Local Place Name(s): N/A **Lot(s):** 3

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 9 Morningside Road is a two-story house with an overhanging front gable, a shallow two-story porch, three-bay façade, and vinyl siding.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

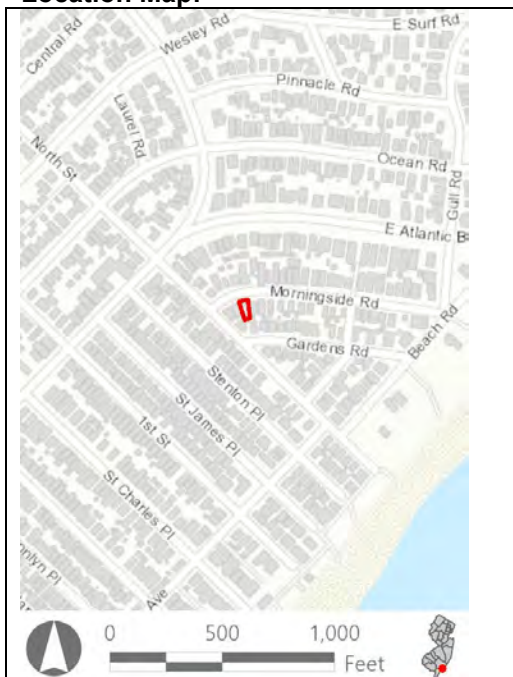


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	9 Morningside Road		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1974	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Gable front	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 9 Morningside Road is a two-story house clad in vinyl siding and featuring a shallow two-story porch. Fenestration consists of 1/1, double-hung vinyl replacement windows. The (north) façade features three symmetrical bays on each story; consisting on both stories of a central door flanked by windows, all within simple trabeated surrounds. The first story porch is constructed of poured concrete. The second-story porch is supported by vinyl-wrapped square supports, and features vinyl railings and supports that rise to the overhanging gable. A metal staircase with vinyl railings is located against the east elevation. The gable is clad in vinyl siding shaped to resemble scalloped shingles. The roof is clad in asphalt shingles.

Interior Description: N/A

Setting: The building at 9 Morningside Road is located in a residential area three blocks from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 9 Morningside Road is located in an early-twentieth-century development which included the in-filling of a saltwater pond and the extension of the peninsula into Egg Harbor. Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Allaback and Milliken, 1995; Ocean City, 2022).

Significance: The building at 9 Morningside Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 9 Morningside Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 9 Morningside Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 15 Morningside Road

Street Address: Street #: 15 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Morningside Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.38

Local Place Name(s): N/A **Lot(s):** 4

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 15 Morningside Road is a heavily-altered and elevated foursquare, gable-front house with a front porch and shingle siding. Alterations include the removal of the primary entry from the porch to a stepped back side bay with a tower and abnormally long round-arch window, stone veneer, and the elevated front porch supported by a prominent segmental-arch arcade.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

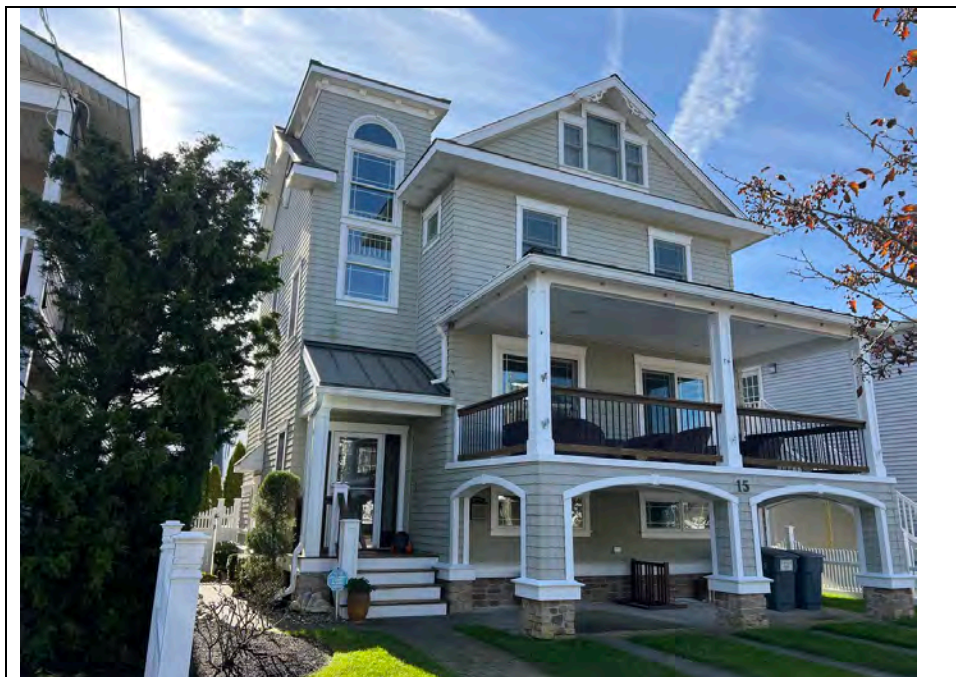
New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

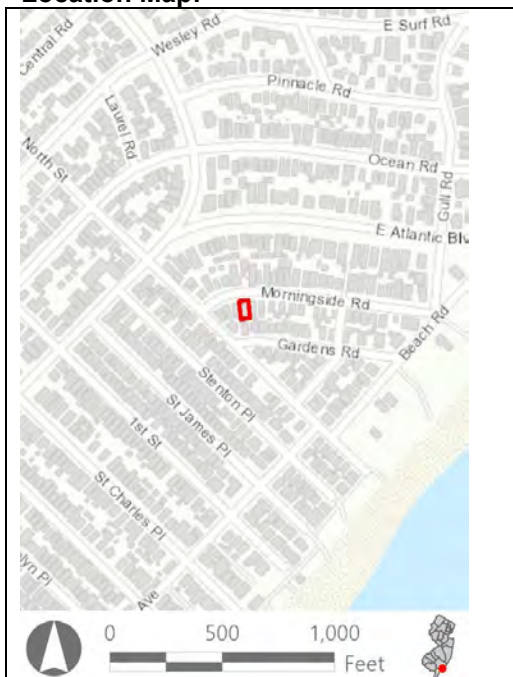
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes

(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	15 Morningside Road		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1920	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Four Square	Stories:	3
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 15 Morningside Road is a Foursquare-style house with a front gable and a stepped back side bay featuring a three-story tower. Fenestration consists of 1/1, double-hung, side-by-side, sliding sash, and square, single-pane windows, all with false muntins and set within trabeated wood surrounds. The (north) façade features an elevated front porch supported by a prominent segmental-arch arcade. The first-story porch features wood and metal railing and square wood pillars supporting a flat roof. Two pairs of sliding doors open onto the porch. The second story features two windows beneath a wide eave. The gable has a set of three windows evocative of a Palladian window, but square. The top of eaves features carved wood details. The stepped back bay features a covered porch entrance on the first story, and a vertical row of windows above topped by a semicircular light. The tower features a hipped roof, clad in asphalt shingles.

Interior Description: N/A

Setting: The building at 15 Morningside Road is located in a residential area three blocks from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 15 Morningside Road is located in an early-twentieth-century development which included the in-filling of a saltwater pond and the extension of the peninsula into Egg Harbor. Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Allaback and Milliken, 1995; Ocean City, 2022).

Significance: The building at 15 Morningside Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 15 Morningside Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 15 Morningside Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BASE FORM

Historic Sites #:

Property Name: 29 Morningside Road

Street Address: Street #: 29 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Morningside Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.38

Local Place Name(s): N/A **Lot(s):** 8

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 29 Morningside Road is a two-story Colonial Revival-style house with gable front roof, wide shed roof dormers, and a two-story porch with an enclosed first story.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

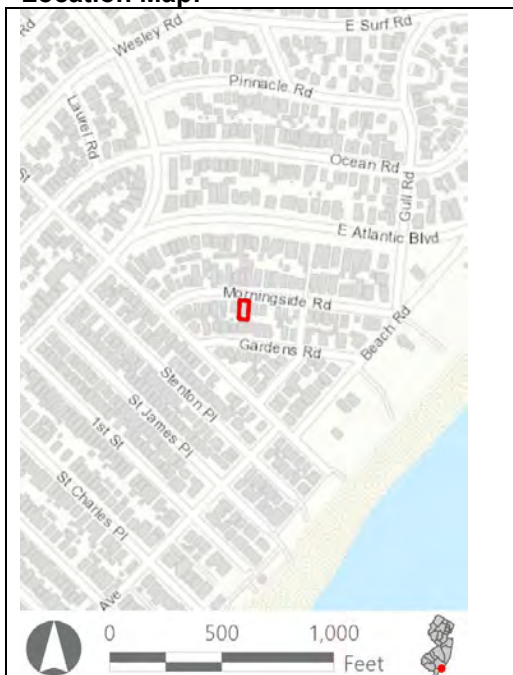


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

1922

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>29 Morningside Road</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1933</u>	Source:	<u>Njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>Colonial Revival</u>		
Form:	<u>Gable Front</u>	Stories:	<u>2</u>
Type:	<u>N/A</u>	Bays:	<u>2</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Vinyl Siding</u>		

Exterior Description: The building at 29 Morningside Road is a two-story Colonial Revival-style house clad in vinyl siding. Fenestration consists of 1/1, double-hung vinyl windows. The first story (north) façade features an enclosed porch featuring pairs of windows with vinyl shutters. A door on the east elevation opens onto a concrete patio surrounded by a cinderblock pony wall. The doorway is covered by a small gabled portico roof supported by wide curved brackets. The second-story façade features an open porch with square support pillars and a flat roof which partially obscures the gable. Each slope of the asphalt roof features long shed roof dormers. An exterior brick chimney rises up the full height of the façade and above the ridge.

Interior Description: N/A

Setting: The building at 29 Morningside Road is located in a residential area three blocks from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 29 Morningside Road is located in an early-twentieth-century development which included the in-filling of a saltwater pond and the extension of the peninsula into Egg Harbor. Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Allaback and Milliken, 1995; Ocean City, 2022).

Significance: The building at 29 Morningside Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 29 Morningside Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 29 Morningside Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 19 Morningside Road

Street Address: Street #: 19 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Morningside Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.38

Local Place Name(s): N/A **Lot(s):** 5

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 19 Morningside Road is a two-story gable front house with a three-story porch with an overhanging gable, half of which has been removed and converted to a rooftop deck.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

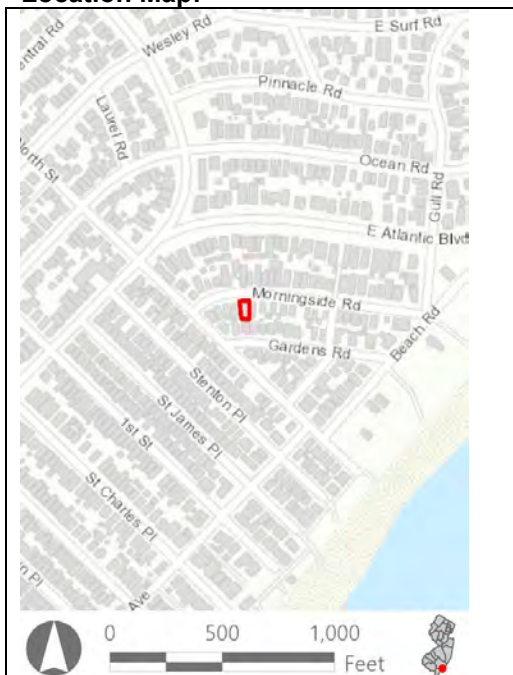
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	19 Morningside Road		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1972	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Gable Front	Stories:	2
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 19 Morningside Road is a two-story gable front house clad in vinyl siding shaped to imitate wood shingles and resting on a concrete block foundation. Fenestration consists of 1/1, double-hung vinyl windows. The (north) façade features a three-story porch constructed of a concrete slab on a brick foundation. The porch features vinyl railings supports. The third level of the porch is incorporated into half of the overhanging gable. The first- story façade features a single doorway, window, and a pair of sliding doors. The second- story features two pairs of sliding doors. Secondary entrances are located on the east elevation. A gabled penthouse volume is set back from the gable ends.

Interior Description: N/A

Setting: The building at 19 Morningside Road is located in a residential area three blocks from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 19 Morningside Road is located in an early-twentieth-century development which included the in-filling of a saltwater pond and the extension of the peninsula into Egg Harbor. Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Allaback and Milliken, 1995; Ocean City, 2022).

Significance: The building at 19 Morningside Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 19 Morningside Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 19 Morningside Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 23 Morningside Road

Street Address: Street #: 23 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Morningside Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.38

Local Place Name(s): N/A **Lot(s):** 6

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 23 Morningside Road is a two-story gable front house with an overhanging gable and a two-story porch with brick corner supports.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

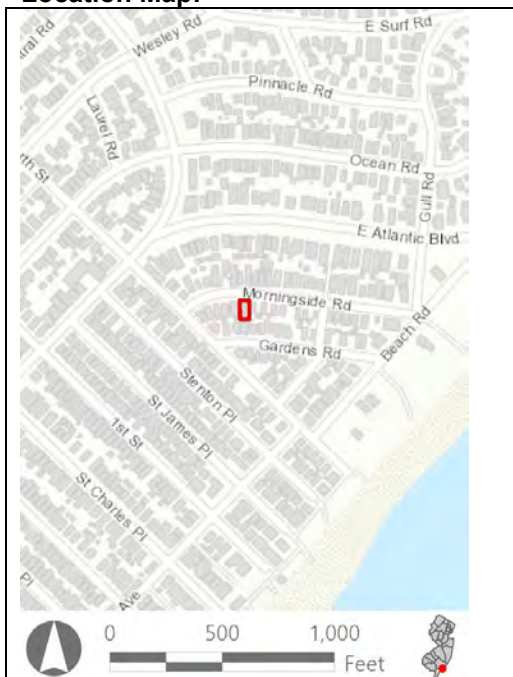


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

1930

BUILDING ATTACHMENT

Historic Sites #:

Common Name: 23 Morningside Road

Historic Name: N/A

Present Use: Residential Activity, Permanent

Historic Use: Residential Activity, Permanent

Construction Date: 1925 **Source:** Njtaxrecords.net

Alteration Date(s): N/A **Source:** N/A

Designer: N/A **Physical Condition:** Good

Builder: N/A **Remaining Historic Fabric:** Low

Style: None

Form: Gable Front **Stories:** 2

Type: N/A **Bays:** 3

Roof Finish Materials: Asphalt Shingle

Exterior Finish Materials Vinyl Siding

Exterior Description: The building at 23 Morningside Road is a two-story, one-up, one-down style duplex featuring a full-width two-story porch and rests on a brick foundation. Fenestration consists primarily of 1/1, double-hung windows. The first and second stories have identical bays. The (north) façade features a doorway flanked on one side by a typical window and on the other by a pair of square single-paned windows. The east elevation features a clipped corner bay and pairs of windows. An exterior brick chimney rises up the east elevation. The two-story façade porch is supported by robust square brick pillars that transition to wood at the second story to the roof above. A wood staircase leads to the second story. The first story of the porch has vinyl railings, while the second story has rustic wood railings. The overhanging gable end features a square vent. The roof is clad in asphalt shingles.

Interior Description: N/A

Setting: The building at 23 Morningside Road is located in a residential area three blocks from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 23 Morningside Road is located in an early-twentieth-century development which included the in-filling of a saltwater pond and the extension of the peninsula into Egg Harbor. Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Allaback and Milliken, 1995; Ocean City, 2022).

Significance: The building at 23 Morningside Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

**National
Register Criteria:**

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 23 Morningside Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 23 Morningside Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 2 Morningside Road

Street Address: Street #: 2 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Morningside Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.34

Local Place Name(s): N/A **Lot(s):** 38

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 2 Morningside Road is a two-story house with a gabled roof and asbestos shingle siding.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

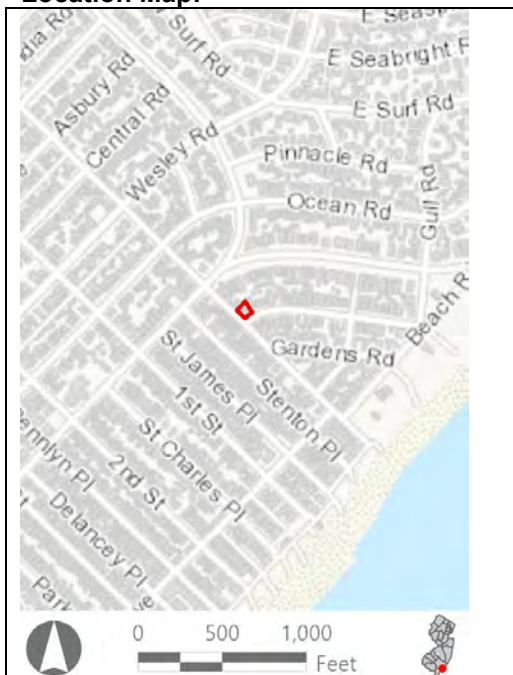


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

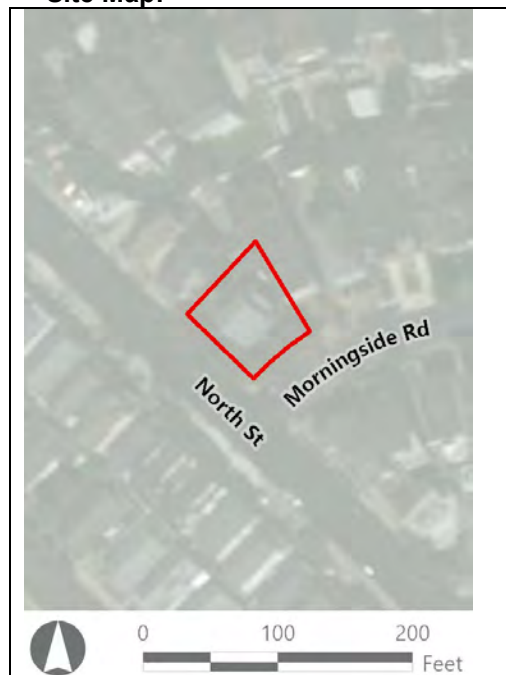
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>2 Morningside Road</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1932</u>	Source:	<u>Njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Other</u>	Stories:	<u>2</u>
Type:	<u>N/A</u>	Bays:	<u>3</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Asbestos Siding</u>		

Exterior Description: The building at 2 Morningside Road is a two-story house with a side wing clad in asbestos shingles. Fenestration consists of 6/1, double-hung windows in simple trabeated wood surrounds. The first-story (south) façade door opens onto a low concrete porch. The central bay of the first story features a three-bay oriel window. A secondary entrance opens onto a brick and concrete patio on the west elevation. A pent roof separates the first and second stories. A one-and-ne-half-story wing on the east elevation features a cinderblock exterior chimney. The roof is clad in asphalt shingles.

Interior Description: N/A

Setting: The building at 2 Morningside Road is located in a residential area three blocks from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 2 Morningside Road is located in an early-twentieth-century development which included the in-filling of a saltwater pond and the extension of the peninsula into Egg Harbor. Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Allaback and Milliken, 1995; Ocean City, 2022).

Significance: The building at 2 Morningside Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 2 Morningside Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 2 Morningside Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 58 Morningside Road

Street Address: Street #: 58 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Morningside Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.35

Local Place Name(s): N/A **Lot(s):** 11

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 58 Morningside Road is a two-story Colonial Revival-style house with a gabled roof, two-story porch, and vinyl siding.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

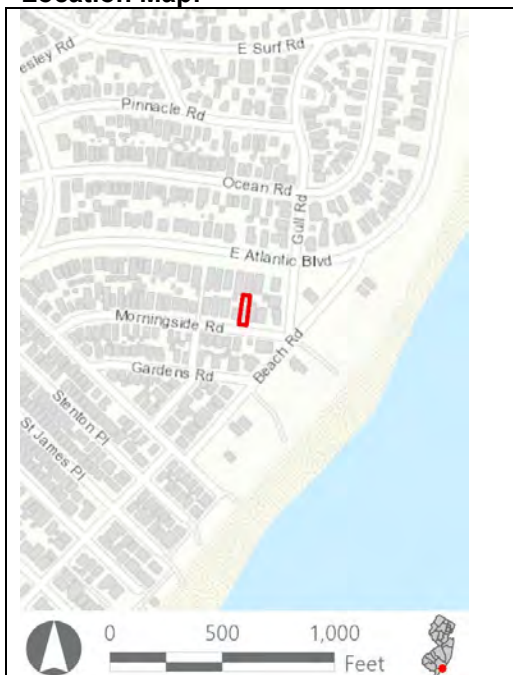
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

1938

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>58 Morningside Road</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1946</u>	Source:	<u>Njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>Colonial Revival</u>		
Form:	<u>Gable Front</u>	Stories:	<u>2</u>
Type:	<u>N/A</u>	Bays:	<u>2</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Vinyl Siding</u>		

Exterior Description: The building at 58 Morningside Road is a two-story Colonial Revival-style house set upon a brick foundation and clad in vinyl. The (south) façade is two bays wide and features a one-story porch topped by an open patio. Fenestration consists of 1/1, double-hung windows in vinyl surrounds. The first-story façade features two doors that open onto a brick and fieldstone porch with vinyl-wrapped square columns. The second story façade features a window and a door that opens onto a patio with a vinyl railing. The east elevation features a secondary entrance covered by a shallow gable and brackets. The second story on this side has a three-bay oriel window in the center of the wall. The building terminates in an asphalt shingle-clad roof with cornice returns.

Interior Description: N/A

Setting: The building at 58 Morningside Road is located in a residential area two blocks from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 58 Morningside Road is located in an early-twentieth-century development which included the in-filling of a saltwater pond and the extension of the peninsula into Egg Harbor. Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Allaback and Milliken, 1995; Ocean City, 2022).

Significance: The building at 58 Morningside Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 58 Morningside Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 58 Morningside Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 56 Morningside Road

Street Address: Street #: 56 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Morningside Road Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.35

Local Place Name(s): N/A **Lot(s):** 12

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 56 Morningside Road is a one-and-one-half-story c. 1935 residence with a gabled roof and small patio covered with awning.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

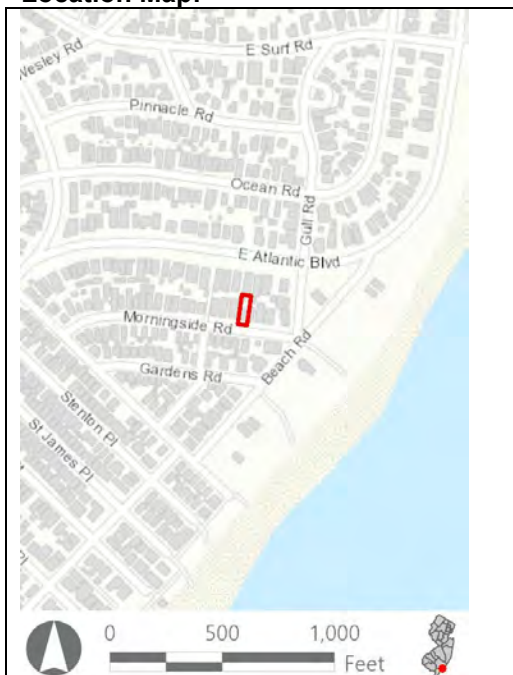
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

1942

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	56 Morningside Road		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1935	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Gable Front	Stories:	1.5
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl		

Exterior Description: The building at 56 Morningside Road is a one-and-one-half-story Colonial Revival-style cottage clad in vinyl on a preformed concrete block foundation. Fenestration consists of 1/1 or 6/1, double-hung replacement windows. The (south) façade features a one-story porch projection with a gable roof and Doric columns that has been enclosed with multipaned windows and wood panel kickplates. The front door opens onto a small brick patio. The western slope of the roof features a long, shed roof dormer. The roof is clad in asphalt shingles.

Interior Description: N/A

Setting: The building at 56 Morningside Road is located in a residential area two blocks from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 56 Morningside Road is located in an early-twentieth-century development which included the in-filling of a saltwater pond and the extension of the peninsula into Egg Harbor. Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Allaback and Milliken, 1995; Ocean City, 2022).

Significance: The building at 56 Morningside Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 56 Morningside Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 56 Morningside Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 42 Morningside Road

Street Address: Street #: 42 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Morningside Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.34

Local Place Name(s): N/A **Lot(s):** 19

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 42 Morningside Road three-story Dutch Colonial Revival-style house clad in green shingle siding with a covered deck on the second floor.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

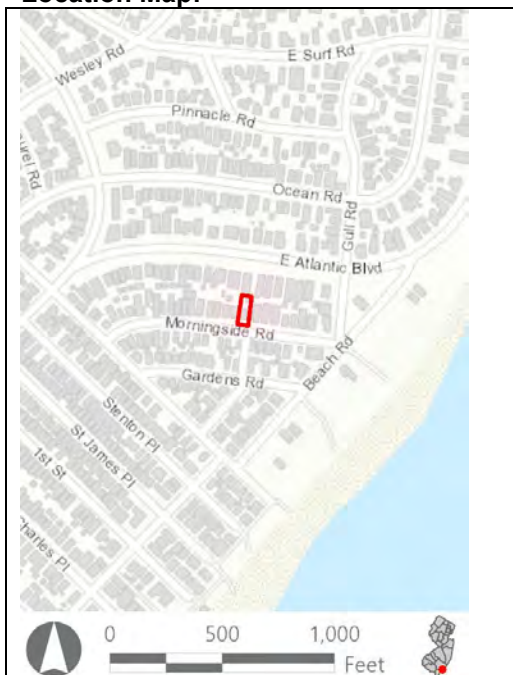
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

1946

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	42 Morningside Road		
Historic Name:	N/A		
Present Use:	Residential Activity, permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1913	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	Medium
Style:	Dutch Colonial Revival		
Form:	Gable Front	Stories:	3
Type:	N/A	Bays:	2
Roof Finish Materials:	Shingle, Asphalt		
Exterior Finish Materials	Wood, Shingle		

Exterior Description: The building at 42 Morningside Road three-story Dutch Colonial Revival-style house. The house is set upon a brick foundation and features a covered breezeway along the first story, supported by square, shingle-clad piers. A wood staircase leads to a covered porch that wraps the first story, a portion of it fully enclosed. Fenestration consists of 6/6, double-hung windows. The porch roof has wide eaves and exposed joists. The gambrel roof features pairs gable dormers connected by flat roofed hyphens, clad in asphalt shingles. The gable front has a trio of small windows at the top. The eaves feature shallow brackets.

Interior Description: N/A

Setting: The building at 42 Morningside Road is located in a residential area two blocks from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 42 Morningside Road is located in an early-twentieth-century development which included the in-filling of a saltwater pond and the extension of the peninsula into Egg Harbor. Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Allaback and Milliken, 1995; Ocean City, 2022).

Significance: The building at 42 Morningside Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 42 Morningside Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 42 Morningside Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 40 Morningside Road

Street Address: Street #: 40 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Morningside Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.34

Local Place Name(s): N/A **Lot(s):** 20

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 40 Morningside Road is a two-story c. 1925 vernacular residence with one garage door into first story and a covered balcony on the second story.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

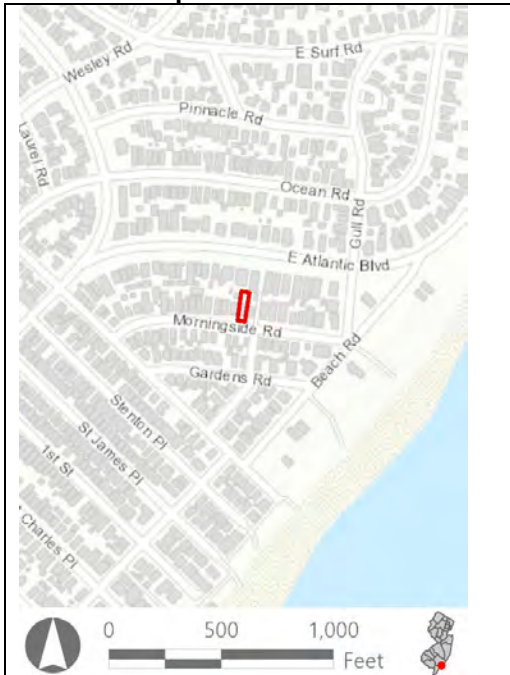
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	40 Morningside Road		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1925	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Gable front	Stories:	2
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Wood, Clapboard		

Exterior Description: The building at 40 Morningside Road is a two-story house with an overhanging front gable. Fenestration consists of 1/1, double-hung windows set in trabeated surrounds. The (south) façade features an entrance door and a garage door on the first story. The second story features a central door flanked by pairs of windows. A covered balcony on the second story is reached by a wood staircase rising from the driveway and is supported by brick piers. These piers transition to tapered wood piers at the second story and rise to the overhanging gable. The gable is punctured by a small four-light window. The west elevation features a slightly overhanging second story and a two-bay oriel. The roof features wide eaves and brackets and is clad in asphalt shingles.

Interior Description: N/A

Setting: The building at 40 Morningside Road is located in a residential area two blocks from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 40 Morningside Road is located in an early-twentieth-century development which included the in-filling of a saltwater pond and the extension of the peninsula into Egg Harbor. Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Allaback and Milliken, 1995; Ocean City, 2022).

Significance: The building at 58 Morningside Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 40 Morningside Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 40 Morningside Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 36 Morningside Road

Street Address: Street #: 36 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Morningside Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.34

Local Place Name(s): N/A **Lot(s):** 21

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 36 Morningside Road is a two-story Foursquare-style dwelling with a hipped roof with dormer, two-story porch, vinyl siding, and a brick raised basement.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

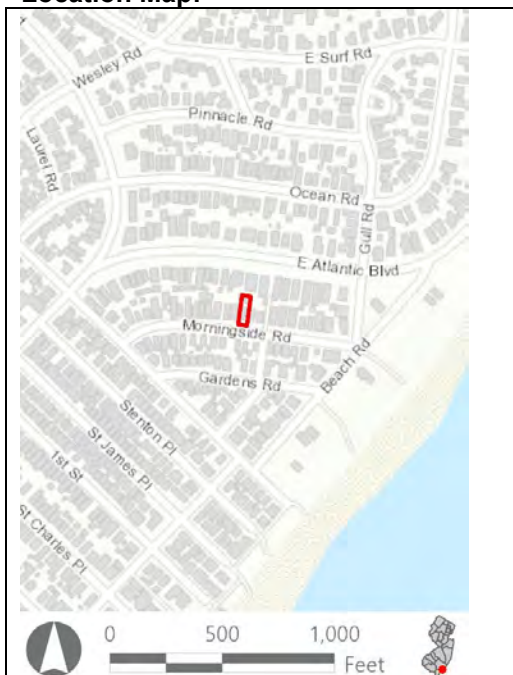
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	36 Morningside Road		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1910	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Colonial Revival		
Form:	Four Square	Stories:	2
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 36 Morningside Road is a two-story Foursquare-style house on a brick elevated basement. Fenestration consists of 1/1, double-hung windows. The (south) façade side of the basement is enclosed by a segmental arcaded breezeway. The upper stories are clad in vinyl siding. A two-story porch is reached by a wood staircase, and is supported by square piers at the corners, which transition to groups of small square supports at the second story. The first-story façade features a door flanked by windows. The second story features a single door and a pair of sliding doors. A three-bay oriel window is on the second story, east elevation. The hipped roof is clad in asphalt shingles, has wide eaves and a flat roofed dormer is on the south slope.

Interior Description: N/A

Setting: The building at 36 Morningside Road is located in a residential area two blocks from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 36 Morningside Road is located in an early-twentieth-century development which included the in-filling of a saltwater pond and the extension of the peninsula into Egg Harbor. Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Allaback and Milliken, 1995; Ocean City, 2022).

Significance: The building at 36 Morningside Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 36 Morningside Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 36 Morningside Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 10 Morningside Road

Street Address: Street #: 10 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Morningside Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.34

Local Place Name(s): N/A **Lot(s):** 34

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 10 Morningside Road is a two-story hipped-roof house with a two-story porch with brick supports at the first story, and vinyl siding.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

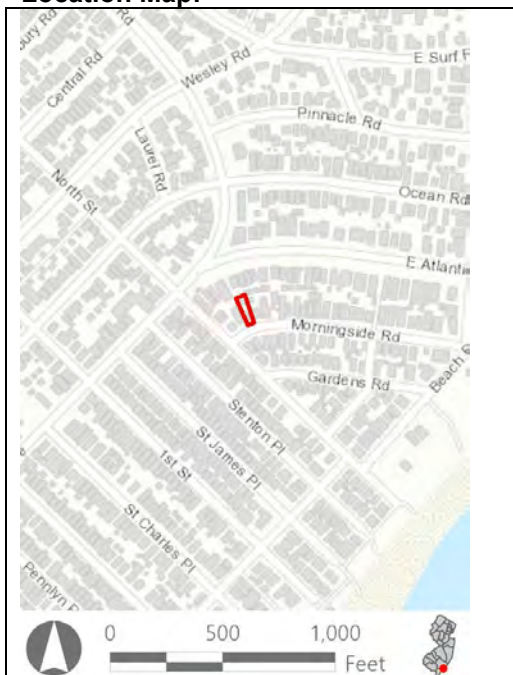


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

1958

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	10 Morningside Road		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1930	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 10 Morningside Road is a two-story, one-up, one-down style duplex featuring a full-width two-story porch. The house rests on a brick foundation and is clad in vinyl and wood panel siding. Fenestration consist of 1/1 or 6/1 double-hung windows, the latter having false muntins. The (south) façade is three bays wide on each story, consisting of a central entrance flanked -hung windows to the west and a pair of square casement windows to the east, all set in trabeated wood surrounds. The West elevation features a secondary entrance and an exterior brick chimney. The two-story façade porch is supported by robust square brick pillars that transition to vinyl wrapped wood at the second story to the roof above. A wood staircase leads to the second story. Both stories of the porch have vinyl railings. The roof line is characterized by wide eaves. A hipped roof dormer on the south slope of the asphalt shingled roof features a pair of vents. The roof is clad in asphalt shingles.

Interior Description: N/A

Setting: The building at 10 Morningside Road is located in a residential area four blocks from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 10 Morningside Road is located in an early-twentieth-century development which included the in-filling of a saltwater pond and the extension of the peninsula into Egg Harbor. Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Allaback and Milliken, 1995; Ocean City, 2022).

Significance: The building at 10 Morningside Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 10 Morningside Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 10 Morningside Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 34 Morningside Road

Street Address: Street #: 34 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Morningside Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.34

Local Place Name(s): N/A **Lot(s):** 22

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 34 Morningside Road is a two-story front gable house with an overhanging gable and two-story porch.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

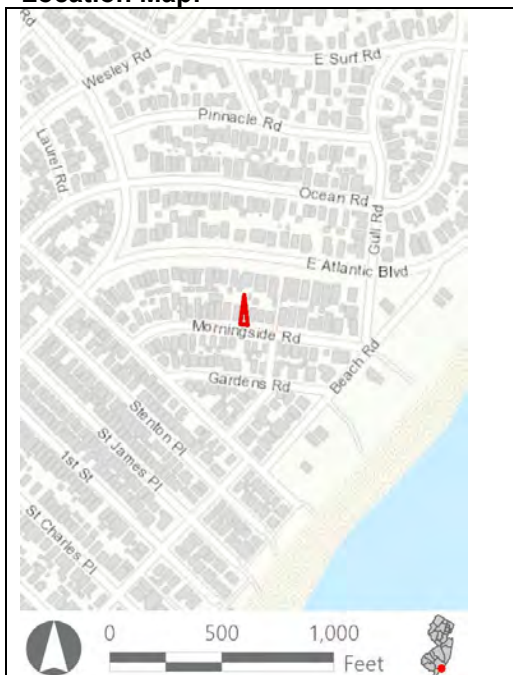


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

1962

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	34 Morningside Road		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1978	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Gable Front	Stories:	2
Type:	N/A	Bays:	2
Roof Finish Materials:	Unknown		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 34 Morningside Road, is a two-story, one up, one down-style duplex clad in vinyl siding. Fenestration consists of 1/1, double-hung vinyl windows. The (south) façade features a two-story porch, the first story of which features rod iron supports, and the second story bare wood 4x4 supports. The first story of the façade features a central entrance flanked by a pair of sliding doors to the east and a window with vinyl shutters to the west. The second-story façade is nearly identical but with no central entrance. The side elevations have five bays, identical on each story. The overhanging gable has a vent at the top. The roof is clad in asphalt shingles.

Interior Description: N/A

Setting: The building at 34 Morningside Road is located in a residential area two blocks from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three- to -four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 34 Morningside Road is located in an early-twentieth-century development which included the in-filling of a saltwater pond and the extension of the peninsula into Egg Harbor. Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Allaback and Milliken, 1995; Ocean City, 2022).

Significance: The building at 34 Morningside Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 34 Morningside Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 10 Morningside Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 32 Morningside Road

Street Address: Street #: 32 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Morningside Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.34

Local Place Name(s): N/A **Lot(s):** 23

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 32 Morningside Road is a two-story front gabled house with overhanging gable.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

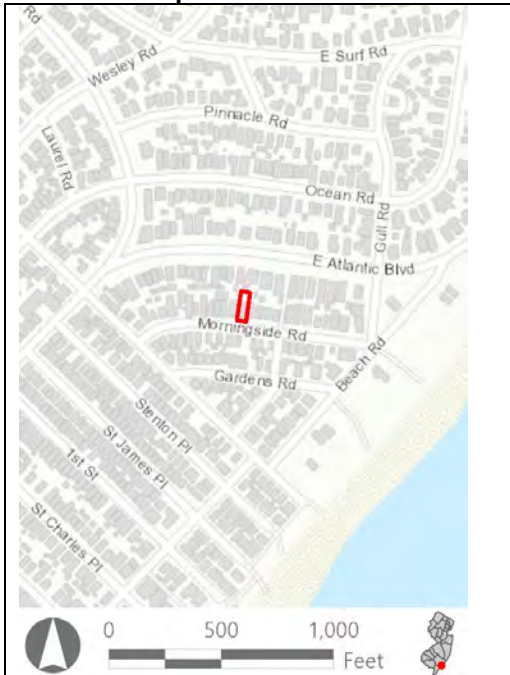


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>32 Morningside Road</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1915</u>	Source:	<u>Njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Excellent</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Gable Front</u>	Stories:	<u>2</u>
Type:	<u>N/A</u>	Bays:	<u>3</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Vinyl Siding</u>		

Exterior Description: The building at 32 Morningside Road is a two-story house clad in vinyl siding made to imitate wood shingles. Fenestration consists of double-hung vinyl windows, all with false muntins creating the impression of multi-pane sashes. The (south) façade features a one-bay enclosed projection on the first story next to a one-bay recessed entry. A wood staircase with vinyl railings leads to a first-story porch supported by square brick piers that transition to wood at railing level. A central entrance is flanked by a row of three square windows to the west and a window to the east, both with vinyl shutters. The west elevation features projected and recessed bays on each story. The east elevation features asymmetrical fenestration and a wide brick chimney that tapers near the roof line. The overhanging gable has a pair of square windows with vinyl shutters. The roof is clad in asphalt shingles.

Interior Description: N/A

Setting: The building at 32 Morningside Road is located in a residential area four blocks from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 32 Morningside Road is located in an early-twentieth-century development which included the in-filling of a saltwater pond and the extension of the peninsula into Egg Harbor. Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Allaback and Milliken, 1995; Ocean City, 2022).

Significance: The building at 32 Morningside Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 32 Morningside Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 10 Morningside Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 401 East Surf Road

Street Address: Street #: 401 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: Surf Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.28

Local Place Name(s): N/A **Lot(s):** 16

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 401 East Surf Road is a two-story circa 1942 Colonial Revival-style residence with a cupola centered on rooftop. A two-bay attached garage with open air porch on second floor is located on the eastern side of the building and a covered porch is located above a one-story wing on the western side.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

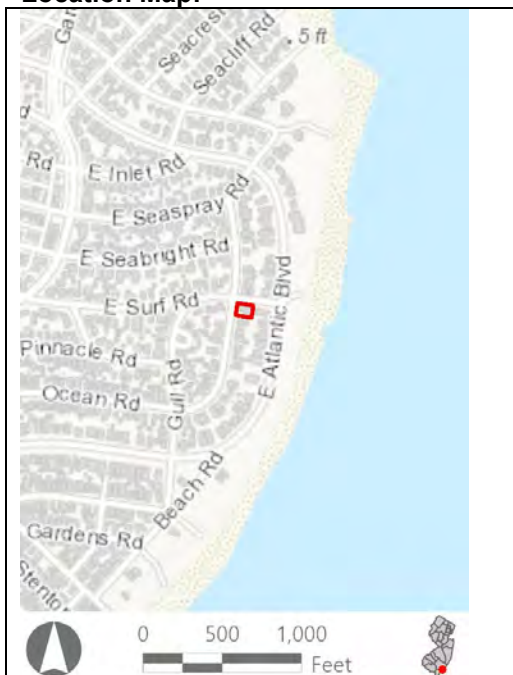


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	401 East Surf Road		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1942	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Medium
Style:	Colonial Revival		
Form:	Center Hall	Stories:	2
Type:	N/A	Bays:	4
Roof Finish Materials:	Shingle, Metal		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 401 East Surf Road is a two-story Colonial Revival-style residence clad in vinyl siding. Fenestration consists of 6/1, double-hung vinyl windows with false muntins. The first story (north) façade features a central doorway with sidelights covered by a gabled portico. Flanking the door are three-sided bay windows with metal hipped roofs. There are four bays across the façade's second story. A two-bay attached garage with open air porch on second floor is located on the eastern side of the building and a covered porch is located above a one-story wing on the western side, enclosing an exterior chimney that gradually tapers toward the roof. The asphalt shingle-clad roof features a cupola centered on rooftop.

Interior Description: N/A

Setting: The building at 401 East Surf Road is located in a residential area one block from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 401 East Surf Road is located in an early-twentieth-century development which included the in-filling of a saltwater pond and the extension of the peninsula into Egg Harbor. Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Allaback and Milliken, 1995; Ocean City, 2022).

Significance: The building at 401 East Surf Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 10 Morningside Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 10 Morningside Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 364 East Surf Road

Street Address: Street #: 364 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: Surf Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.26

Local Place Name(s): N/A **Lot(s):** 24

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 364 Surf Road is a two-story Colonial Revival-style dwelling with a dormered cross-gable roof.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

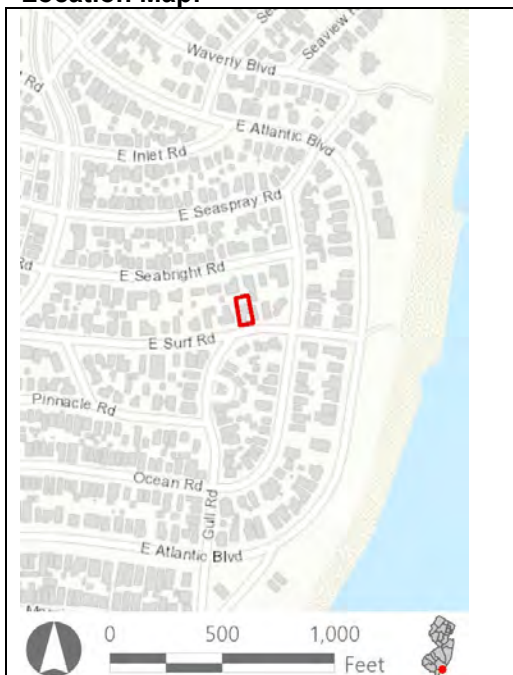


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

1974

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	364 East Surf Road		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1910	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	High
Style:	None		
Form:	Gable front	Stories:	2
Type:	N/A	Bays:	2
Roof Finish Materials:	Wood, Shingle; Standing Seam Metal		
Exterior Finish Materials	Wood, Clapboard		

Exterior Description: The building at 364 Surf Road is a two-story Colonial Revival-style house on a brick foundation, featuring a two-story rear ell. Colonial Revival style elements included bracketed eaves, quarter fanlights in the gable end, and corner pilasters. Fenestration consists of 6/1, double-hung wood windows. The first story of the rear ell features a garage door covered by a wood awning. The building façade (east) features symmetrical bays, with a central entrance covered by a pedimented entry portico flanked by trios of windows on each side, and a row of six windows on the second story. The entrance is reached via a brick staircase topped by lion statues. The south elevation features a one-story projection with a patio on the roof. The east slope of the side gable roof features a shed roof dormer with three windows. The roof is clad in wood shingles.

Interior Description: N/A

Setting: The building at 364 Surf Road is located in a residential area two blocks from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 364 Surf Road is located in an early-twentieth-century development which included the in-filling of a saltwater pond and the extension of the peninsula into Egg Harbor. Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Allaback and Milliken, 1995; Ocean City, 2022).

Significance: The building at 364 Surf Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 364 Surf Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 364 Surf Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 368 East Surf Road

Street Address: Street #: 368 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: Surf Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.26

Local Place Name(s): N/A **Lot(s):** 23

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 368 Surf Road is a wo-story dwelling with a gable roof, two-story porch, and detached garage.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

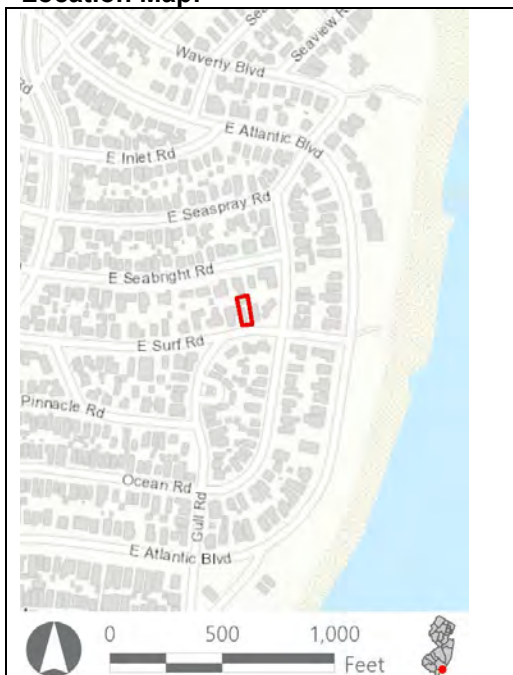


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

1978

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>368 East Surf Road</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1968</u>	Source:	<u>Njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Gable Front</u>	Stories:	<u>2</u>
Type:	<u>N/A</u>	Bays:	<u>2</u>
Roof Finish Materials:	<u>Asphalt Shingle</u>		
Exterior Finish Materials	<u>Vinyl Siding</u>		

Exterior Description: The building at 368 Surf Road is a two-story house clad in vinyl on a concrete foundation. Fenestration consists of 6/6, double-hung vinyl windows. The south elevation features a two-story porch with turned wood spindle supports on the first story and a vinyl railing on the second. The first story (south) façade features a central door flanked by windows, opening onto the concrete porch deck. Two separate doors open onto the second-story porch. A first-story entrance is located on the east elevation and is covered by a hipped portico. The east elevation features five bays on the first story and three on the second. The west elevation features three bays on both stories. The first story on this elevation features a secondary entrance on the central bay and is flanked by two, three-sided bay windows. The roof is clad in asphalt shingles.

Interior Description: N/A

Setting: The building at 368 Surf Road is located in a residential area four blocks from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 364 Surf Road is located in an early-twentieth-century development which included the in-filling of a saltwater pond and the extension of the peninsula into Egg Harbor. Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Allaback and Milliken, 1995; Ocean City, 2022).

Significance: The building at 364 Surf Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 364 Surf Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 364 Surf Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 372 East Surf Road

Street Address: Street #: 372 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: Surf Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.26

Local Place Name(s): N/A **Lot(s):** 22

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 372 East Surf Road is a two-story Colonial Revival-style dwelling with a gable-on-hip roof, two story porch, and a rear extension.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

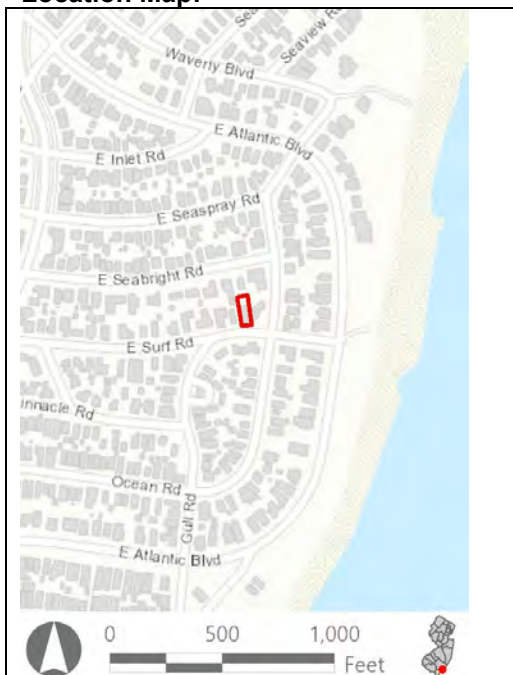
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

1982

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	372 East Surf Road		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1969	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	Colonial Revival		
Form:	Gable Front	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 372 East Surf Road is a two-story Colonial Revival-style house clad in vinyl siding that imitates wood shingles and set upon a concrete block foundation. Fenestration consists of 6/1, double-hung vinyl windows with false muntins, all with vinyl shutters. The (south) façade features a two-story porch on a concrete deck, supported by vinyl-wrapped piers and with vinyl railings. The first story of the façade features a central door with sidelight s and a trabeated vinyl surround, flanked by a window to the west and a three-bay oriel window to the east. The second story façade features a small octagonal window flanked by doors with vinyl shutters. Side elevations feature four bays of asymmetrical fenestration. A single window is located in the overhanging gable. The roof has wide eaves and is clad in asphalt shingles.

Interior Description: N/A

Setting: The building at 372 East Surf Road is located in a residential area four blocks from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 364 East Surf Road is located in an early-twentieth-century development which included the in-filling of a saltwater pond and the extension of the peninsula into Egg Harbor. Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Allaback and Milliken, 1995; Ocean City, 2022).

Significance: The building at 364 East Surf Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 364 East Surf Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 364 East Surf Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 376 East Surf Road

Street Address: Street #: 376 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: E Street Name: Surf Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.26

Local Place Name(s): N/A **Lot(s):** 21

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 376 East Surf Road is a two-story circa 1933 residence with a modern covered deck and an attached two door garage.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

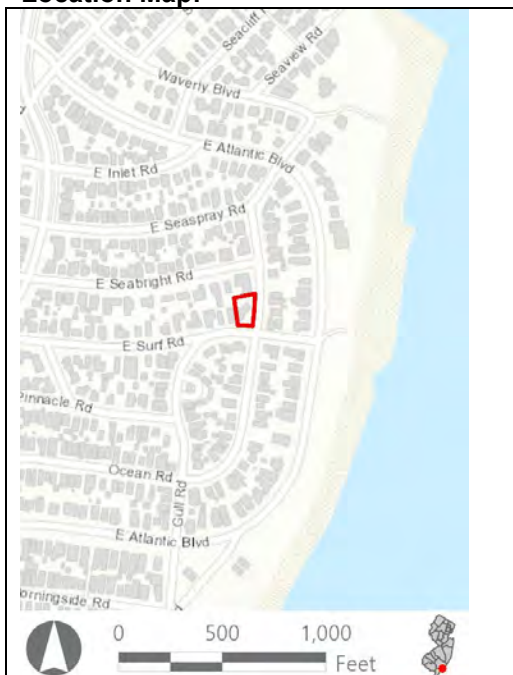


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

1986

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	376 East Surf Road		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1933	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	4
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl		

Exterior Description: The building at 376 East Surf Road is a two-story Colonial revival style residence clad in vinyl siding that imitates wood shingles. Fenestration consists of 6/6 double hung vinyl windows with false muntins. The (southeast) façade is dominated by a two-story addition consisting of a first-story enclosed sunroom and a second-story porch covered by an overhang and gable roof. The addition features Colonial Revival elements such as square wood pilasters and porch supports, geometric designs in the porch railings, and a semi-circular fan vent in the gable. A pair of double doors with sidelights set within a trabeated surround, opens onto the second story porch. The southeast slope of the roof features gable dormers with cornice returns. Façade and elevation, windows have vinyl shutters. The roof is clad in asphalt shingles. An attached to be a garage is situated at an oblique angle from the south corner of the house. It features a gable, roof, cornice returns, and a square cupola topped by a weathervane.

Interior Description: N/A

Setting: The building at 376 East Surf Road is located in a residential area two blocks from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 376 East Surf Road is located in an early-twentieth-century development which included the in-filling of a saltwater pond and the extension of the peninsula into Egg Harbor. Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Allaback and Milliken, 1995; Ocean City, 2022).

Significance: The building at 376 East Surf Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 376 East Surf Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 376 East Surf Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 3000 Wesley Avenue

Street Address: Street #: 3000 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Wesley Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 3001

Local Place Name(s): N/A **Lot(s):** 9

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 3000 Wesley Avenue is a two-story rectangular, hipped roof house with vinyl siding, a recessed bay window with brick bulkhead, and a large second-story deck supported on high wood piers.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

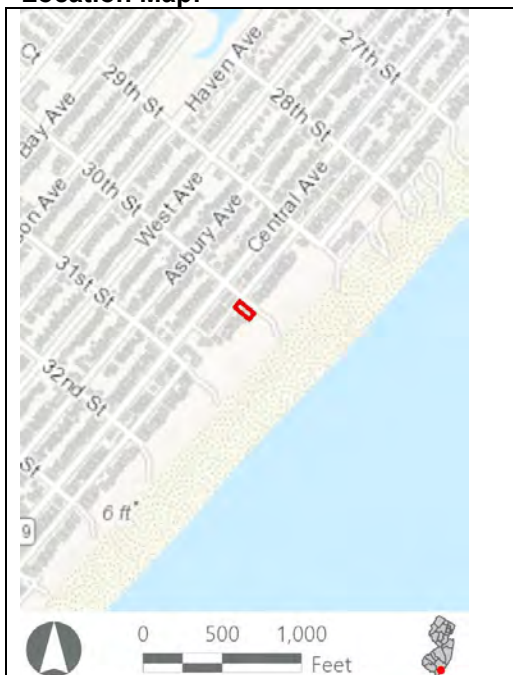


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

1990

BUILDING ATTACHMENT

Historic Sites #:

Common Name: <u>3000 Wesley Avenue</u>	
Historic Name: <u>N/A</u>	
Present Use: <u>Residential Activity, Permanent</u>	
Historic Use: <u>Residential Activity, Permanent</u>	
Construction Date: <u>1952</u>	Source: <u>Njtaxrecords.net</u>
Alteration Date(s): <u>N/A</u>	Source: <u>N/A</u>
Designer: <u>N/A</u>	Physical Condition: <u>Good</u>
Builder: <u>N/A</u>	Remaining Historic Fabric: <u>Low</u>
Style: <u>None</u>	
Form: <u>Other</u>	Stories: <u>2</u>
Type: <u>N/A</u>	Bays: <u>N/A</u>
Roof Finish Materials: <u>Asphalt Shingle</u>	
Exterior Finish Materials <u>Vinyl Siding</u>	

Exterior Description: The building at 3000 Wesley Avenue is a two-story rectangular, hipped roof house with vinyl siding that imitate wood shingles. Fenestration consists of 1/1, double-hung windows, sliding-sash windows, and large fixed picture windows. The (southeast) façade features two bays on each story. The northeast elevation is characterized by a large second-story deck supported on high wood piers. The deck has vinyl railings. A wood second-story patio wraps the east corner of the building. The first story of the northeast elevation features an entrance door on a wood paneled attached foyer, and a recessed bay window with a brick bulkhead. The second story is characterized by four bays of asymmetrical fenestration. The low hipped roof is clad in asphalt shingles.

Interior Description: N/A

Setting: The building at 3000 Wesley Avenue faces the ocean and has direct access to the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 3000 Wesley Avenue is located along the beach and was part of one of three original thoroughfares platted in the early twentieth century. Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Allaback and Milliken, 1995; Ocean City, 2022).

Significance: The building at 3000 Wesley Avenue is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 3000 Wesley Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 3000 Wesley Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 974 Boardwalk

Street Address: Street #: 974 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Boardwalk Suffix: N/A Type: _____

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 901

Local Place Name(s): N/A **Lot(s):** 21

Ownership: Private **USGS Quad(s)** Ocean City

Description: The property at 974 Boardwalk is a one-story circa 1930 attached commercial building.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

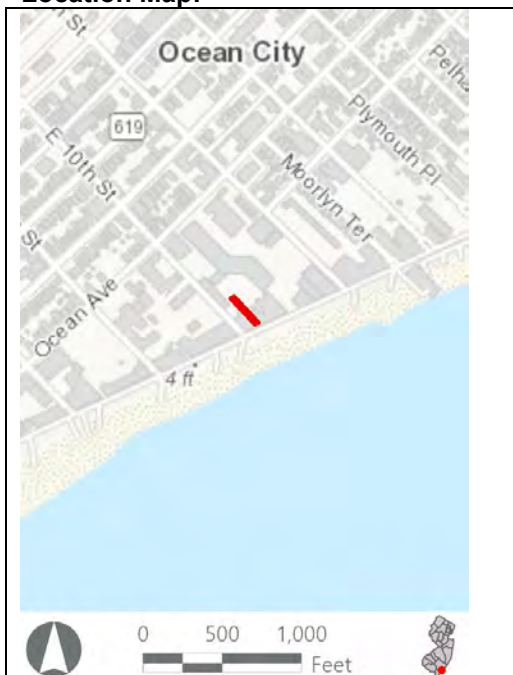


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

1994

BUILDING ATTACHMENT

Historic Sites #:

Common Name: <u>974 Boardwalk</u>	
Historic Name: <u>N/A</u>	
Present Use: <u>Commercial Activity, Eating, Drinking</u>	
Historic Use: <u>Commercial Activity, Eating, Drinking</u>	
Construction Date: <u>1930</u>	Source: <u>Njtaxrecords.net</u>
Alteration Date(s): <u>N/A</u>	Source: <u>N/A</u>
Designer: <u>N/A</u>	Physical Condition: <u>Fair</u>
Builder: <u>N/A</u>	Remaining Historic Fabric: <u>Low</u>
Style: <u>None</u>	
Form: <u>Commercial</u>	Stories: <u>1</u>
Type: <u>N/A</u>	Bays: <u>N/A</u>
Roof Finish Materials: <u>Unknown</u>	
Exterior Finish Materials <u>Stucco</u>	

Exterior Description: The property at 974 Boardwalk is a one-story commercial building. The (southeast) façade features two open storefronts separated by square wood piers. Above the storefronts is a canvas and metal awning and a wide, stucco-clad sign band that rises to the northeast and connects with the neighboring building.

Interior Description: N/A

Setting: The property at 974 Boardwalk is located in a commercial tourist area along the boardwalk with direct beach access. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 974 Boardwalk is located along the beach on the Ocean City Boardwalk, developed in the 1903s. Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Allaback and Milliken, 1995; Ocean City, 2022).

Significance: The building at 974 Boardwalk is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 33 Morningside Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 33 Morningside Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 5815 Asbury Avenue

Street Address: Street #: 5815 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Asbury Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 5802

Local Place Name(s): N/A **Lot(s):** 10

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 5815 Asbury Avenue is a two-story circa 1938 residence with second-story balcony.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

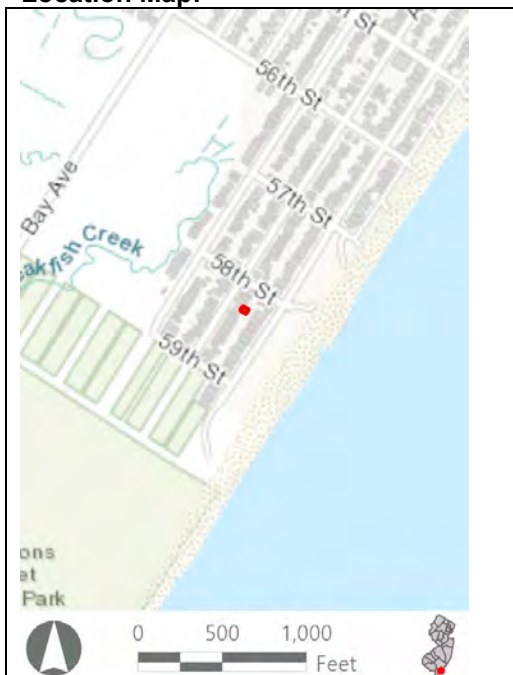
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

1998

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	<u>5815 Asbury Avenue</u>		
Historic Name:	<u>N/A</u>		
Present Use:	<u>Residential Activity, Permanent</u>		
Historic Use:	<u>Residential Activity, Permanent</u>		
Construction Date:	<u>1938</u>	Source:	<u>Njtaxrecords.net</u>
Alteration Date(s):	<u>N/A</u>	Source:	<u>N/A</u>
Designer:	<u>N/A</u>	Physical Condition:	<u>Good</u>
Builder:	<u>N/A</u>	Remaining Historic Fabric:	<u>Low</u>
Style:	<u>None</u>		
Form:	<u>Four square</u>	Stories:	<u>2</u>
Type:	<u>N/A</u>	Bays:	<u>1</u>
Roof Finish Materials:	<u>Unknown</u>		
Exterior Finish Materials	<u>Vinyl</u>		

Exterior Description: The building at 5815 Asbury Avenue is a two-story house with a square plan. Fenestration consists of jalousie windows of varying sizes, set within wide wood surrounds. The (southeast) façade is characterized by a second-story porch, supported by turned wood spindles to the porch deck, and square supports to the porch's flat roof. Porch railings are wood spindles. An entrance is located on the southwest elevation under a metal awning. The second story is reached via a wood staircase. The house terminates in a gable roof.

Interior Description: N/A

Setting: The building at 5815 Asbury Avenue is located in a residential area one block from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 5815 Asbury Avenue is located in an early-twentieth-century development along the beach. Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Allaback and Milliken, 1995; Ocean City, 2022).

Significance: The building at 5815 Asbury Avenue is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 5815 Asbury Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 5815 Asbury Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 4712 Central Avenue

Street Address: Street #: 4712 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Central Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 4702.02

Local Place Name(s): N/A **Lot(s):** 5

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 4712 Central Avenue is a two-and-one-half-story-story circa 1950 residence.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

2002

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	4712 Central Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity Permanent		
Construction Date:	1950	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2.5
Type:	N/A	Bays:	5
Roof Finish Materials:	Shingle, Asphalt		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 4712 Central Avenue is a two-and-one-half-story house. with board and batten siding on the first-floor façade and vinyl, horizontal siding on the upper floors. Fenestration consists primarily of 6/1, double-hung vinyl windows, and some fixed windows, with false muntins. The (southeast) façade features a central entrance covered by a gabled portico supported by square columns flanked by windows. The side elevations each have one-story bonus room wings. A second-story deck is located on the western wing of the building. The second story features symmetrical fenestration consisting of a pair of square windows flanked on each side by two windows. Second-story windows are set in trabeated wood surrounds. A pair of double doors open onto the second-story patio deck. The double gable-on-hip roof is clad in asphalt shingles and features a double gabled dormer on the southwest slope.

Interior Description: N/A

Setting: The building at 4712 Central Avenue is located in a residential area one block from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 4712 Central Avenue is located in an early-twentieth-century development along the beach. Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Allaback and Milliken, 1995; Ocean City, 2022).

Significance: The building at 4712 Central Avenue is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 4712 Central Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 4712 Central Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 5848 Central Avenue

Street Address: Street #: 5848 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Central Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 5802

Local Place Name(s): N/A **Lot(s):** 24

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 5848 Central Avenue is a three-story circa 1981 multi-family residence with balconies on the second and third floors and parking underneath.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

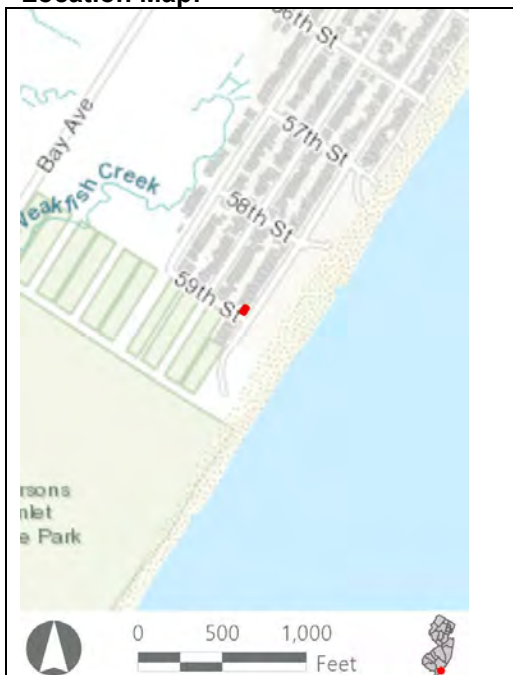
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

2006

BUILDING ATTACHMENT

Historic Sites #:

Common Name: <u>5848 Central Avenue</u>	
Historic Name: <u>N/A</u>	
Present Use: <u>Residential Activity, Permanent</u>	
Historic Use: <u>Residential Activity, Permanent</u>	
Construction Date: <u>1981</u>	Source: <u>Njtaxrecords.net</u>
Alteration Date(s): <u>N/A</u>	Source: <u>N/A</u>
Designer: <u>N/A</u>	Physical Condition: <u>Good</u>
Builder: <u>N/A</u>	Remaining Historic Fabric: <u>Low</u>
Style: <u>None</u>	
Form: <u>Other</u>	Stories: <u>3</u>
Type: <u>N/A</u>	Bays: <u>2</u>
Roof Finish Materials: <u>Asphalt shingle</u>	
Exterior Finish Materials <u>Vinyl</u>	

Exterior Description: The building at 5848 Central Avenue is a three-story Modern-style residence clad in vinyl siding. The building features a ground-level covered parking area. The building's (southeast) façade is characterized by multiple wood staircases leading to open porches and balconies on the second and third stories. Fenestration is varied, consisting of fixed windows, Chicago-style and 1/1, double-hung windows, all vinyl. The roof line is partially flat, with slightly raised parapets between bays and half of a gable.

Interior Description: N/A

Setting: The building at 5848 Central Avenue is located at the edge of residential area, across street from beach and Corson's Inlet State Park. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	<u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date:	<u>February 24, 2023</u>
Surveyor:	<u>Grant Johnson and Laura Mancuso</u>		
Organization:	<u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 5848 Central Avenue is located in an early-twentieth-century development along the beach. Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Allaback and Milliken, 1995; Ocean City, 2022).

Significance: The building at 5848 Central Avenue is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 5848 Central Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 5848 Central Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BASE FORM

Historic Sites #:

Property Name: 3704-06 Wesley Avenue

Street Address: Street #: 3704 3706 Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Wesley Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 3701

Local Place Name(s): N/A **Lot(s):** 13.01

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 3704-06 Wesley Avenue is a two-story duplex residence with cross-gable roof and large two-story beach-facing porch.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

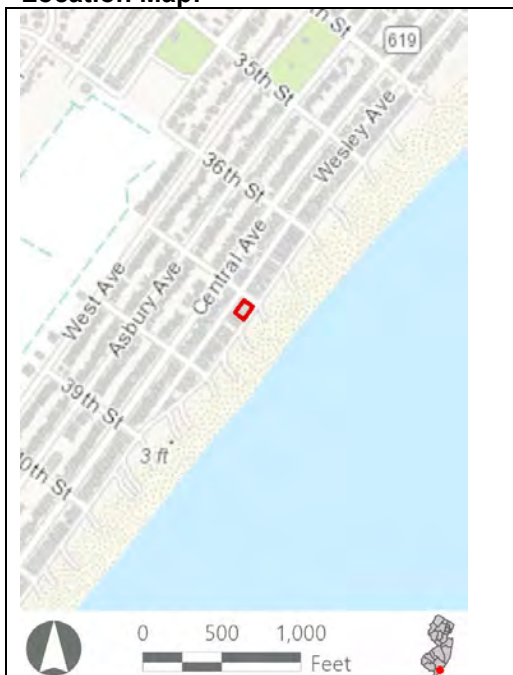
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	3704-06 Wesley Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1970	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Medium
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Formstone, Shingle		

Exterior Description: The building at 3704-06 Wesley Avenue is a two-story, one up, one down-style duplex with a (southeast) central projection. The first story is clad in Formstone and the second in vinyl siding that imitates wood shingles. Fenestration consists of 1/1, double-hung vinyl windows. A pair of sliding doors opens onto a wood deck, above which is a second-story porch with vinyl railings, supported by groups of two and three wood piers. A pair of sliding doors topped by fan lights open onto the second-story porch. An exterior chimney wrapped in vinyl rises the façade. The cross-gable roof is clad in asphalt shingles and features exaggerated rakes at the peak of each gable.

Interior Description: N/A

Setting: The building at 3704-06 Wesley Avenue is located in a residential area with direct beach access. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 3704-06 Wesley Avenue is located in an early-twentieth-century development along the beach. Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Allaback and Milliken, 1995; Ocean City, 2022).

Significance: The building at 3704-06 Wesley Avenue is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 3704-06 Wesley Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 3704-06 Wesley Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

Date: February 24, 2023

BASE FORM

Historic Sites #:

Property Name: 5840-42 Central Avenue

Street Address: Street #: 5840 5842 Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Central Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 5802

Local Place Name(s): N/A **Lot(s):** 24

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 5840-42 Central Avenue is a two-story circa 1978 residence with a second-story balcony covering a first-floor entryway patio.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: <u>5840-5842 Central Avenue</u>	
Historic Name: <u>N/A</u>	
Present Use: <u>Residential Activity, Permanent</u>	
Historic Use: <u>Residential Activity, Permanent</u>	
Construction Date: <u>1978</u>	Source: <u>Njtaxrecords.net</u>
Alteration Date(s): <u>N/A</u>	Source: <u>N/A</u>
Designer: <u>N/A</u>	Physical Condition: <u>Good</u>
Builder: <u>N/A</u>	Remaining Historic Fabric: <u>Low</u>
Style: <u>None</u>	
Form: <u>Gable front</u>	Stories: <u>2</u>
Type: <u>N/A</u>	Bays: <u>2</u>
Roof Finish Materials: <u>Asphalt Shingle</u>	
Exterior Finish Materials <u>Wood</u>	

Exterior Description: The building at 5840-42 Central Avenue is a two-story duplex clad in wood panel siding. The (southeast) façade features a two-story porch with vinyl railings and posts. A secondary entrance is covered by a gabled portico and accessed by a short set of split stairs. The fenestration on the house consists of 1/1, double-hung vinyl windows. Symmetrical pairs of sliding doors open onto the first and second story porch decks. The second story features a set of double doors at the center between the sliding doors. A band of flat trim separates the first and second stories around the house. Gable above the second story features two fixed triangular windows. The roof is clad in asphalt shingles.

Interior Description: N/A

Setting: The building at 5840-42 Central Avenue is located at the edge of a residential area, across street from beach, near Corson's Inlet State Park. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 5840-42 Central Avenue is located in an early-twentieth-century development along the beach. Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Allaback and Milliken, 1995; Ocean City, 2022).

Significance: The building at 5840-42 Central Avenue is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 5840-42 Central Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 5840-42 Central Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 5912-14 Central Avenue

Street Address: Street #: 5912 5914 Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Central Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 5902

Local Place Name(s): N/A **Lot(s):** 5

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 5912-14 Central Avenue is a two-story circa 1974 multi-family residence with exterior staircases on the northeastern elevation.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

2018

BUILDING ATTACHMENT

Historic Sites #:

Common Name: <u>5912-14 Central Avenue</u>	
Historic Name: <u>N/A</u>	
Present Use: <u>Residential Activity, Permanent</u>	
Historic Use: <u>Residential Activity, Permanent</u>	
Construction Date: <u>1974</u>	Source: <u>Njtaxrecords.net</u>
Alteration Date(s): <u>N/A</u>	Source: <u>N/A</u>
Designer: <u>N/A</u>	Physical Condition: <u>Good</u>
Builder: <u>N/A</u>	Remaining Historic Fabric: <u>Low</u>
Style: <u>None</u>	
Form: <u>Other</u>	Stories: <u>2</u>
Type: <u>N/A</u>	Bays: <u>3</u>
Roof Finish Materials: <u>Asphalt shingle</u>	
Exterior Finish Materials <u>Vinyl</u>	

Exterior Description: The building at 5912-14 Central Avenue is a two-story duplex on a raised basement. The basement level is clad in stucco siding and features a covered breezeway along the (northeast) rear elevation. Fenestration consists of tall, narrow fixed windows in groups of three or four on the primary elevations, with smaller versions on the rear elevation. The southeast elevation facing the beach features three bays, with the side bays stepped back from the center bay. Each story has identical fenestration and bays, including curved staircases and balconies with vinyl railings. The upper stories are clad in vinyl siding. A gabled roof is clad in asphalt shingles.

Interior Description: N/A

Setting: The building at 5912-14 Central Avenue is located at the edge of a residential area, across street from beach, near Corson's Inlet State Park. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 5912-14 Central Avenue is located in an early-twentieth-century development along the beach. Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Allaback and Milliken, 1995; Ocean City, 2022).

Significance: The building at 5912-14 Central Avenue is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 5912-14 Central Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 5912-14 Central Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 3620-22 Wesley Avenue

Street Address: Street #: 3620 3622 Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Wesley Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 3601

Local Place Name(s): N/A **Lot(s):** 14

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 3620-22 Wesley Avenue is a two-story duplex dwelling with a gable roof, an attached garage, and open and covered porches.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

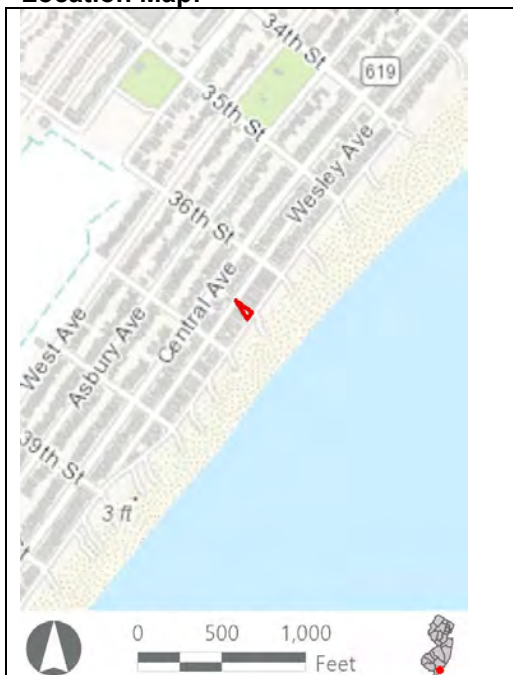
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

2022

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	3620-22 Wesley Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1968	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	2
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 3620-22 Wesley Avenue is a two-story duplex on a concrete block foundation. Fenestration consists of 1/1, double-hung vinyl windows, with some fixed windows in simple wood surrounds. The building is clad in vinyl siding that imitates wood shingles. The northwest elevation features two garage bay doors on a one-story projection, topped by a patio with vinyl railings. A secondary entrance is located on the northeast elevation. A gabled roof covers half of the patio. The beach-side elevation features a wide wood patio deck and a two-story porch with square supports and wood railings. Two pair of sliding doors open onto each level of the porch. The gabled roof is clad in asphalt shingles.

Interior Description: N/A

Setting: The building at 3620-22 Wesley Avenue is located in a residential area with direct beach access. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 3620-22 Wesley Avenue is located in an early-twentieth-century development along the beach. Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Allaback and Milliken, 1995; Ocean City, 2022).

Significance: The building at 3620-22 Wesley Avenue is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 3620-22 Wesley Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 3620-22 Wesley Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 113 Beach Road

Street Address: Street #: 113 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Beach Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.41

Local Place Name(s): N/A **Lot(s):** 7.01

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 113 Beach Road is a one-and-one-half-story cross-gable house with gabled dormers, a recessed segmental-arch bay on the second story, and a one-story porch.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

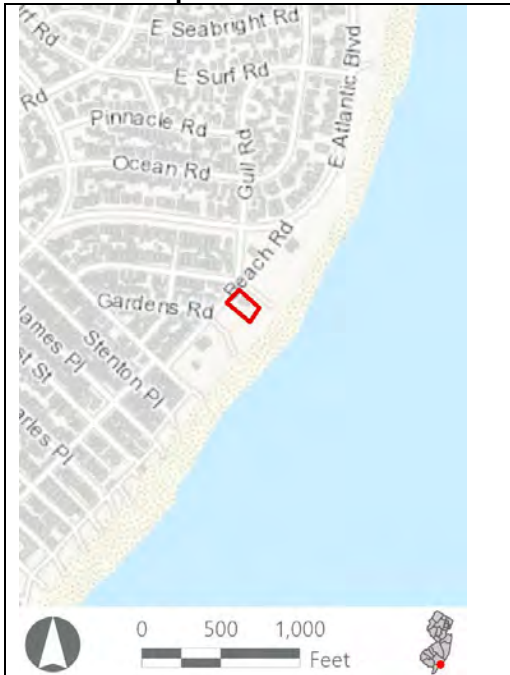
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: N/A

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	113 Beach Road		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1930	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Gable Front	Stories:	1.5
Type:	N/A	Bays:	1
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Wood, Shingle		

Exterior Description: The building at 113 Beach Road is a one-and-one-half-story Colonial Revival-style house. The fenestration consists of 6/6, double-hung vinyl windows with false muntins, either alone or in pairs, and set within trabeated wood surrounds. The (northwest) façade features a recessed entry consisting of a door with sidelight framed by a pilastered wall. The second-story façade features a segmental-arch bay and a circular vent in the gable. The side elevations are characterized by multiple projections, dormers, and porches, and features Colonial Revival elements such as corner pilasters and window awnings. The wood shingle-clad house is topped by a meandering roof with multiple cross gables, clad in asphalt shingles.

Interior Description: N/A

Setting: The building at 113 Beach Road is located in a residential area with direct beach access. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 113 Beach Road is located in an early-twentieth-century development along the beach. Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Allaback and Milliken, 1995; Ocean City, 2022).

Significance: The building at 113 Beach Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 113 Beach Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 113 Beach Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 239 Ocean Road

Street Address: Street #: 239 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Ocean Suffix: N/A Type: RD

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 70.28

Local Place Name(s): N/A **Lot(s):** 9.01

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 239 Ocean Road is a one-and-one-half-story Dutch Colonial Revival-style house with a gambrel roof, wide shed-roof dormers, a front porch with rooftop deck, and a two-door garage under the rear deck. Awnings obscure the façade.

Registration and Status Dates: National Historic Landmark: _____ SHPO Opinion: _____
National Register: _____ Local Designation: _____
New Jersey Register: _____ Other Designation: _____
Determination of Eligibility: _____ Other Designation Date: _____

Photograph:

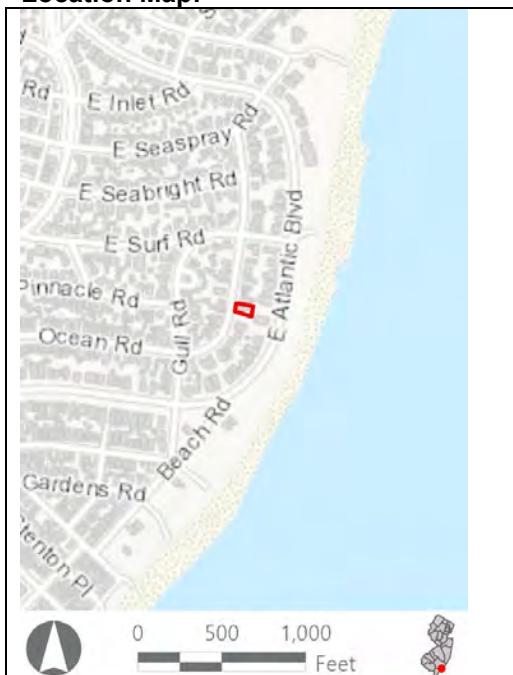


Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Date: February 24, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: <u>239 Ocean Road</u>	
Historic Name: <u>N/A</u>	
Present Use: <u>Residential Activity, Permanent</u>	
Historic Use: <u>Residential Activity, Permanent</u>	
Construction Date: <u>1940</u>	Source: <u>Njtaxrecords.net</u>
Alteration Date(s): <u>N/A</u>	Source: <u>N/A</u>
Designer: <u>N/A</u>	Physical Condition: <u>Excellent</u>
Builder: <u>N/A</u>	Remaining Historic Fabric: <u>Low</u>
Style: <u>Dutch Colonial Revival</u>	
Form: <u>Gable Front</u>	Stories: <u>1.5</u>
Type: <u>N/A</u>	Bays: <u>2</u>
Roof Finish Materials: <u>Shingle</u>	
Exterior Finish Materials <u>Vinyl</u>	

Exterior Description: The building at 239 Ocean Road is a one-and-one-half-story Dutch Colonial Revival-style house with one-story wings on each gable end. Fenestration consists of 6/6, double-hung vinyl windows with false muntins and vinyl shutters. The (south) façade features an entrance door with sidelights covered by a gabled portico and awning and a three-sided bay window. The upper half story consists of a long shed-roofed dormer with three windows. The west elevation features an enclosed porch with a roof-top deck with vinyl railings with awnings on each story. A door and window are on the gambrel facing the second-story deck. The east elevation features a two-door garage with a second-story deck. The roof is clad in asphalt shingles.

Interior Description: N/A

Setting: The building at 239 Ocean Road is located in a residential area one block from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The building at 239 Ocean Road is located in an early-twentieth-century development along the beach. Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Allaback and Milliken, 1995; Ocean City, 2022).

Significance: The building at 239 Ocean Road is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 239 Ocean Road is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 239 Ocean Road is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 1015 South Ocean Avenue

Street Address: Street #: 1015 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: Ocean Suffix: N/A Type: AVE

County(s): Ocean **Zip Code:** 08752

Municipality(s): Seaside Park Borough **Block(s):** 11

Local Place Name(s): N/A **Lot(s):** 27

Ownership: Private **USGS Quad(s)** Seaside Park

Description: The building at 1015 South Ocean Avenue is a one-and-one-half-story single-family home with a gambrel roof, wood shingle siding, and a recessed porch.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

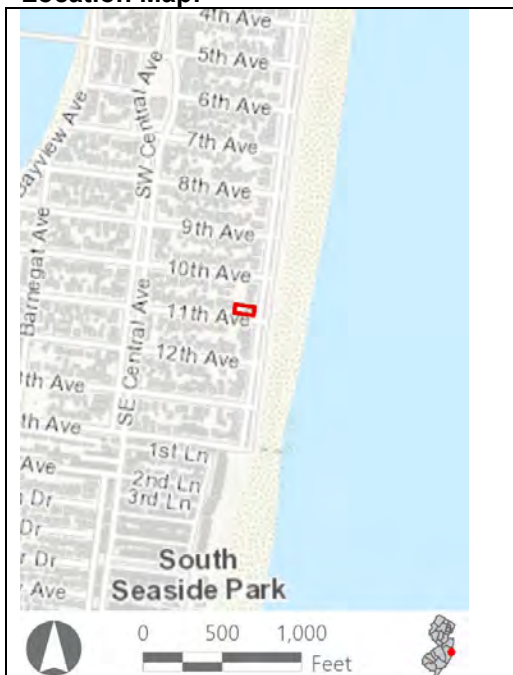


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	March 31, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Borough of Seaside Park, New Jersey. 2022. *History*. Available at: <https://www.seasideparknj.org/history/#:~:text=Seaside%20Park%20was%20a%20section,Park%20began%20to%20slowly%20grow> (Accessed August 2022).
Heritage Studies, Inc. 1981. *Seaside Park*. New Jersey Historic Sites Inventory, Ocean County Vol. 28. Available at https://www.nj.gov/dep/hpo/hrrcn_sandy_OCE_GB_147_148_PDF/OCE_GB_148_v28.pdf (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey: Survey Date: March 31, 2023
Surveyor: Grant Johnson and Laura Mancuso
Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	1015 South Ocean Avenue		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1965	Source:	www.njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Excellent
Builder:	N/A	Remaining Historic Fabric:	Medium
Style:	Dutch Colonial Revival		
Form:	Other	Stories:	1.5
Type:	N/A	Bays:	4
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Wood, Shingles		

Exterior Description: The building at 1015 South Ocean Avenue is a one-and-one-half-story single-family home with a gambrel roof, wood shingle siding, and a recessed porch. There is a pair of gabled dormers on the forward slope of the roof with paired 1/1 replacement sash. The first-story façade is four bays with the entrance in the second bay from the left. The porch has square columns and a partially shingled foundation with small windows. The side elevations are four bays with the bay closest to the rear elevation slightly dropped so that there is a break in the roofline.

Interior Description: N/A

Setting: The resource is an oceanfront property surrounded by like buildings with direct beach access. Historic aerial imagery shows that the current street layout in Seaside Park was almost entirely in place by 1920 except for the southwestern portion of the borough, and the entire borough was completely built out by 1972.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	March 31, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Seaside Park Borough is in Ocean County south of Seaside Heights and north of Island Beach State Park on the Barnegat Peninsula barrier island. Early Euro-American whalers built temporary camps on the barrier island in the mid-to-late-seventeenth century, but the area remained largely uninhabited until the latter half of the nineteenth century. The first permanent Euro-American settlement began in 1874 and was referred to as Park City. In 1875, the area became known as Seaside Park and witnessed development as lots were sold, houses were constructed, and roads were built. Hotels such as the Berkeley Arms and the Hiawatha were built in the late 1870s to attract vacationers and sportsmen. In 1881, the Pennsylvania Railroad established a line to Seaside Park from the mainland, stimulating additional growth in the community. In 1898 Seaside Park was incorporated as its own borough. The area soon boasted grand hotels, a yacht club, a casino, and a boardwalk and attracted visitors from Philadelphia and New York City. In 1911, a road was built along the Barnegat Peninsula from Bay Head to Seaside Park, and in 1915 the Tom's River Bridge was constructed, connecting Seaside Park to the mainland via Seaside Heights. Along with increasing tourism to Seaside Heights, the road and bridge also stimulated the fishing industry. The area witnessed the decline of the grand resorts in the mid- and late-twentieth century, replaced by more affordable hotels (Borough of Seaside Park, 2022; Heritage Studies, Inc., 1981). Today, Seaside Park continues to be a popular summer destination.

Significance: 1015 South Ocean Avenue is associated with mid-twentieth-century development in Seaside Park. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 1015 South Ocean Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 1015 South Ocean Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	March 31, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Property Name: 905 – 907 South Ocean Avenue

Street Address: Street #: 905 907 Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: S Street Name: Ocean Suffix: N/A Type: AVE

County(s): Ocean **Zip Code:** 08752

Municipality(s): Seaside Park Borough **Block(s):** 20

Local Place Name(s): N/A **Lot(s):** 29

Ownership: Private **USGS Quad(s)** Seaside Park

Description: The building at 905 – 907 South Ocean Avenue is a two-story elevated single-family home with wood shingle siding, a porch, and prominent hipped-roof dormers.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:

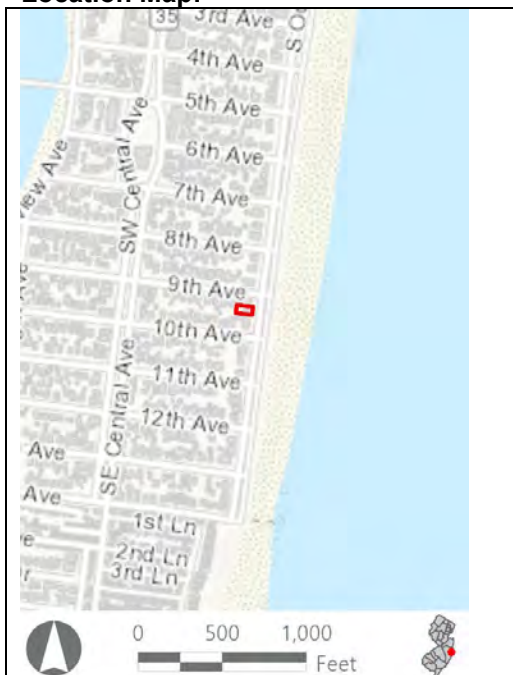


Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Borough of Seaside Park, New Jersey. 2022. *History*. Available at: <https://www.seasideparknj.org/history/#:~:text=Seaside%20Park%20was%20a%20section, Park%20began%20to%20slowly%20grow> (Accessed August 2022).
Heritage Studies, Inc. 1981. *Seaside Park*. New Jersey Historic Sites Inventory, Ocean County Vol. 28. Available at https://www.nj.gov/dep/hpo/hrrcn_sandy_OCE_GB_147_148_PDF/OCE_GB_148_v28.pdf (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 24, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	905 – 907 South Ocean Avenue		
Historic Name:	N/A		
Present Use:	Residential activity, permanent		
Historic Use:	Residential activity, permanent		
Construction Date:	1916	Source:	www.njtaxrecords.net
Alteration Date(s):	2012-2013	Source:	Google and Bing streetviews
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Low
Style:	None		
Form:	Other	Stories:	2
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Wood, Shingles		

Exterior Description: The building at 905 – 907 South Ocean Avenue is a two-story elevated single-family home with wood shingle siding, a porch, and prominent hipped-roof dormers. The façade is three bays wide and the side elevations are four bays deep. The right bay of the first story is a carport while the center bay has paired 1/1 replacement sash. The left bay is a large staircase that leads to the hipped-roof porch above. The porch has square-paneled columns and shingled corner supports. The center bay of the second-story façade is a large plate-glass window. To the left of the window is the primary entrance. To the right of the window, the bay is recessed with a pair of 1/1 replacement sash and an additional 1/1 sash on the side of the center bay. The roof of the porch has deeply overhanging eaves that merge into a skirt roof on the side elevations before becoming part of the rear hipped roofline. The top of the porch is flat and sunken to form a balcony that wraps around the dormer on the façade. The dormer is like a bay window with tripartite 1/1 sash on the forward elevation and single 1/1 on the side elevations. The dormer is flanked on either side by sliding patio doors. The side elevations have complex massing with paneled oriel windows, shed roof overhangs, balconies, and both paired and single 1/1 sash fenestration.

Interior Description: N/A

Setting: The resource is an oceanfront property surrounded by like buildings, with direct beach access. Historic aerial imagery shows that the current street layout in Seaside Park was almost entirely in place by 1920 except for the southwestern portion of the borough, and the entire borough was completely built out by 1972.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 24, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: The residence at 905-907 South Ocean Avenue appears to have originally been constructed as a two-story foursquare with a hipped-roof front porch. According to Bing (2012) and Google (2013) streetviews, the building underwent a radical rehabilitation and bears little resemblance to the original design.

Seaside Park Borough is in Ocean County south of Seaside Heights and north of Island Beach State Park on the Barnegat Peninsula barrier island. Early Euro-American whalers built temporary camps on the barrier island in the mid-to-late-seventeenth century, but the area remained largely uninhabited until the latter half of the nineteenth century. The first permanent Euro-American settlement began in 1874 and was referred to as Park City. In 1875, the area became known as Seaside Park and witnessed development as lots were sold, houses were constructed, and roads were built. Hotels such as the Berkeley Arms and the Hiawatha were built in the late 1870s to attract vacationers and sportsmen. In 1881, the Pennsylvania Railroad established a line to Seaside Park from the mainland, stimulating additional growth in the community. In 1898 Seaside Park was incorporated as its own borough. The area soon boasted grand hotels, a yacht club, a casino, and a boardwalk and attracted visitors from Philadelphia and New York City. In 1911, a road was built along the Barnegat Peninsula from Bay Head to Seaside Park, and in 1915 the Tom's River Bridge was constructed, connecting Seaside Park to the mainland via Seaside Heights. Along with increasing tourism to Seaside Heights, the road and bridge also stimulated the fishing industry. The area witnessed the decline of the grand resorts in the mid- and late-twentieth century, replaced by more affordable hotels (Borough of Seaside Park, 2022; Heritage Studies, Inc., 1981). Today, Seaside Park continues to be a popular summer destination.

Significance: 905 – 907 South Ocean Avenue is associated with early-twentieth-century development in Seaside Park. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 905 – 907 South Ocean Avenue is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 905 – 907 South Ocean Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &
Organization: Environmental Services, D.P.C

Date: February 24,
2023

BASE FORM

Historic Sites #:

Property Name: 330 Corinthian Avenue

Street Address: Street #: 330 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: Corinthian Suffix: N/A Type: AVE

County(s): Cape May **Zip Code:** 08226

Municipality(s): Ocean City **Block(s):** 303

Local Place Name(s): N/A **Lot(s):** 24

Ownership: Private **USGS Quad(s)** Ocean City

Description: The building at 330 Corinthian Avenue is an elevated two-and-a-half-story foursquare with a hipped roof, dormers, vinyl siding, and wraparound porch with square columns supported underneath by brick piers.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: April 7, 2023

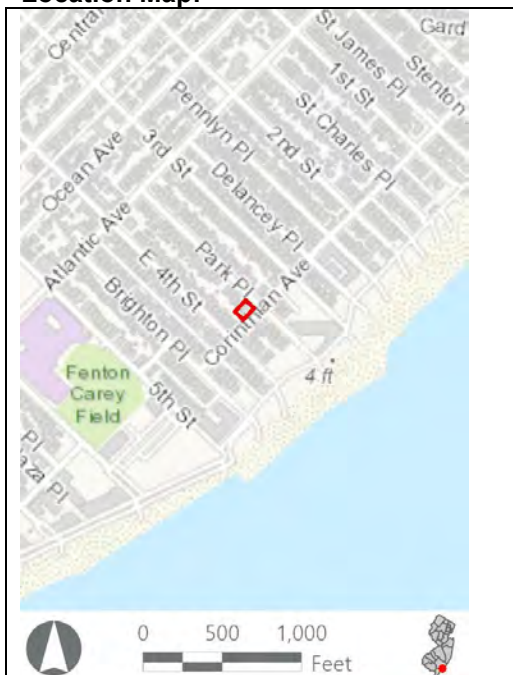
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

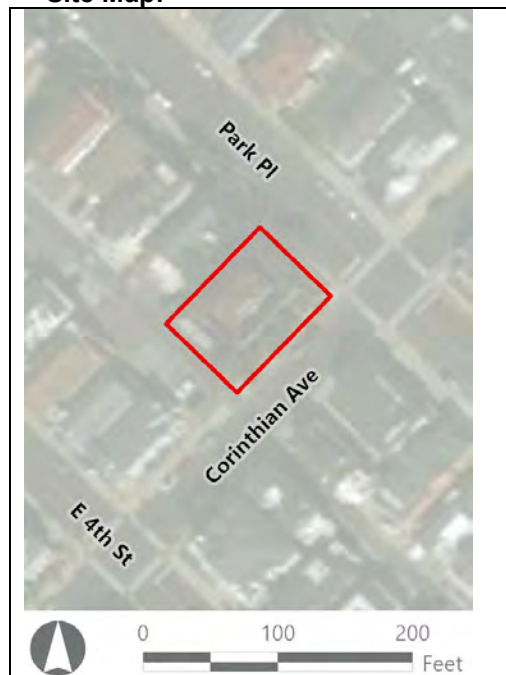
BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

NETOnline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Ocean City New Jersey. 2022. *The Untold History of Ocean City, New Jersey*. Available online at: <https://oceancityvacation.com/about-the-island/history.html#:~:text=In%201879%2C%20four%20Methodist%20ministers,formed%20the%20Ocean%20City%20Association.> (Accessed August 2022).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: April 7, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name:	330 Corinthian Avenue		
Historic Name:	N/A		
Present Use:	Residential Activity, Permanent		
Historic Use:	Residential Activity, Permanent		
Construction Date:	1920	Source:	Njtaxrecords.net
Alteration Date(s):	N/A	Source:	N/A
Designer:	N/A	Physical Condition:	Good
Builder:	N/A	Remaining Historic Fabric:	Medium
Style:	None		
Form:	Four Square	Stories:	2.5
Type:	N/A	Bays:	3
Roof Finish Materials:	Asphalt Shingle		
Exterior Finish Materials	Vinyl Siding		

Exterior Description: The building at 330 Corinthian Avenue is a two-and-a-half-story vernacular residence constructed in 1920 and located a block from the beach. The house rests on a raised brick foundation, is clad in vinyl siding and is capped by a hip roof covered in asphalt shingles. The roof features hip-roof dormers on the north, south, and east elevations. The façade faces Corinthian Avenue and exhibits a wrap-around front porch with a hipped roof supported by battered columns resting on brick posts. The foundation has been raised and features living space in the basement level. The house features numerous bay windows on both the first and second stories. The dormer facing Corinthian Avenue has a jerkinhead roof and features a Palladian window. Fenestration consists of 1/1 replacement windows, and French doors sheltered by the wrap-around porch.

Interior Description: N/A

Setting: The building at 330 Corinthian Street is located in a densely populated beachside community in Ocean City, one block from the beach. The city was initially platted to the southwest of North Street in an orderly grid with three main thoroughfares (Bay Avenue, West Avenue, and Wesley Avenue) traveling in a northeast-southwest direction. The neighborhood to the northeast of North Street was developed beginning in the 1930s with curvilinear streets and houses built in the revival styles popular at the time. Like most of the seaside towns along the Jersey Shore, Ocean City has seen large-scale demolition of historic-era homes in favor of three-to-four-story dwellings. The northwest extent of Ocean City fronting the Great Egg Harbor Bay was developed beginning in the 1970s with the bulk of development occurring in the 1980s (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	April 7, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Ocean City is in Cape May County and occupies the entirety of Peck's Beach Island. One of the first Europeans to utilize present-day Ocean City was John Peck, a whaler, who used the island as a storage place for his caught whales in the 1700s. In 1879, the Ocean City Association was formed by a group of Methodist ministers and purchased Peck's Beach. The group envisioned creating a Christian seaside resort. They sold commercial and residential lots. Over 500 building lots were sold by the end of 1881 and a large auditorium, later known as the Tabernacle, was constructed by the Association. This was followed by hotels and a boardwalk. Ocean City was officially incorporated as a city on March 25, 1897. The area continued to develop throughout the years and quickly became a prominent seaside resort. An element of the vision the founding ministers had to create a seaside resort that exemplified Christian ideals remains today, as Ocean City has remained a dry town, with no public drinking establishments. This also resulted in smaller-scale development in the city when compared to other resort destinations such as Atlantic City, Margate City, and Ventnor City to the northeast (Ocean City, 2022; Allaback and Milliken, 1995).

Significance: The building at 330 Corinthian Street is associated with early-twentieth-century development in Ocean City. The building is not representative of a significant architectural style or type and is not architecturally significant.

Eligibility for New Jersey

and National Registers:

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 330 Corinthian Street is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history and is not significant under Criterion D. Due to a lack of significance, 330 Corinthian Street is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count:

Key Contributing: _____

Contributing: _____

Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: April 7, 2023

Surveyor: Grant Johnson and Laura Mancuso

Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 628 CARSON AVENUE

Street Address: Street #: 629 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N/A Street Name: CARSON Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 565

Local Place Name(s): N/A **Lot(s):** 5

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 628 Carson Avenue is a two-story, four-bay building. The building is clad in vinyl siding and features an asphalt shingle roof.

Registration and Status Dates:	National Historic Landmark: _____	SHPO Opinion: _____
	National Register: _____	Local Designation: _____
	New Jersey Register: _____	Other Designation: _____
	Determination of Eligibility: _____	Other Designation Date: _____

Photograph:



Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

Historic Sites #:

Site Map:



Additional Information: N/A

INTENSIVE LEVEL USE ONLY

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

2046

BUILDING ATTACHMENT

Historic Sites #:

Common Name: <u>628 CARSON AVENUE</u>	
Historic Name: <u>N/A</u>	
Present Use: <u>Residential Activity, Permanent</u>	
Historic Use: <u>Residential Activity, Permanent</u>	
Construction Date: <u>1981</u>	Source: <u>njtaxrecords.net</u>
Alteration Date(s): <u>N/A</u>	Source: <u>N/A</u>
Designer: <u>N/A</u>	Physical Condition: <u>Good</u>
Builder: <u>N/A</u>	Remaining Historic Fabric: <u>Low</u>
Style: <u>Other</u>	
Form: <u>Duplex</u>	Stories: <u>2</u>
Type: <u>N/A</u>	Bays: <u>4</u>
Roof Finish Materials: <u>Asphalt shingle</u>	
Exterior Finish Materials <u>Vinyl siding</u>	

Exterior Description: The building at 628 Carson Avenue is a two-story, four-bay duplex building. The building is clad in vinyl siding and is capped with a low-pitch, asphalt shingle roof. The primary façade features a set of stairs that runs across two bays. The first story contains five asymmetrical, single pane windows in the left bays. The rightmost bay houses the garage and an entrance, which are partially protected by an overhanging roof. The second story features a landing for the stairs with access to the second story entrance. The six, second story windows are single pane, and asymmetrical.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name: <u>Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey</u>	Date: <u>February 27, 2023</u>
Surveyor: <u>Grant Johnson and Laura Mancuso</u>	
Organization: <u>Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C</u>	

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 628 CARSON AVE is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 628 CARSON AVE is not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 628 CARSON AVE is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 27,
2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering &
Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Property Name: 311 North Delaware Avenue

Street Address: Street #: 545 N/A Apartment #: N/A N/A
(Low) (High) (Low) (High)

Prefix: N Street Name: Delaware Suffix: N/A Type: AVE

County(s): Atlantic **Zip Code:** 08401

Municipality(s): Atlantic City **Block(s):** 432

Local Place Name(s): N/A **Lot(s):** 1

Ownership: Private **USGS Quad(s)** Atlantic City

Description: The building at 311 North Delaware Avenue is a two-story, two-bay commercial building clad in stucco.

**Registration and
Status Dates:**

National Historic
Landmark: _____

SHPO Opinion: _____

National Register: _____

Local Designation: _____

New Jersey Register: _____

Other Designation: _____

Determination of Eligibility: _____

Other Designation Date: _____

Photograph:



Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties
Survey

Date: February 27,
2023

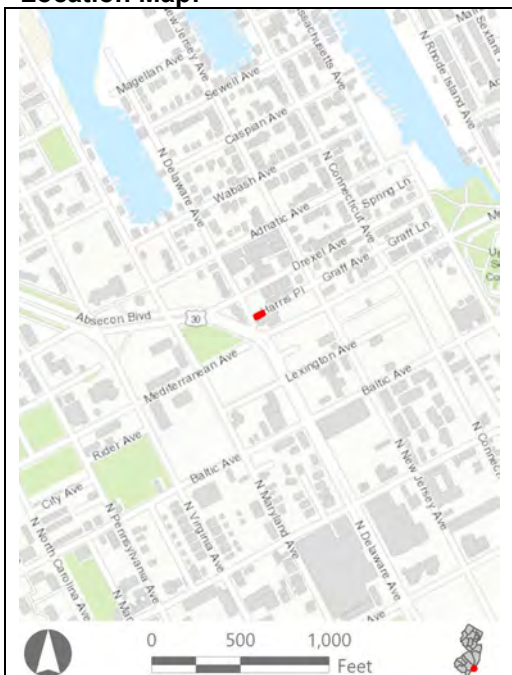
Surveyor: Grant Johnson and Laura Mancuso
Environmental Design & Research, Landscape Architecture, Engineering &

Organization: Environmental Services, D.P.C

BASE FORM

Historic Sites #:

Location Map:



Site Map:



Bibliography/Sources: Allaback, S., and C. Milliken. 1995. *Resorts & Recreation: an Historic Theme Study of the New Jersey Coastal Heritage Trail Route*. Sandy Hook Foundation, Inc. and National Park Service, U.S. Department of the Interior. Available at https://www.nps.gov/parkhistory/online_books/nj1/index.htm (Accessed October 2022).

Atlantic City Free Public Library. 2022. *Atlantic City History*. Available at: <http://acfpl.org/ac-history-menu/atlantic-city-faq-s/15-heston-archives/147-atlantic-city-history-22.html> (Accessed February 2023).

NETRonline (NETR). 2023. *Historic Aerials* [website]. Available at: <https://historicaerials.com/> (Accessed February 2023).

Additional Information: N/A

More Research Needed? ☐ Yes ☒ No

INTENSIVE LEVEL USE ONLY

Attachments Included: ☒ Building ☐ Structure ☐ Object ☐ Bridge
☐ Landscape ☐ Industry

Within Historic District? ☐ Yes ☒ No

Status: ☐ Key-Contributing ☐ Contributing ☐ Non-Contributing

Associated Archaeological Site/Deposit? ☐ Yes
(Known or potential Sites – if yes, please describe briefly)

Survey Name: Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey

Date: February 27, 2023

Surveyor: Grant Johnson and Laura Mancuso

Organization: Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C

BUILDING ATTACHMENT

Historic Sites #:

Common Name: <u>311 North Delaware Avenue</u>	
Historic Name: <u>N/A</u>	
Present Use: <u>Commercial Activity</u>	
Historic Use: <u>Commercial Activity</u>	
Construction Date: <u>1910</u>	Source: <u>njtaxrecords.net</u>
Alteration Date(s): <u>N/A</u>	Source: <u>N/A</u>
Designer: <u>N/A</u>	Physical Condition: <u>Fair</u>
Builder: <u>N/A</u>	Remaining Historic Fabric: <u>Low</u>
Style: <u>Other</u>	
Form: <u>Commercial</u>	Stories: <u>2</u>
Type: <u>N/A</u>	Bays: <u>2</u>
Roof Finish Materials: <u>Unknown</u>	
Exterior Finish Materials <u>Stucco</u>	

Exterior Description: The building at 311 North Delaware Avenue is a two-story, two-bay building clad in stucco. There is a first-story storefront that has a clipped corner bay. The second story is topped with a parapet and features an oriel window clad in vinyl. An identical oriel appears on the street-facing side elevation. The fenestration is 1/1 sash singly, in pairs, and in groups of three.

Interior Description: N/A

Setting: During the casino and urban renewal era in Atlantic City, large-scale demolition took place during the construction of the high-rise hotels and casinos near the boardwalk and beach. The eastern extent of the city saw the most demolition; however, little reconstruction occurred in this area of the city resulting in large areas of vacant lots and land. Many vacant lots in proximity to the casinos now function as parking lots, creating a lack of cohesion in the built fabric of the city. The residential neighborhoods to the north and northwest of the casino district have also seen demolitions since the 1970s; however, many of the lots were built on and these areas have avoided the gaping pockets of vacant land seen closer to the boardwalk (NETR, 2023).

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ELIGIBILITY WORKSHEET

Historic Sites #:

History: Atlantic City is in the extreme eastern extent of Atlantic County on Absecon Island on the coast of the Atlantic Ocean. The city is bordered to the northeast by the city of Brigantine and to the southwest by Ventnor City. The first recorded Euro-American settler was Jeremiah Leed who built a house in the vicinity of Atlantic City in 1783. In 1850, Dr. Jonathan Pitney proposed the development of a seaside resort on the island. In 1852, he and other investors secured a railroad charter, and the Camden and Atlantic Railroad was constructed with its terminus in Atlantic City in 1854. The city was formally incorporated the same year and the resort quickly became a popular tourist destination for visitors from Philadelphia and its suburbs. Atlantic City saw the height of its popularity in the late nineteenth and into the early twentieth century. A financial and commercial district was constructed along Atlantic Avenue and included high-style banks as well as commercial and institutional buildings. The 1950s brought a decline in visitation due to the advent of air travel and the newly formed highway system in the United States. To revive the city, gambling was legalized in 1976 and Atlantic City enjoyed a boom in tourism (Allaback and Milliken, 1995; ACFPL, 2022).

Significance: 311 North Delaware Avenue is associated with twentieth-century development in Atlantic City. The building is not representative of a significant architectural style or type and is not architecturally significant.

**Eligibility for New Jersey
and National Registers:**

☐ Yes

☒ No

National

Register Criteria:

☐ A

☐ B

☐ C

☐ D

Level of Significance

☐ Local

☐ State

☐ National

Justification of Eligibility/Ineligibility: Background research did not reveal any associations with historically important events or persons; therefore, 311 North Delaware Avenue not known to be significant under Criterion A or B. It does not embody distinctive characteristics of a type, period, or method of construction, and it does not represent the work of a master or possess high artistic value; thus, it is not significant under Criterion C. The building appears unlikely to yield information important in prehistory or history, and is not significant under Criterion D. Due to a lack of significance, 311 North Delaware Avenue is recommended Not Eligible for inclusion in the NRHP.

For Historic Districts Only:

Property Count: Key Contributing: _____ Contributing: _____ Non Contributing: _____

For Individual Properties Only:

List the completed attachments related to the property's significance:

Building Attachment

Narrative Boundary Description: Corresponds to the associated tax parcel.

Survey Name:	Atlantic Shores Offshore Wind – Wind Turbine Area - Aboveground Historic Properties Survey	Date:	February 27, 2023
Surveyor:	Grant Johnson and Laura Mancuso		
Organization:	Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C		

ATTACHMENT L

Resumes



Grant is a Senior Project Manager at EDR with more than 12 years of professional experience. He has had extensive training in reconnaissance and intensive-level architectural surveys, as well as the National Register of Historic Places (NRHP) nomination process and meets the Qualifications for the Secretary of the Interior's Standards for Architecture and Historic Preservation (per 36 CFR 61). Mr. Johnson holds a Master of Arts degree in Historic Preservation Planning from Cornell University, and a Bachelor of Arts degree in Anthropology from Syracuse University.

As a Senior Project Manager with EDR, Grant is responsible for overseeing historic-architectural resources surveys; NRHP eligibility determinations and nominations; literature review/research conducted in support of cultural resources and environmental analyses; assisting in preparation of Phase IA/IB cultural resources surveys; and providing visual impacts analyses relative to historic resources for state permitting documents. Grant also has extensive experience and relationships consulting with State Historic Preservation Office (SHPO) staff and other regulatory agencies in New York, New Jersey, Maryland, and Ohio.

Education

- Master of Arts, Historic Preservation Planning, Cornell University Ithaca, NY, 2010
- Bachelor of Arts, Anthropology, Syracuse University, Syracuse NY, 2001

Professional Affiliations

- Preservation Association of Central New York
- Historic Preservation Planning Alumni of Cornell University
- Onondaga Historical Association, Syracuse, New York

Employment History

- Senior Project Manager, Historic Preservation, Environmental Design & Research, Landscape Architecture, Engineering, & Environmental Services, D.P.C., Syracuse, NY, 2019-present
- Cultural Resources Project Manager, Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C., Syracuse, NY, 2017-2019
- Senior Cultural Resources Specialist, Environmental Design & Research, Landscape Architecture, Engineering & Environmental Services, D.P.C., Syracuse, NY, 2012-2017

Project Experience

New York State Office of Parks, Recreation & Historic Preservation (NYSOPRHP) Consultation, Various Counties, New York State – Prepared and submitted over 100 submittals for NYSOPRHP/SHPO consultation through the Cultural Resource Information System (CRIS) website, including preparation of project narratives, maps, photographs and supporting historical documentation as needed for projects located in over 20 counties in New York State.

New York State Department of Transportation (NYSDOT) Consultation, Various Counties, New York State – Prepared and submitted over 25 Section 106 submittals/cultural resources screenings for NYSDOT consultation, including preparation of project narratives, maps, photographs and cultural resources surveys as needed for projects located in over 15 counties in New York State.

Main Street Historic District, City of Binghamton, Broome County, NY – Supervised and assisted in the preparation of a nomination to the State and National Registers of Historic Places for 84 contributing resources within an eight-block area along Main Street west of the Chenango River. The district was added to the National Register of Historic Places in November 2021.

EJ Toe Box Part 1 Historic Rehabilitation Tax Credit Application, Village of Johnson City, Broome County, NY – Supervised and assisted in the preparation of Part 1 of the HRTC Application for the former Endicott-Johnson Toe Box Factory, located in the NRHP-listed Johnson City Historic District.

Downtown Syracuse Commercial Historic District, Syracuse, NY – Prepared nomination forms and conducted background research for a boundary expansion to the National Register of Historic Places (NRHP)-listed South Salina Downtown Historic District, to include adjacent blocks of South Warren and South Salina Streets comprising the historic commercial core of downtown. Collaborated with the client, city and New York State Office of Parks, Recreation and Historic Preservation (NYSOPRHP) staff in identifying resources to include and document in the nomination. The boundary expansion was added to the National Register of Historic Places in May 2014.

Historic Resources Survey, Former Village of Danforth, Syracuse, Onondaga County, NY – Wrote neighborhood historic context, and assisted in development of historic resource inventory forms and visual field guide to enable community volunteers to conduct a neighborhood historic resource survey of over 300 buildings for the City of Syracuse Bureau of Planning and Sustainability.

Chittenango Landing Canal Boat Museum Cultural Landscape Report, Town of Sullivan, Madison County, NY- Engaged in historic research and assisted in preparation of Part 1 and limited Part 2 Treatment Plan of a Cultural Landscape Report (CLR) for a 6-acre historic site listed on the NRHP. The interpretive site includes a 19th-century dry dock complex and associated buildings located on the Old Erie Canal.

Onondaga Lake West Revitalization Area, Towns of Camillus & Geddes & Village of Solway, Onondaga County, NY- Conducted historic research and field visits in preparation of Phase 1 cultural resources surveys for proposed streetscape improvements to Bridge Street and Milton Avenue in the Village of Solway, Onondaga County, New York, and prepared a Phase 1A cultural resources survey to assess development potential of former brownfields. The Project area includes a former Enlarged Erie Canal lock and partially-flooded portion of the Enlarged Erie Canal.

Montezuma Heritage Park and Giardina Park, Town of Montezuma, Cayuga County, NY- Engaged in historic research and archaeological reconnaissance survey and prepared Phase 1A cultural resources surveys for a proposed 168-acre heritage park and an additional 16-acre town park. The Project area includes portions of both routes of the Erie Canal, an intact Cayuga-Seneca Canal lock, the remains of the Richmond Aqueduct, and archaeological resources associated with a century of canal operation in the hamlet of Montezuma.

New York State Fairgrounds Mitigation Documentation, Town of Geddes, Onondaga County, NY- Recorded documentation of structures proposed for demolition or alteration as part of renovations to the NRHP-eligible New York State Fairgrounds Historic District. Resources proposed for removal included contributing and non-contributing features such as Empire Court, the Grandstand, Race Track, Stables, and Gate 1 Area.

Cemetery Long-Term Maintenance & Restoration Plan, Village of Liverpool, Onondaga County, NY- Conducted historic research and site documentation for a landscape preservation planning project, associated NYS Consolidated Funding Application (CFA), and public outreach for a 6-acre cemetery listed on the National Register of Historic Places (NRHP).

Interstate 81 (I-81) Viaduct Project, City of Syracuse, Onondaga County, NY- Assisted in preparation of Phase 1A Archaeological Sensitivity Assessment as part of Section 106 of the National Historic Preservation Act consultation and National Environmental Protection Act (NEPA) review for New York State Department of Transportation (NYSDOT) PIN 3501.60, D031085 – the replacement of approximately 5 miles of elevated highways. Conducted historic research and prepared historic context statements for Phase 1A report.

Interstate 690 (I-690) Teall Avenue & Beech Street Interchange, City of Syracuse, Onondaga County, NY- Assisted in preparation of archaeological resources screening as part of National Environmental Protection Act (NEPA) review and Section 106 consultation for the NYSDOT for a bridge replacement and intersection improvement of 0.5-mile elevated highway.

Creekwalk Phase II, City of Syracuse, Onondaga County, NY- Preparation of a Section 106 Project Submittal Package and assisting in preparation of Phase 1A Archaeological and Historic Architectural Surveys for the 2.2-mile extension of the Syracuse Creekwalk from Armory Square to Kirk Park along Onondaga Creek.

Morris Ridge Solar Project, Livingston County, NY- Technical lead for Phase IA historic resources survey, historic resources survey/effects analysis, State Historic Preservation Office (SHPO) consultation, and Siting Board testimony in support of Article 10 Application to the New York State Board on Electrical Generating Siting and the Environment (NYSPSC Case No. 18-F-0440) for a proposed 175 MW wind energy facility.

Bluestone Wind Farm, Broome County, NY- Technical lead for historic resources survey and effects analysis, State Historic Preservation Office (SHPO) consultation, cultural resources mitigation, and Siting Board testimony in support of Article 10 Application to the New York State Board on Electrical Generating Siting and the Environment (NYSPSC Case No. 16-F-0559) for a proposed 124 MW wind energy facility.

High Bridge Wind Farm, Chenango County, NY- Technical lead for historic resources survey and effects analysis, State Historic Preservation Office (SHPO) consultation, cultural resources mitigation, and Siting Board testimony in support of Article 10 Application to the New York State Board on Electrical Generating Siting and the Environment (NYSPSC Case No. 18-F-0262) for a proposed 100 MW wind energy facility.

Flint Mine Solar, Greene County, NY- Technical lead for historic resources survey/effects analysis and State Historic Preservation Office (SHPO) consultation for proposed 100 MW solar energy facility pursuing a certificate of environmental compatibility and public need under Article 10 of the New York State Public Service Law (NYSPSC Case No. 18-F-0087).

Riverhead 2 Solar Project, Suffolk County, NY- Technical lead for Phase IA cultural resources survey and State Historic Preservation Office (SHPO) consultation in support of Article 10 Application to the New York State Board on Electrical Generating Siting and the Environment (NYSPSC Case No. 17-F-0655) for a proposed 36 MW solar energy facility.

Mohawk Solar, Montgomery County, NY- Technical lead for historic resources survey, historic resources effects analysis, and cultural resources mitigation consultation for a proposed 90 MW solar energy project under Article 10 of the New York State Public Service Law (NYSPSC Case No. 17-F-0182).

Galloo Island Wind Project, Jefferson County, NY- Performed an historic resources visual effects analysis and prepared subsequent report for a proposed (up to) 109 MW wind energy facility located on Galloo Island in Lake Ontario and consulted with New York State Historic Preservation Office (SHPO) staff in the development of work plan for historic resources surveys.

South Fork Wind Farm, On-shore Transmission Line, Suffolk County, NY- Assisted in preparation of Historic-Architectural Resources Survey as part of consultant team with AECOM and VHB in support of an Article VII application for a 138kV underground transmission line and new substation associated with a proposed 90-MW offshore wind energy project.

Baron Winds Project, Steuben County, NY- Completed a Historic Architectural Resources Survey in support of Article 10 Application to the New York State Board on Electrical Generating Siting and the Environment for a proposed (up to) 300 MW wind energy project with up to 80 wind turbines and consulted with New York State Historic Preservation Office (SHPO) staff in the development of work plan for historic resources surveys.

Cassadaga Wind Farm, Chautauqua County, NY- Conducted historic resources survey and engaged in State Historic Preservation Office (SHPO) consultation in support of Article 10 Application to the New York State Board on Electrical Generating Siting and the Environment for a proposed 58 wind turbine, 126 MW wind energy facility; consulted with New York State Historic Preservation Office (SHPO) staff in the outreach and development of plan for mitigation of visual impacts to historic resources. Conducted outreach to stakeholders in support of identifying and developing potential cultural resources mitigation projects as requested by SHPO and required by the Section 106 process.

Revolution Wind Farm, Visual Impact Assessment, Offshore MA/RI- This project includes the on-going preparation of an historic resources visual effects analysis associated with an offshore wind farm located off the coasts of Massachusetts and Rhode Island. Task manager responsible for technical oversight of all research and consultation with relevant state and federal agencies, client and other sub consultant coordination, and preparation of the historic resources visual effects analysis report including maps and other graphics.

Skipjack Wind Farm, Visual Impact Assessment, Offshore DE- This project includes an historic resources visual effects analysis associated with an offshore wind farm located off the coast of Delaware and Maryland. Provided task management and technical oversight for all research, consultation with relevant state and federal agencies, client and other sub consultant coordination, and preparation of the historic resources visual effects analysis report including maps and other graphics.

Arkwright Summit Wind Farm, Chautauqua County, NY- Conducted historic resources assessment and visual effects analysis to support environmental permitting under New York State Environmental Quality Review Act (SEQRA) for a proposed 36-turbine, 78-megawatt (MW) wind energy facility and associated 3-mile generator lead.

Jericho Rise Wind Farm, Franklin County, NY- Conducted historic resources survey and visual effects analysis and engaged in SHPO consultation in support of SEQRA review and U.S. Army Corps of Engineers and New York State Department of Environmental Conservation (NYSDEC) wetland permitting for a proposed 37 wind turbine, 78 MW wind energy facility.

Great Bay Wind Energy Center, Somerset County, MD- Conducted historic context research, visual fieldwork and architectural survey fieldwork, and prepared an Historic Resources Assessment as part of the Maryland Historical Trust review of a proposed 30-turbine, approximately 99 MW wind energy project.

Copenhagen Wind Farm, Lewis County, NY- Conducted historic context research, visual fieldwork and architectural survey fieldwork, and assisted in preparation of a Phase 1 cultural resources survey as part of State Environmental Quality Review Act (SEQRA) review of a proposed 49-turbine, approximately 80 MW wind energy project.

Black Oak Wind Farm, Town of Enfield, Tompkins County, NY- Conducted historic context research and assisted in preparation of a Phase 1A cultural resources survey and visual effects analysis as part of SEQRA review of a proposed 7-turbine, approximately 12.6 MW wind energy project.

Crown City Wind Project, Cortland County, NY- Conducted historic context research and assisted in preparation of a Phase 1A cultural resources survey and visual effects analysis as part of SEQRA review of a proposed 7-turbine, approximately 12.6 MW wind energy project.

Solar Development Projects (Private Client), Hudson Valley, New York State- Prepared cultural resources background documents and initiated SHPO consultation for four proposed utility-scale solar energy projects in the Hudson Valley.

Great Bay Solar I, Somerset County, MD- Prepared historic resources assessment in support of Maryland Public Service Commission review for a Certificate of Public Convenience and Necessity (CPCN), for a proposed 100 MW solar energy project located on 800-acres.

Indian River Bridge Replacement, Town of Chatham, Columbia County, NY- Prepared historic resource inventory forms and determined NRHP-eligibility for two architectural resources adjacent to a proposed bridge replacement along County Route 9 over Indian Creek.

Boundary Breaks Vineyard, Town of Lodi, Ithaca, NY- Conducted research on 19th century vineyards and historic Greek Revival architecture in collaboration with EDR and King+King landscape architects to present to client for use in potential designs for viticulture facilities and site located on Seneca Lake in the Finger Lakes region of New York.

Hotel Syracuse, City of Syracuse, Onondaga County, NY- Conducted historic research on the area surrounding the NRHP-listed Hotel Syracuse for proposed improvements to the Harrison Street corridor as part of the \$57 million redevelopment of the 1924 hotel.

East Main Street Streetscape Improvements, City of Rochester, Monroe County, NY- Prepared a Section 106 Project Submittal Package for proposed streetscape improvements and installation of pedestrian wayfinding signage along East Main Street, including the assessment of potential impacts to several NRHP-listed and NRHP-eligible buildings and structures.

Clayton Riverwalk Phase III, Village of Clayton, Jefferson County, NY- Prepared a Section 106 Project Submittal Package for the proposed construction of Phase III of the Clayton Riverwalk. Conducted historic research and assessed potential impacts to the NRHP-listed Clayton Village Historic District.

Center State NY Inland Port (Private Client) Onondaga County, NY- Assisted in preparation of a Phase 1 Archaeological Survey for a proposed shipping container storage/transportation center located in two towns in Onondaga County, New York.

Chain Works District Redevelopment Project, City of Ithaca, Tompkins County, NY- Prepared of Phase 1A Archaeological Survey in support of SEQRA review of 95-acre industrial site proposed for redevelopment. Conducted historic research, site visit, and assessment of potential impacts to NRHP-eligible Morse Chain Works Historic District.

Cumberland Bay State Park Camping Area Comfort Station Replacements, Town of Plattsburgh, Clinton County, NY- Assisted in preparation of a Phase 1 Archaeological Survey for the replacement of comfort stations at Cumberland Bay State Park. Conducted historic research and assessed impact to previously documented historic resources including the Cumberland Bay National Historic Landmark.

School of Pharmacy, Binghamton University, Village of Johnson City, Broome County, NY- Prepared Phase 1A archaeological survey on behalf of the State University Construction Fund (SUCF) for a 5.5-acre site proposed for new academic building. Conducted historic research and assessed potential impacts to NRHP-listed Johnson City Historic District.

Covered Bridge, Town of Newfield, Tompkins County, NY- Conducted historic research and field visits, and prepared a Phase 1A cultural resources survey for a proposed historic bridge rehabilitation project (New York State Department of Transportation [NYSDOT] Project 37550) on the NRHP-listed Newfield Covered Bridge.

Owasco River Greenway Trail, City of Auburn & Town of Fleming, Cayuga County, NY- Assisted in preparation of a Phase 1A cultural resources survey and conducted historic context research for a proposed 8.4-mile, multi-modal recreational trail (NYSDOT Project 37557).

Mary Cariola Children's Center, Town of Henrietta, Monroe County, NY- Conducted historic background research and assisted in preparation of a Phase 1 cultural resources survey in support of NYSOPRHP project review of a proposed 32-lot residential subdivision.

Loveless Farms Subdivision, Town of Skaneateles, Onondaga County, NY- Assisted in archaeological fieldwork, as well as preparation of a Phase 1 cultural resources survey in support of Town of Skaneateles planning board review of a proposed 18-lot, 47-acre residential subdivision.

Wilcox Estates Subdivision, Town of Barton, Tioga County, NY- Assisted in archaeological fieldwork, as well as preparation of a Phase 1 cultural resources survey in support of NYSOPRHP project review of a proposed 32-lot residential subdivision.

Barcelona Water Improvement District, Town of Westfield, Chautauqua County, NY- Assisted in archaeological fieldwork and preparation of a Phase 1A for proposed installation of 10,450 feet of new water main lines and 77 service connections.

Seneca Park Zoo, City of Rochester & Town of Irondequoit, Monroe County, NY- Conducted historic context research and assisted in preparation of a Phase 1 cultural resources survey in support of SEQRA review of a 1.5-acre parcel.

White Pine Commerce Park, Town of Clay, Onondaga County, NY- Conducted historic context research, assisted in archaeological fieldwork, as well as preparation of a Phase 1 cultural resources survey in support of SEQRA review of a 300-acre parcel and 4-mile sewer line.

Van Dyke Road Substation, National Grid, Town of Bethlehem, Albany County, NY- Conducted historic background research, visual fieldwork, and assisted in preparation of a Phase 1 cultural resources survey in support of NYSOPRHP project review of a proposed 4.3-acre substation.

St. Lawrence Gas Pipeline, Village of Brushton, Franklin County, NY- Conducted historic research and prepared a memorandum as part of an Unanticipated Discovery Response related to a historic church cemetery.

A & C Transmission Lines, Central Hudson Gas & Electric, Towns of Pleasant Valley, LaGrange, Wappinger, & East Fishkill, Dutchess County, NY- Conducted historic context research and assisted in preparation of a Phase 1 cultural resources survey in support of Public Service Commission (PSC) review under Article VII of upgrades to an 11-mile 115kV transmission line.

Empire Brewing Company Farmstead Brewery, Village of Cazenovia, Madison County, NY- Assisted in visual fieldwork and preparation of Historic Sites Visual Effects Analysis for a proposed farmstead brewery. Photographed views from adjacent properties listed on the NRHP and assessed potential adverse visual effects to these and other sensitive resources.

School of Medicine & Biological Sciences, University at Buffalo, City of Buffalo, Erie County, NY- Assisted in visual fieldwork, and preparation of Draft Environmental Impact Statement (DEIS) and support studies (including archaeological sensitivity assessment and historic resources impact assessment) for a proposed medical/educational facility.

Valley Reliability Project, National Grid & Public Service of New Hampshire Merrimack- Engaged in visual fieldwork in support of visual simulations and a visual impact assessment for a proposed 345kV electrical transmission line extending from Londonderry, New Hampshire to Tewksbury, Massachusetts.

Stiles Brook Wind Project, Towns of Grafton & Windham, Windham County, VT- Conducted visual fieldwork in support of visual simulations for a proposed 32-turbine wind project.

W/H 1/2 & G Line North Transmission Lines, Central Hudson Gas & Electric, Ulster & Dutchess Counties, NY- Engaged in visual fieldwork and assisted in preparation of Part 102 reports for an 11-mile 69kV electrical transmission line rebuild project in Ulster County, New York (WH-1/2 Line) and an 8.5-mile 69kV electrical transmission line rebuild project in Dutchess County, New York (G Line North) to be submitted to the Public Service Commission (PSC).

Aquidneck Island Reliability Project, Town of Middletown & City of Newport, Newport County, RI- Conducted visual fieldwork for proposed transmission line and substation improvements; assisted in preparation of Visual Impact Assessment for transmission line as well as substation removals.

Ticonderoga-Whitehall Transmission Line, National Grid, Essex & Warren Counties, NY- Conducted visual fieldwork for proposed structure upgrades to the Ticonderoga-Whitehall #3 and Ticonderoga-Republic #2 lines. Photographed existing lines at road crossings as well as locations of poles to be replaced in accordance with Adirondack Park Agency guidance.

Onondaga Lake Park & Parkway & Jordan Erie Canal Park, Onondaga County, NY- *Prior to EDR*, Master's thesis (title: *Emergency Employment, Public Enjoyment: Pre-New Deal Work Relief in Onondaga County, New York, 1931-1933*) and multi-year research project examining the influence of the Onondaga County Emergency Work Bureau in creating designed recreational landscapes through the conversion of abandoned canal beds, and the interpretation and preservation of these places over time, as well as a history of pre-New Deal work relief programs in New York State. Research presented at 2010 Conference on New York State History.

Administrative History of Maritime Tourism Programs in the State of Michigan- *Prior to EDR*, Conducted research and interviews for an administrative history of tourism programs related to the maritime history of Michigan over the past 100 years.

Collaborated with personnel from the Organization of American Historians (OAH), as well as the National Park Service (NPS) Midwest Regional Office in preparation of report as part of the NPS Michigan Maritime Heritage Special Resource Study.

Michigan Maritime Heritage Special Resource Study, Upper and Lower Peninsulas of Michigan- *Prior to EDR*, Co-designed survey form and engaged in two field surveys examining over 250 resources along the coasts of the Upper and Lower Peninsulas of Michigan for integrity and significance to maritime heritage. Worked with NPS staff as well as Michigan state historic preservation officers in a collaborative context to further the goals of the study to organize and encourage collaboration of agencies and institutions interested in the promotion of maritime heritage.

Civil War Battlefields Special Resource Study, Newtonia, MO- *Prior to EDR*, Conducted extensive historic research and co-authored historic context and other study sections for Civil War battlefields in Newtonia, Missouri to determine if they met the criteria to become a unit of the National Park Service. Published January 2013.

New Philadelphia Townsite Reconnaissance Survey, Barry, IL- *Prior to EDR*, Conducted extensive historic research and co-authored historic context and other study sections for the first settlement by a freed slave prior to the Civil War, to determine if the site met the criteria to become a unit of the National Park Service. Published January 2012.

Historic Resources Survey & Historic Preservation Report, Ogdensburg, NY- *Prior to EDR*, Designed and conducted a reconnaissance-level historic resources inventory corresponding the City of Ogdensburg Downtown Revitalization Plan. Drafted Historic Preservation Report detailing findings of the survey, making recommendations for further preservation planning and initiatives under the Historic Preservation Ordinance of the City of Ogdensburg. Report was adopted by the city in April 2011.

Historic Structure Report (HSR), Lakeview Cemetery Mausoleum, Ithaca, NY- *Prior to EDR*, Drafted Historic Structure Report for a 1912 mausoleum designed by Buffalo, New York architects Green and Wicks. Conducted extensive documentation and analysis of building systems and site, noting deterioration. Additional activities included sorting and separation of historic building materials, supervising cleaning methods for bronze hardware and marble flooring and burial niche framework, and measured drawings of mausoleum.

Cultural Landscape Site History, Christ Church & Manlius Village Cemeteries, Manlius, NY- *Prior to EDR*, Prepared a draft Cultural Landscape Site History for two NRHP-listed cemeteries in the Village of Manlius, NY. Documentation and analysis of site conditions and maintenance plan, and recommendations for continued maintenance and restoration. Findings presented at 2009 annual meeting of the Alliance for Historic Landscape Preservation.

Neighborhood Survey, Skaneateles, NY- *Prior to EDR*, Assisted in intensive-level survey of over 50 historic properties in the Village of Skaneateles for submission to the NYSOPRHP for a determination of eligibility for a historic district. Conducted historic research, documented exterior conditions and architectural details of 10 properties, and presented findings to village residents and local historical society.

Tomorrow's Neighborhoods Today (TNT) West Side Five-Year Neighborhood Plan, Syracuse, NY- *Prior to EDR*, Assisted in preparation of the *West Side TNT Five-Year Neighborhood Plan 2008-2012* for the west side neighborhood of Syracuse, New York as part of the Tomorrow's Neighborhoods Today program. Report published 2012.

presentations / publications

Parks and Parkways – The Onondaga County Emergency Work Bureau, 1931-1933, Conference on New York State History, Ithaca, NY, June 2010.

Christ Church and Manlius Village Cemeteries – A Landscape History, Alliance for Historic Landscape Preservation, Annual Meeting, St. Louis, MO, May 2009.

Additional Employment History

- Independent Consultant, Organization of American Historians, Bloomington, IN, and National Park Service Midwest Regional Office, Omaha, NE, 2011
 - Preservation Planning Intern, National Park Service Midwest Regional Office, Omaha, NE, 2010-2011
 - Planning and Development Intern, Department of Planning & Development, Ogdensburg, NY, 2009
 - Neighborhood Planning Intern, Department of Community Development, Division of Neighborhood Planning, Syracuse, NY, 2007-2008
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Education

- Master of Historic Preservation, University of Maryland, College Park, MD, 2005
- Bachelor of Arts in Humanities, Providence College, Providence, RI, 2001

Employment History

- Senior Project Manager, Environmental Design & Research, Landscape Architecture, Engineering, and Environmental Services, D.P.C., Syracuse, NY, 2021
- National Practice Leader – Cultural Resources, Nova Group GBC, New Orleans, LA, 2021
- Director – Cultural Resources, CRBE, New Orleans, LA & White Plains, NY, 2015-2020
- Deputy State Historic Preservation Officer/Construction Grants Coordinator, CT State Historic Preservation Office, Hartford, CT, 2011-2015
- Architectural Historian, EnviroBusiness, Inc., Brookfield, CT, New York, NY, & York, PA, 2005-2011
- Research Assistant, National Trust for Historic Preservation, President Lincoln and Soldiers' Home National Monument, Washington, D.C., 2004-2005

Laura serves as a Senior Project Manager-Historic Preservation with more than 16 years of professional experience. Laura holds a Master's in Historic Preservation from the University of Maryland, College Park and meets the Qualifications for the Secretary of the Interior's Standards for Architecture and Historic Preservation (per 36 CFR 61). Prior to joining EDR, Laura served as the National Practice Leader-Cultural Resources at Nova Group, GBC, the Director of Cultural Resources at CBRE, and Deputy State Historic Preservation Officer at the Connecticut State Historic Preservation Office (SHPO). She has completed thousands of project reviews under Section 106 of the National Historic Preservation Act throughout the country and has expertise in complex consultations regarding potential effects on historic properties.

As Senior Project Manager-Historic Preservation, Laura is responsible for supporting historic preservation projects; National Register of Historic Places (NRHP) eligibility determinations and nominations; literature review/research conducted in support of cultural resources and environmental analyses; assisting in preparation of cultural resources surveys; and providing visual impacts analyses relative to historic resources for state and federal permitting documents. In addition, Laura provides clients with senior strategic advice, planning, and technical support for projects requiring review under Sections 106 and 110 of the National Historic Preservation Act (NHPA), the National Environmental Policy Act (NEPA).

Project Experience

Cedar & Saint Development, Section 106 and Mitigation, Mobile, AL – Authored the Section 106 submittal and developed a mitigation plan for a proposed development within a NRHP-listed historic district. Served as client's point-of-contact with consulting parties and SHPO and HUD.

Revolution Wind Farm, Section 106 & Cultural Resources Strategic Oversight, Offshore, MA, RI – Project Manager for development of Historic Property Treatment Plans (HPTs) for historic properties adversely affected by the proposed 880-MW offshore wind farm located off the coast of southern New England. Provided consulting for cultural resources and visual effects assessments, Section 106 of the NHPA, SHPO, and stakeholder consultation for a historic resources effects analysis, and proposed mitigation strategies.

South Fork Wind Farm, Section 106 & Cultural Resources Strategic Oversight, Offshore, NY/New England – Project Manager for development of HPTs for historic properties adversely affected by the proposed 132-megawatt offshore wind farm located off the coast of southern New England. Provided consulting for cultural resources assessments, Section 106 of the NHPA, SHPO, and stakeholder consultation for historic resources effects visual analysis, and proposed mitigation strategies.

Sunrise Wind, Section 106 & Cultural Resources Strategic Oversight, Offshore NY/New England – Project Manager for cultural resources assessments, Section 106 of the NHPA, SHPO, and stakeholder consultation for historic resources visual effects analysis, and proposed mitigation strategies for a proposed 880-MW offshore wind farm located off the coast of Southern New England.

Skipjack Wind Farm, Section 106 & Cultural Resources Strategic Oversight, Offshore, MD, DE – Senior technical support for cultural resources assessments, Section 106 of the NHPA, SHPO, and stakeholder consultation for a historic resources effects analysis, and proposed mitigation strategies for a proposed 120-MW offshore wind farm located off the coast of Delaware and Maryland.

Selected Professional Experience (Prior to EDR)

National Practice Leader, Cultural Resources, Nova Group, GBC (2021) – Developed scopes of work for Section 106 consultation projects for Federal and State agencies. Completed and/or provide Quality Control for Section 106 projects for multiple federal agencies. Managed projects in all aspects of NEPA for multiple clients and communicated directly with clients on status of projects. Consulted directly with State Historic Preservation Offices, Federal and State agencies, and local organizations on behalf of clients. Trained staff with regards to historic preservation issues. Develop the company's policies and procedures with regards to cultural resources and Section 106.

Director, Cultural Resources, CBRE (2015-2020) – Completed over 3,000 Section 106 consultations for FCC projects in addition to Section 106 for other agencies and state equivalent reviews. Developed scopes of work for Section 106 consultation projects for Federal and State agencies. Developed expert knowledge of the National Historic Preservation Act and the FCC's Programmatic Agreement and Report and Orders. Advised clients on historic preservation issues. Developed mitigation strategies and/or alternatives in consultation with stakeholders. Authored Memorandums of Agreement for potential adverse effect projects in consultation with ACHP, SHPOs, THPOs, local preservation groups, and other stakeholders. Provided quality control determinations of effect for Section 106 consultation projects as well as determinations of the eligibility for the National Register of Historic Places. Provided expert testimony with regards to potential effects on historic resources.

Deputy State Historic Preservation Officer/Construction Grants Coordinator, Connecticut SHPO (2011-2015) – As Deputy State Historic Preservation Officer and the Construction Grant Coordinator for the State of Connecticut, provided technical assistance on hundreds of restoration and Section 106 projects and managed a portfolio of over \$5 million in planning and construction grants. Assisted property owners with project planning and design to ensure projects met the Secretary of the Interior's Standards for the Treatment of Historic Properties. Developed and reviewed hundreds of determinations of eligibility for properties for submitted for listing in the National Register of Historic Places. Hosted and attended numerous meetings and training sessions to improve the public's understanding of historic preservation policies and programs and attended annual National Conference of State Historic Preservation Officers (NCSHPO) meetings and developed relationships with many of the State Historic Preservation Officers.
